



STAFF REPORT

BAPTIST HEALTH SUNRISE HOSPITAL (PLAT NOTE AMENDMENT)

Summary

This is an application for Plat Note Amendment for an approximate 26-acre, city-owned property located at 12401 W. Oakland Park Boulevard, as shown on the location map. The property is currently zoned B-3 (General Business District) and designated Commercial land use on the City's Future Land Use Map. The proposed Plat Note Amendment requires City Commission approval pursuant to Section 16-34 of the Land Development Code.

General Information

This subject Plat is part of "Sawgrass Commercial," Plat Book 154, Page 1, of the Public Records of Broward County, Florida. The original Plat was restricted to 25.52 acres of commercial uses. Recently, a Plat Note Amendment was approved to modify the restriction from 25.52 acres of commercial uses to 125,000 square feet of commercial uses. This was done to fulfill an obligation from an Interlocal Agreement between the City and Broward County.

On January 11, 2022 via Ordinance No. 684, the City entered a purchase and sale agreement with Baptist Health South Florida with the intent to seek approval for development of a hospital. In November 2022, the City of Sunrise completed a Wetlands Remediation Project that restored the existing marsh area on the northern portion of the property, restored tree islands, and installed a path for maintenance along the existing upland buffer area.

On September 24, 2024, the City of Sunrise City Commission approved a Special Exception Use permit, via Resolution No. 24-122, and a Site Plan, via Resolution No. 24-123, for the Baptist Health hospital, subject to conditions as listed within the respective staff reports. One of the conditions was to obtain approval of a Plat Note Amendment.

Separate Non-Vehicle Access Line (NVAL) and easement vacations for the subject site are currently under review with Staff.

Project Description

To reflect the approved hospital use, the applicant proposes to amend the plat note to allow for 515,000 square feet of hospital use. The applicant notes that the overall intensity and vested trips of the existing plat note restriction for 125,000 square feet of commercial uses produce far more traffic than the proposed 515,000 square feet of hospital use.

The applicant proposes to modify the plat note as follows:

From: This Plat is approved for 125,000 square foot of commercial uses.

To: This Plat is approved for 515,000 square feet of hospital uses.

Upon approval by the City Commission, the proposed Plat Note Amendment must be submitted to Broward County for approval by the Broward County Commission, and then recorded in the public records of Broward County.

Staff Evaluation

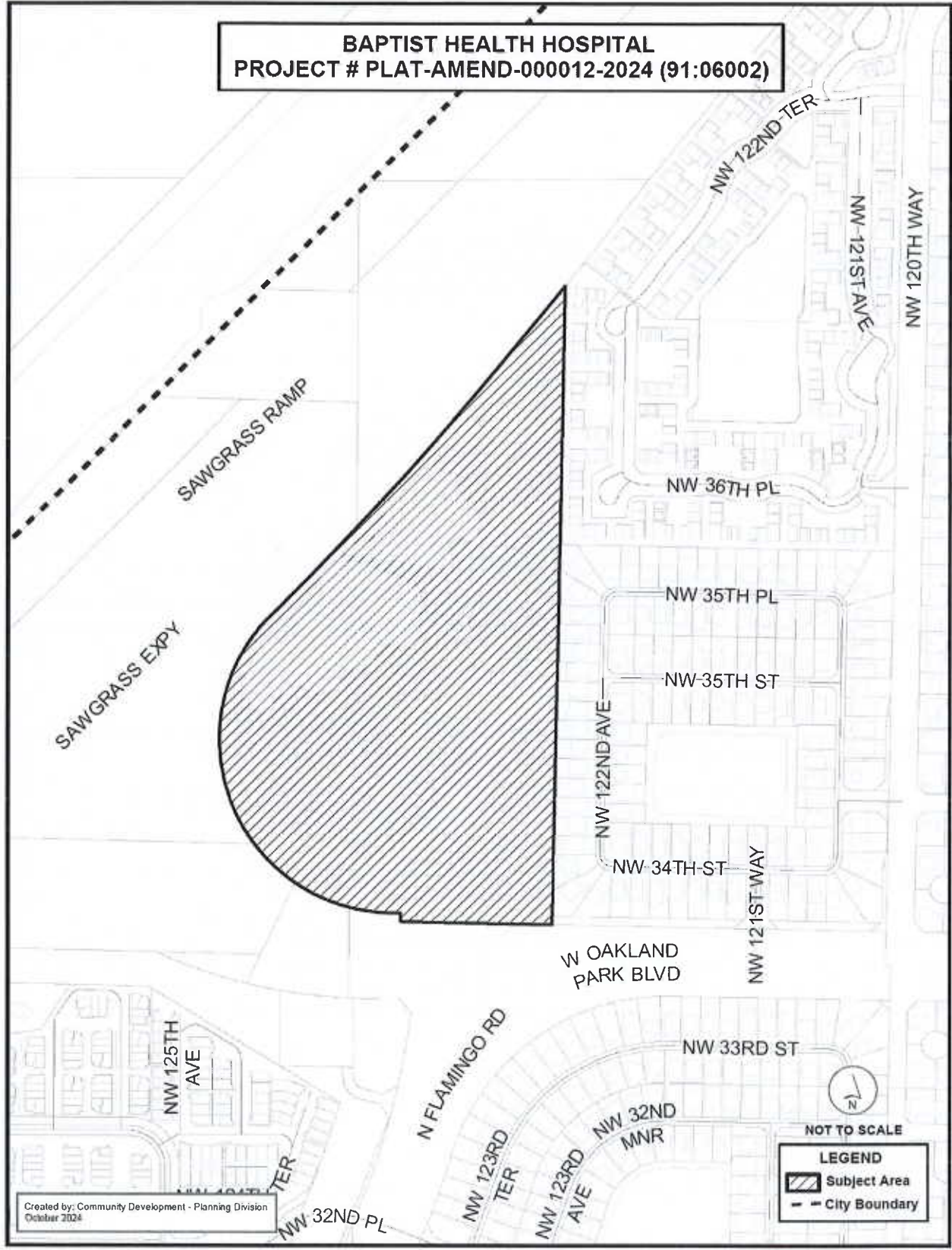
Staff has reviewed the Plat Note Amendment application and finds it consistent with the Land Development Code.

Staff Recommendation to the Planning and Zoning Board, November 7, 2024

This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval of this Plat Note Amendment application.

Planner: Matthue Goldstein 
File No. PLAT-000012-2024 (91:06002)

Location Map



Holland & Knight

City of Sunrise
Community Development Department

SEP 27 2024

RECEIVED

515 E. Las Olas Boulevard, Suite 1200 | Fort Lauderdale, FL 33301 | T 954.525.1000 | F 954.463.2030
Holland & Knight LLP | www.hklaw.com

Janna P. Lhota
+1 954-468-7841
Janna.Lhota@hklaw.com

April 8, 2024

Matthew Goldstein
Planning and Zoning Manager
Planning Division City of Sunrise
Community Development Department
1601 NW 136th Avenue
Building A, Suite 100
Sunrise, Florida 33323

Re: Baptist Health South Florida, Inc. – Sunrise Hospital

Dear Mr. Goldstein:

Holland & Knight LLP represents Baptist Health South Florida, Inc. (“Baptist Health” or the “Applicant”), the contract-purchaser of the property located at 12401 West Oakland Park Boulevard (the “Property”) (Tax Folio ID No. 4940-24-18-0010) in the City of Sunrise, Florida (the “City”). Baptist Health seeks to construct a community hospital with integrated medical offices and supporting structured parking on the Property. To accommodate the Project, Baptist Health submits the following applications for consideration and approval by the City:

- Site Plan;
- Special Exception;
- Plat Note Amendment(s); and
- Vacation of Platted Right-of-Way and Utility Easements (hereinafter the “Project Applications”)

In connection with the Project Applications, Baptist Health is submitting a comprehensive Project Supplement and Narratives package that cover various aspects of the Project and the criteria to be considered by the City. These include: Project Design, Consistency with Comprehensive Plan, Sustainability, Public Art, Operations, Shadow and Sightline, Wetlands and Natural Vegetation, Buffer, Civil, Stormwater, Air Pollution Control, Hazardous and Regular Waste, Noise, Traffic, and Security.

Background Information on Baptist Health:

Baptist Health is the largest healthcare organization in the region, with 12 hospitals, more than 27,000 employees, 4,000 physicians and 200 outpatient centers, urgent care facilities and

Atlanta | Austin | Birmingham | Boston | Century City | Charlotte | Chattanooga | Chicago | Dallas | Denver | Fort Lauderdale
Houston | Jacksonville | Los Angeles | Miami | Nashville | Newport Beach | New York | Orlando | Philadelphia
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physician practices spanning across Miami-Dade, Monroe, Broward and Palm Beach counties. Baptist Health has internationally renowned institutes in cancer care, heart & vascular care, orthopedic care, and brain & spine care. In addition, it includes Baptist Health Medical Group; Baptist Health Quality Network; and the Baptist Health PineApp, a virtual health platform. A not-for-profit organization supported by philanthropy and committed to its faith-based charitable mission of medical excellence, Baptist Health has been recognized by Fortune as one of the 100 Best Companies to Work For in America. Baptist Health has consistently been recognized as the most award-winning healthcare organization in South Florida. Most recently, the organization's hospitals and institutes are among the very best in America, securing a total of 45 awards including being recognized as the #1 hospital in the Miami Fort Lauderdale metro area and the fifth in the State of Florida by the 2023-2024 U.S. News & World Report. While Baptist Health has twelve (12) hospitals throughout Southeast Florida, Sunrise Hospital will be the Baptist Health's first hospital in Broward County.

Description of the Property:

The Property is generally located at the northeast corner of Oakland Park Boulevard and the interchange for the Sawgrass Expressway. The Property totals 26.26 acres of vacant land. The majority of the Property is located within the Sawgrass Commercial Plat ("Plat") (Plat Book 154, Page 1) (25.520 acres) and a small portion remains unplatted (0.738 acres). All building improvements are proposed within the platted parcel.



The north approximately 15.6 acres is encumbered by an Amended Deed of Conservation Easement and Agreement recorded in the Official Records of Broward County at Instrument No. 115899844 ("Conservation Easement"). While this area is included in the Project Applications, no development activity is proposed consistent with the Conservation Easement. All development will occur on the remaining vacant upland parcel to the south.

The Property is designated “Commercial” on the City’s Future Land Use Map and is zoned B-3 (General Business District). The underlying land use permits the use of the Property for office, including medical offices, and a community hospital. While the medical office use is a permitted use in the B-3 District, the community hospital use is a special exception use.

Description of the Project:

Baptist Health seeks to develop a 100-bed community hospital to serve the residents of the City and the surrounding area. Sunrise Hospital will include an Emergency Department, Imaging Services (MRI, CT, Nuclear Medicine, Ultrasound, X-ray), Critical Care, Surgery Suite (operating rooms, IVR, Endo/Bronc), Laboratory, Non-invasive Diagnostics (Echo, EKG/EEG, Non-invasive Vascular and Stress Testing), Respiratory Therapy, Medical Offices and accessory pharmacy, together with a single parking structure (the “Project”) that will serve the overall Property. As outlined in greater detail in the attached Project Supplement and Narratives package, Baptist Health is committed to delivering a groundbreaking healthcare facility in the City focusing on health and wellness, sustainability and performance, resiliency and ecology and community and place.

Project Applications:

Baptist Health has submitted the following applications to accommodate the development of Sunrise Hospital:

- a) Site Plan – A full Site Plan submittal package has been provided that meets all of the requirements by the City. Included in the submittal is a Project Supplement and Narratives providing additional information on how the Project meets the criteria outlined in Section 16-31 of the Land Development Code (“LDC”).
- b) Special Exception – A separate Special Exception Narrative letter has been prepared which, together with the Site Plan documents and the Project Supplement and Narratives, demonstrate how the criteria outlined in Section 16-36 of the LDC have been met.
- c) Plat Note Amendment(s) – Presently the Plat is approved for commercial use. An Interlocal Agreement entered into between Broward County and the City to assure full access to the Plat provided for the reduction in the overall intensity of development approved by the Plat and provided for the City to place a note on the Plat as outlined in that Agreement. Consistent with the Interlocal Agreement, an application to place a note on the Plat for 125,000 square feet of commercial uses will initially be considered by the City and Broward County. A subsequent Plat Note application will be considered to modify the Plat Note as follows:

From: This Plat is approved for 125,000 square foot of commercial uses.

To: This Plat is approved for 515,000 square feet of hospital uses.

It is important to note that the overall intensity and vested trips approved by the existing Plat and the Interlocal Agreement will not be increased, but rather will remain the same as provided by the Interlocal Agreement or be further reduced.

- d) Vacation of Platted Right-of-Way and Utility Easement – The Plat currently has utility easements that run within the entire perimeter of the Plat, but within which no utilities are presently located. Baptist Health proposes to vacate the perimeter utility easements from the Plat through the City and Broward County. Any utility easements required for the Project will be separately provided in connection with the Project approvals. Additionally, Baptist Health is seeking to vacate a remanent 15’ right-of-way dedication located within the Property created by the Florida Fruit Lands Company’s Subdivision No. 1 Plat.

Agreement for Sale and Purchase:

On January 11, 2022, the City and Baptist Health entered into an Agreement for Sale and Purchase (the “Agreement”) for the purchase of the Property by Baptist Health for the development of a community hospital with a minimum of the following: (a) four (4) stories with a minimum height of 65 feet; (b) one hundred thousand (100,000) square feet (with a minimum of twenty-five thousand (25,000) square feet completed at occupancy, with the balance to be built out as shell space for future expansion); (c) an emergency room; (d) one hundred (100) inpatient beds; and (e) an operating theater for surgery. The Agreement further provides that the elevation of the hospital was to have an architecture style generally similar to the Initial Rendering Concept shown on Exhibit “B” to the Agreement. Due to ongoing discussions with the Turnpike Authority and Broward County regarding the intersection and roadway improvements needed to assure safe ingress and egress to the Property, the Agreement was amended several times to modify the timeframe of the Inspection Period. The Inspection Period has since lapsed, and Baptist Health is presently in the Governmental Approval Period of the Agreement.

Conclusion:

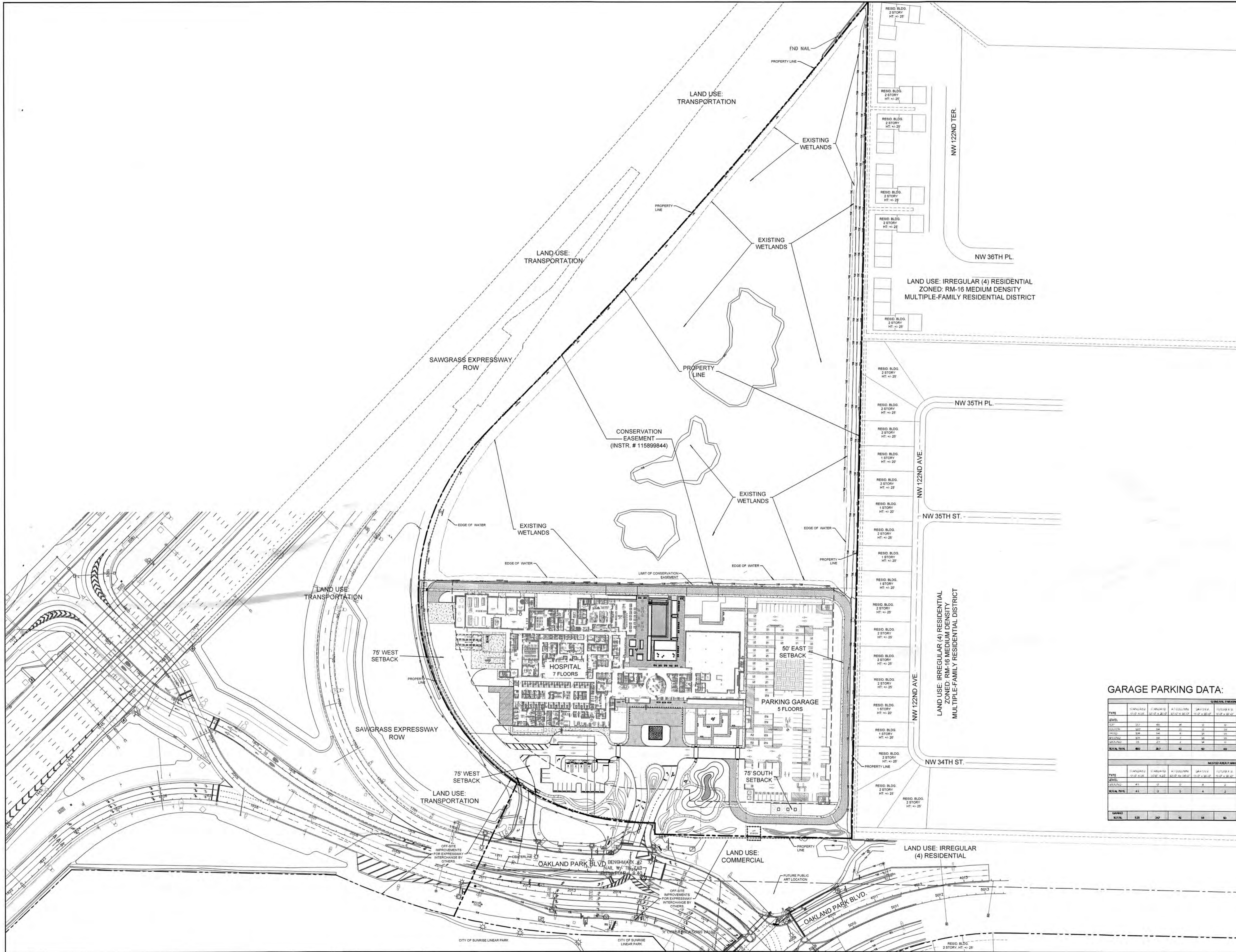
Sunrise Hospital is the culmination of years of planning and design and brings to the City of Sunrise and the surrounding communities a groundbreaking healthcare facility by the preeminent leader in healthcare industry here in South Florida – Baptist Health. We look forward to working with the City to provide any additional information and answer any questions you may have regarding the Project Applications.

Sincerely yours,

HOLLAND & KNIGHT LLP


Janna P. Lhota

Encl.



SITE DATA:

JURISDICTION:	CITY OF SUNRISE, FL.		
LAND USE:	COMMERCIAL		
ZONING DISTRICT:	B-3 (GENERAL BUSINESS DISTRICT)		
SITE AREA: (LIMITS OF SITE PLAN)	AREA (SF):	AREA (Acres):	% OF SITE:
GROSS SITE AREA:	1,239,882 SF	(28.46) Ac	100%
NET SITE AREA:	1,143,984 SF	(26.26) Ac	100%
HOSPITAL BLDG. COVERAGE:	111,540 SF		9.8%
GARAGE BLDG. COVERAGE:	79,723 SF		7.0%
VEHICULAR USE:	75,432 SF		6.6%
SIDEWALK, WALLS, CURBING, ETC.:	61,862 SF		5.4%
TOTAL IMPERVIOUS AREA:	328,557 SF		28.7%
LANDSCAPE AREA:	137,950 SF		12.1%
WETLAND AREA:	677,477 SF		59.2%
TOTAL PERVIOUS AREA: (MIN. 15%= 171,598 SF)	815,427 SF		71.3%
BUILDING:			
PROPOSED HOSPITAL:	135'-10" HT.	371,275 SF	7 STORY
FLOOR AREA RATIO (FAR)- 340,303 SF / 1,239,882 SF:	1.00 MAX.		0.27
* - SF DOES NOT INCLUDE GARAGE, CEP, STAIRS, & ELEVATORS			
LOT COVERAGE (191,263 SF, INCLUDES GARAGE):	28.0% MAX.		16.7%
BUILDING HEIGHT: (250' MAX. ALLOWED)			
HOSPITAL:	135'-10" HT.	7 STORY	
GARAGE:	67'-6" HT.	5 STORY	
BUILDING SETBACK:	REQUIRED	PROVIDED	
FRONT YARD (SOUTH, WEST P.L.)	75.00'	75.3'	
REAR YARD (EAST P.L.):	50.00'	51.7'	
PARKING DATA:	REQUIRED	PROVIDED	
HOSPITAL BEDS (2/BED)=	100 BEDS	200	
MEDICAL OFFICES (1/150 SF)=	37,530 SF	250	
SURFACE PARKING= 17			
PARKING GARAGE= (PARALLEL SPACES NOT COUNTED TOWARDS REQUIRED) 993			
TOTAL=	450	1,010	
GARAGE PARALLEL SPACES=		40	
OVERALL TOTAL=		1,050	
ACCESSIBLE PARKING: 2% OF TOTAL PROVIDED			
SURFACE PARKING= 4			
PARKING GARAGE= 57			
TOTAL=	21	61	
* - TOTAL PARKING INCLUDES ACCESSIBLE SPACES			
EV PARKING:			
DAY 1 EV SPACES=		54	
FUTURE EV SPACES=		50	
LOADING SPACE: 1 SPACE PER 40,000 GFA			
HOSPITAL (340,303 SF):	9'-10" X 40'	9'-10" X 40'	
BICYCLE PARKING:		PROVIDED	
HOSPITAL= 6 SPACES		26 SPACES	
GARAGE= 20 SPACES			

GARAGE PARKING DATA:

TYPE	VEHICLE PARKING SPACES										TOTAL	TOTAL INCLUDING PROVISIONS
	STANDARD	COMPACT	ANGLE	ANGLE	ANGLE	ANGLE	ANGLE	ANGLE	ANGLE	ANGLE		
LEVEL	307	45	45	0	0	0	0	0	0	0	397	412
UNDER	307	45	45	0	0	0	0	0	0	0	397	412
TOTAL	307	45	45	0	0	0	0	0	0	0	397	412
REQUIRED	307	45	45	0	0	0	0	0	0	0	397	412
PROVIDED	307	45	45	0	0	0	0	0	0	0	397	412
DEFICIT	0	0	0	0	0	0	0	0	0	0	0	0
EXCESS	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	307	45	45	0	0	0	0	0	0	0	397	412

LEAD DESIGN
LANDSCAPE ARCHITECT:
SWA/Balsley
31 West 27th Street
New York, NY
10001-6914
United States
www.swabalsley.com
+1.212.684.9230

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

SCALE:
1" = 100'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

Craven Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-8409 TEL: (954) 739-8400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
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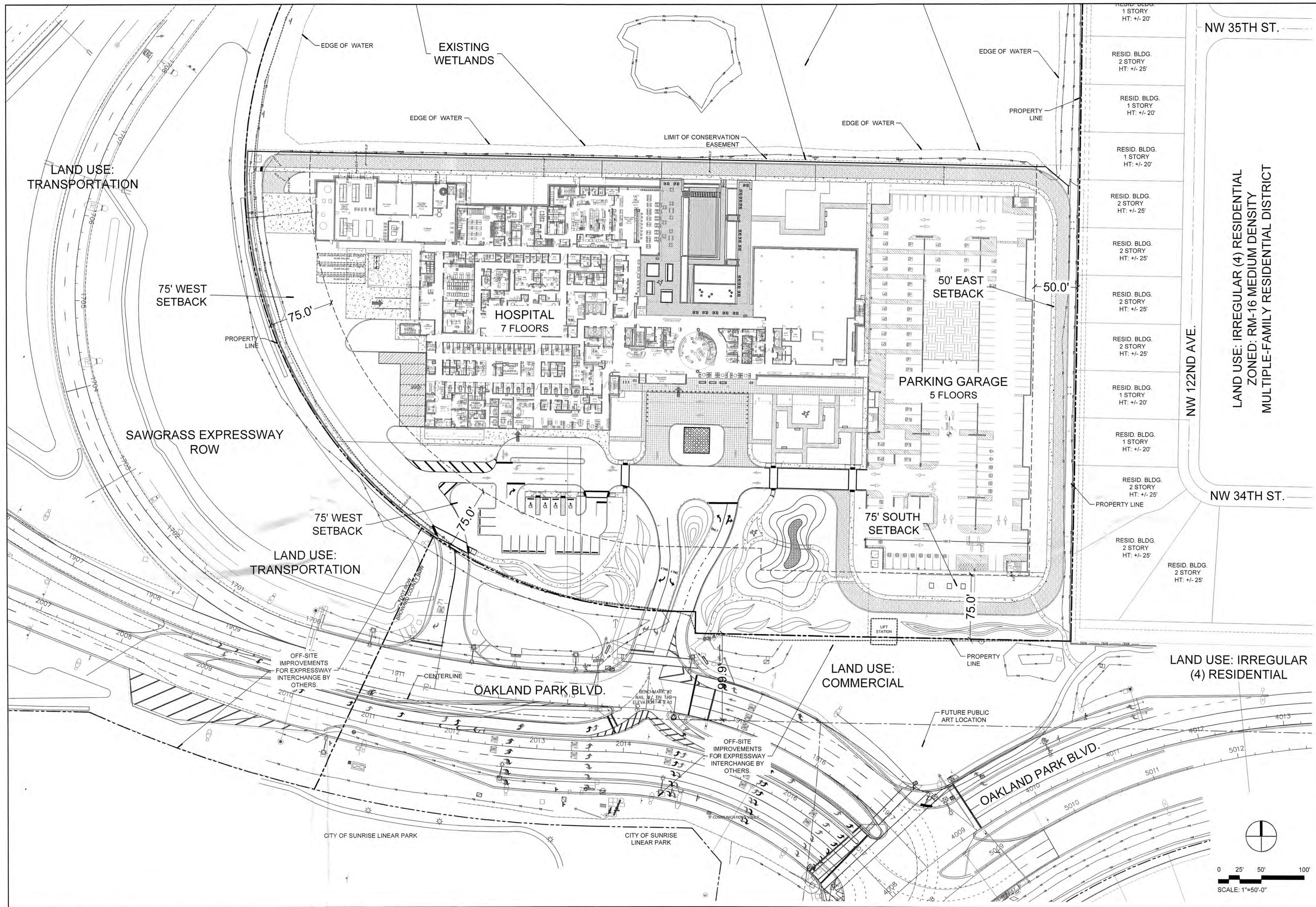
OVERALL SITE PLAN

DATE: 07/19/2024

DRAWING NO. **OSP-1**

PROJECT NO. 99-0039-002-01

REGISTERED LANDSCAPE ARCHITECT
Scott W. Peavler
Florida R. License No. 6666976
August 80, 2024



NW 35TH ST.

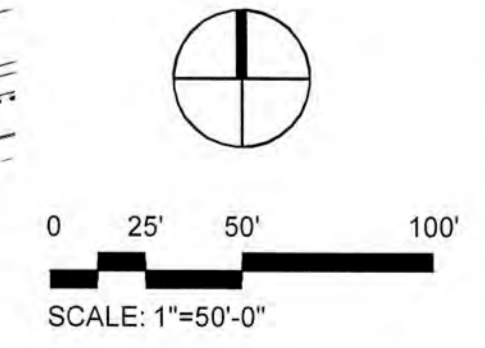
NW 122ND AVE.

NW 34TH ST.

LAND USE: IRREGULAR (4) RESIDENTIAL
 ZONED: RM-16 MEDIUM DENSITY
 MULTIPLE-FAMILY RESIDENTIAL DISTRICT

LEAD DESIGN
 LANDSCAPE ARCHITECT:
SWA/Balsley
 31 West 27th Street
 New York, NY
 10001-5914
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SCALE:
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 SWP

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 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114

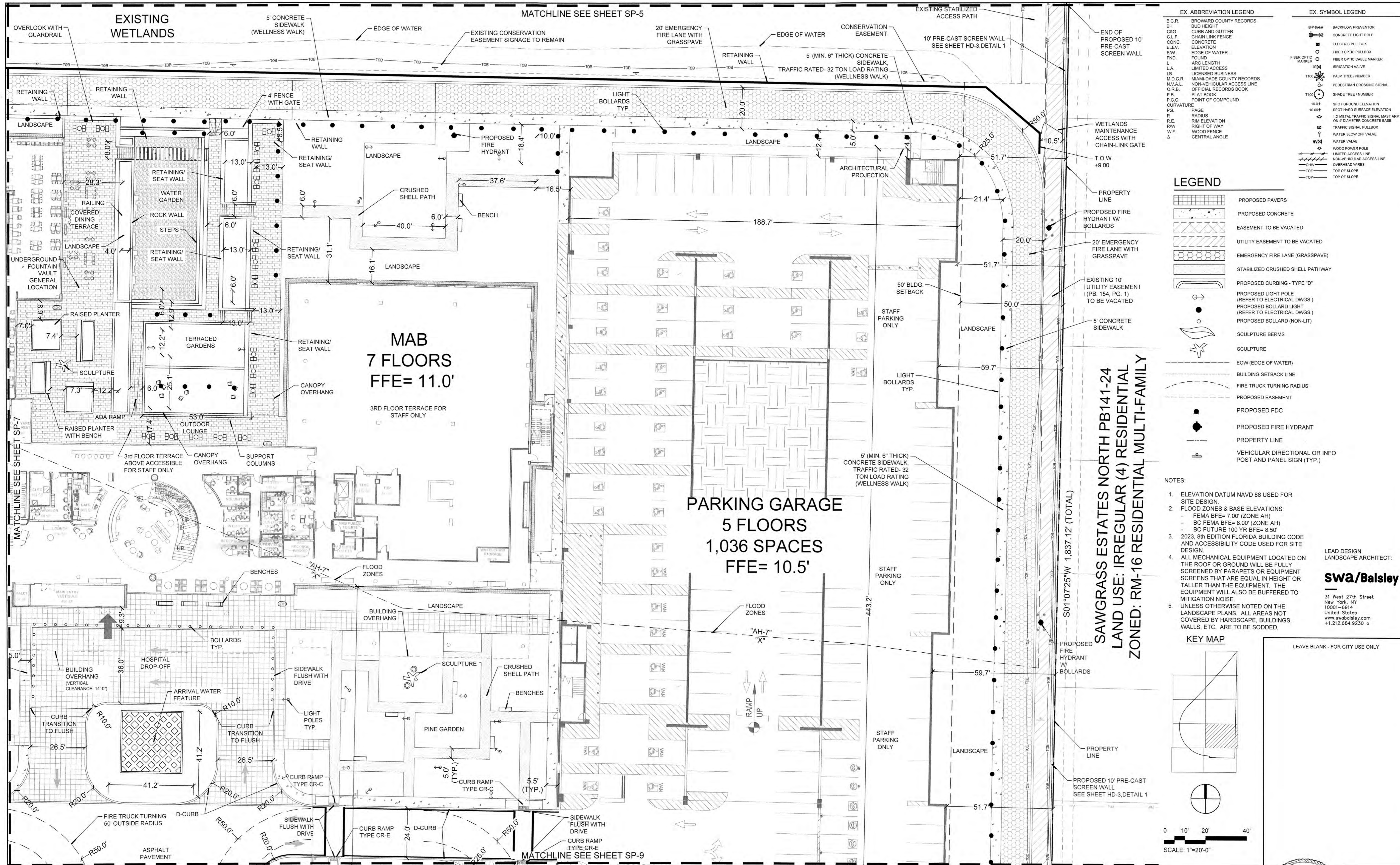
BAPTIST HEALTH SUNRISE HOSPITAL
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

**OVERALL SITE PLAN
 ENLARGEMENT**

DATE: 07/19/2024

DRAWING NO.: OSP-2

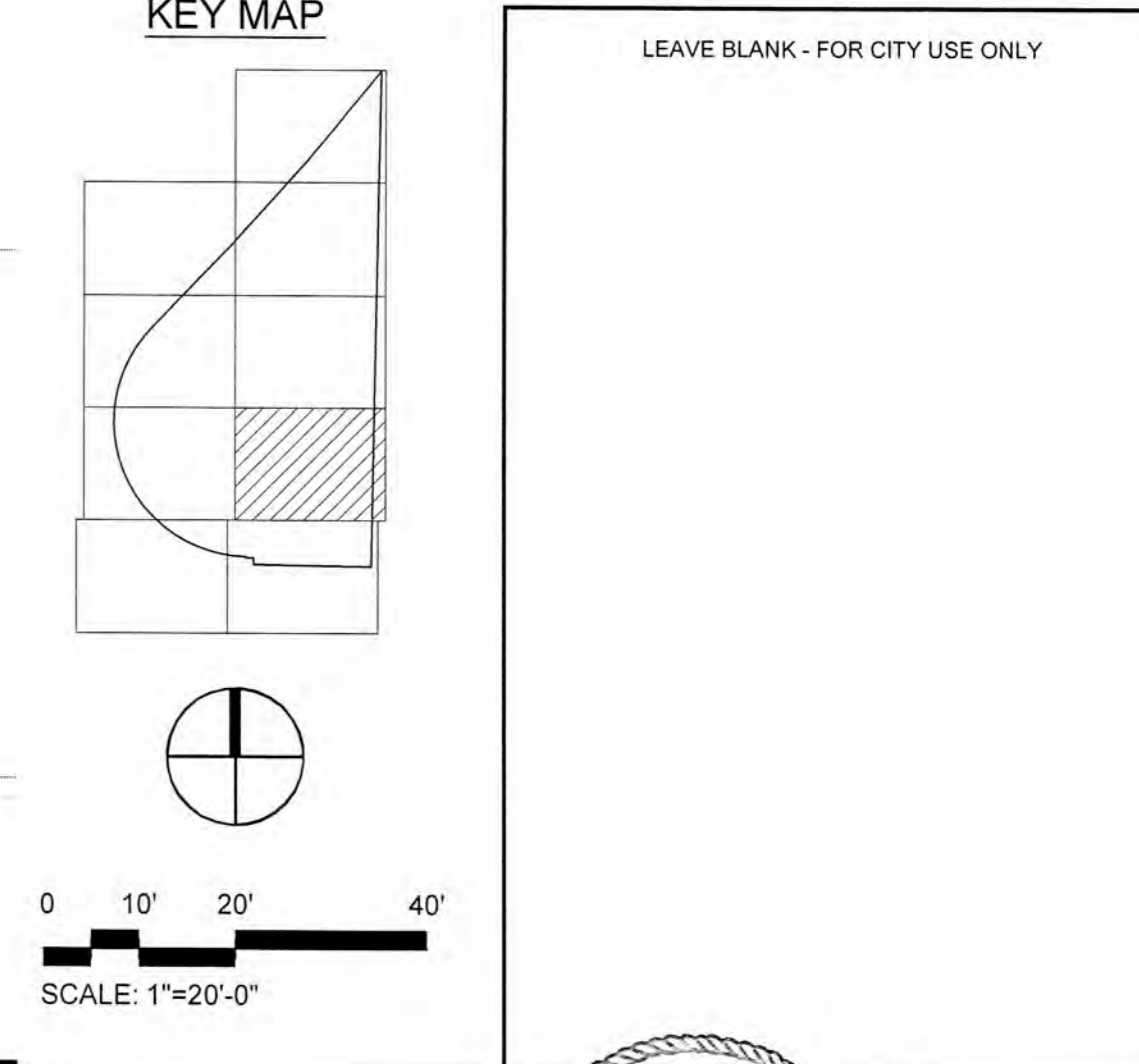
PROJECT NO.: 99-0039-002-01



EX. ABBREVIATION LEGEND		EX. SYMBOL LEGEND	
B.C.R.	BROWARD COUNTY RECORDS	BP	BACKFLOW PREVENTOR
BH	BUD HEIGHT	CLP	CONCRETE LIGHT POLE
C&G	CURB AND GUTTER	CP	CONCRETE PULLBOX
C.L.F.	CHAIN LINK FENCE	EL	ELECTRIC PULLBOX
CONC.	CONCRETE	FO	FIBER OPTIC PULLBOX
ELEV.	ELEVATION	FOM	FIBER OPTIC MARKER
EW	EDGE OF WATER	FL	FIBER OPTIC CABLE MARKER
FND.	FOUND	IRV	IRRIGATION VALVE
L	ARC LENGTH	PT	PALM TREE / NUMBER
L.A.	LIMITED ACCESS	PT	PEDESTRIAN CROSSING SIGNAL
LB	LICENSED BUSINESS	PT	SHADE TREE / NUMBER
M.D.C.R.	MAMI-DADE COUNTY RECORDS	PT	SPOT GROUND ELEVATION
N.V.A.L.	NON-VEHICULAR ACCESS LINE	PT	SPOT HARD SURFACE ELEVATION
O.R.B.	OFFICIAL RECORDS BOOK	PT	1" METAL TRAFFIC SIGNAL MAST ARM ON 4" DIAMETER CONCRETE BASE
P.B.	PLAT BOOK	PT	TRAFFIC SIGNAL PULLBOX
P.C.C.	POINT OF COMPOUND	PT	WATER BLOW OFF VALVE
PG.	PAGE	PT	WOOD POWER POLE
R	RADIUS	PT	LIMITED ACCESS LINE
R.E.	RIM ELEVATION	PT	NON-VEHICULAR ACCESS LINE
R.W.	RIGHT OF WAY	PT	OVERHEAD WIRES
W.F.	WOOD FENCE	PT	TOE OF SLOPE
Δ	CENTRAL ANGLE	PT	TOP OF SLOPE

LEGEND	
[Symbol]	PROPOSED PAVERS
[Symbol]	PROPOSED CONCRETE
[Symbol]	EASEMENT TO BE VACATED
[Symbol]	UTILITY EASEMENT TO BE VACATED
[Symbol]	EMERGENCY FIRE LANE (GRASSPAVE)
[Symbol]	STABILIZED CRUSHED SHELL PATHWAY
[Symbol]	PROPOSED CURBING - TYPE "D"
[Symbol]	PROPOSED LIGHT POLE (REFER TO ELECTRICAL DWGS.)
[Symbol]	PROPOSED BOLLARD LIGHT (REFER TO ELECTRICAL DWGS.)
[Symbol]	PROPOSED BOLLARD (NON-LIT)
[Symbol]	SCULPTURE BERMS
[Symbol]	SCULPTURE
[Symbol]	EOW (EDGE OF WATER)
[Symbol]	BUILDING SETBACK LINE
[Symbol]	FIRE TRUCK TURNING RADIUS
[Symbol]	PROPOSED EASEMENT
[Symbol]	PROPOSED FDC
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPERTY LINE
[Symbol]	VEHICULAR DIRECTIONAL OR INFO POST AND PANEL SIGN (TYP.)

- NOTES:
- ELEVATION DATUM NAVD 88 USED FOR SITE DESIGN.
 - FLOOD ZONES & BASE ELEVATIONS:
 - FEMA BFE= 7.00' (ZONE AH)
 - BC FEMA BFE= 8.00' (ZONE AH)
 - BC FUTURE 100 YR BFE= 9.50'
 - 2023 8th EDITION FLORIDA BUILDING CODE AND ACCESSIBILITY CODE USED FOR SITE DESIGN.
 - ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATION NOISE.
 - UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLANS, ALL AREAS NOT COVERED BY HARDSCAPE, BUILDINGS, WALLS, ETC. ARE TO BE SODDED.
- LEAD DESIGN LANDSCAPE ARCHITECT:
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United States
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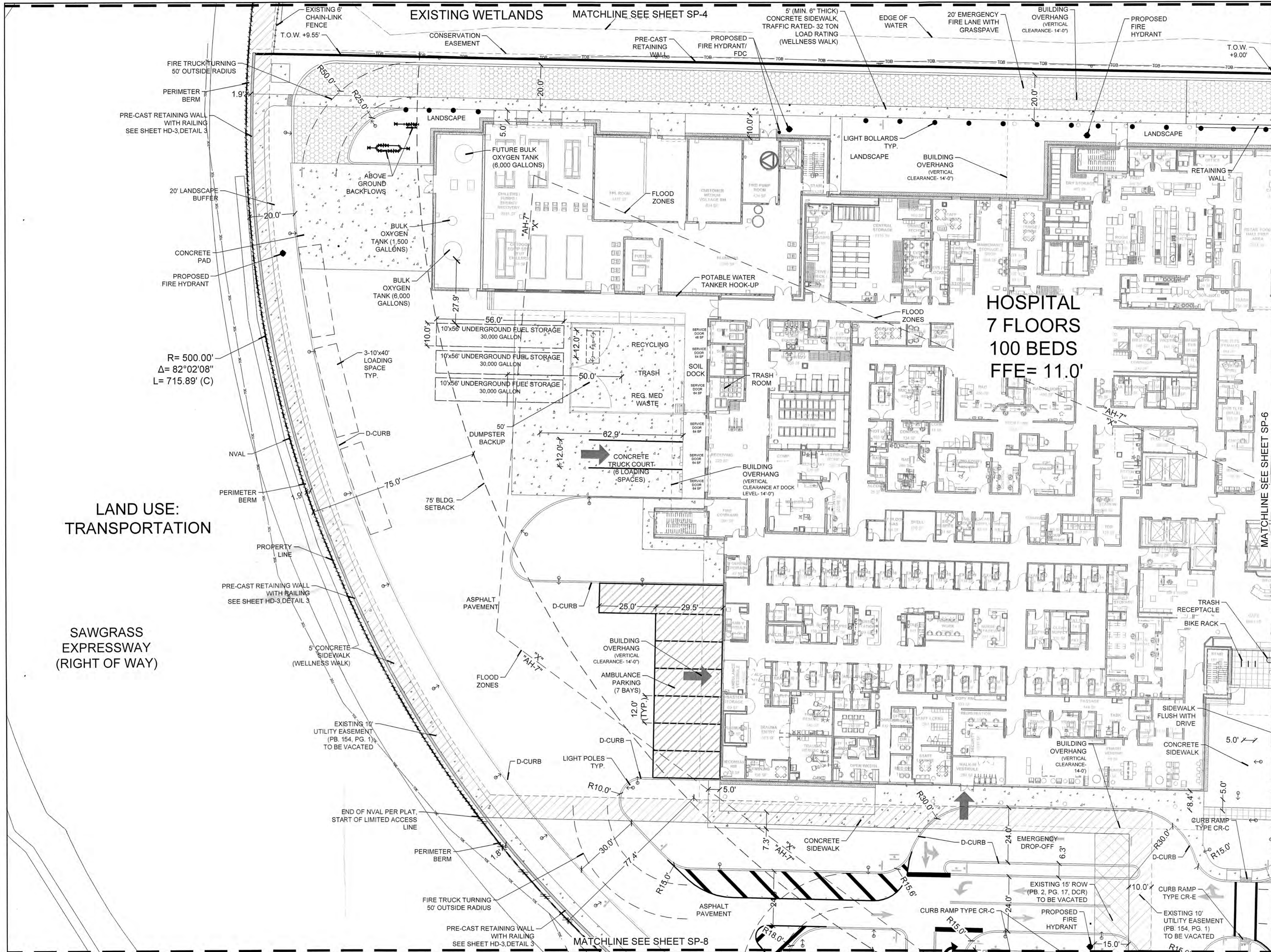
SITE PLAN

DATE: 07/19/2024

DRAWING NO. SP-6

PROJECT NO. 99-0039-002-01

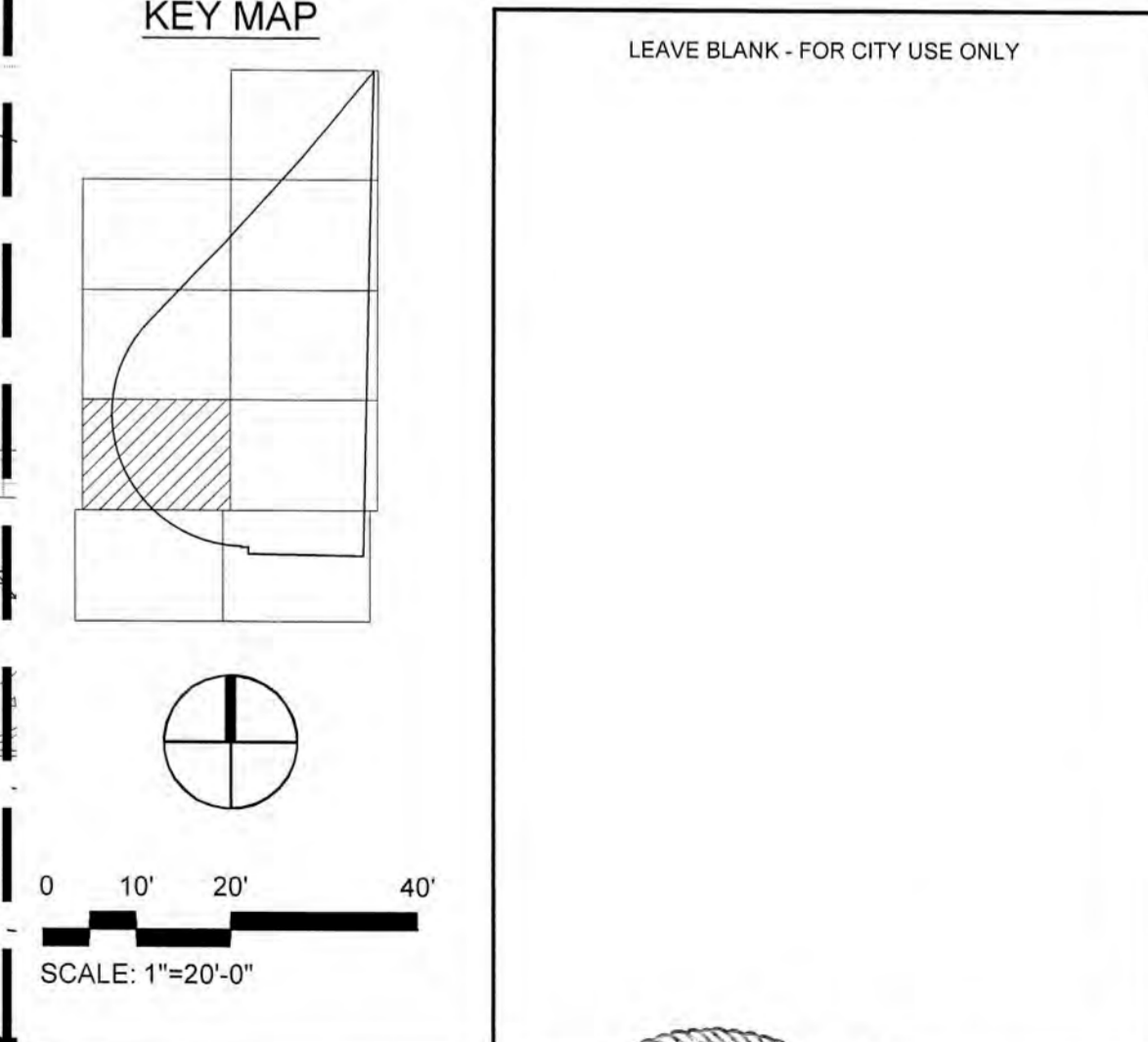
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Scott W. Balsley
Florida R.L.# No. 6666978
August 30, 2024



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LA	LIMITED ACCESS	N.V.A.L.	NON-VEHICULAR ACCESS LINE
LB	LICENSED BUSINESS	O.R.B.	OFFICIAL RECORDS BOOK
M.D.C.R.	MAMI-DADE COUNTY RECORDS	P.B.	PLAT BOOK
N.V.A.L.	NON-VEHICULAR ACCESS LINE	P.C.	POINT OF COMPOUND
O.R.B.	OFFICIAL RECORDS BOOK	P.C.C.	CURVATURE
P.B.	PLAT BOOK	PG.	PAGE
P.C.	POINT OF COMPOUND	R	RADIUS
P.C.C.	CURVATURE	R.E.	RIM ELEVATION
PG.	PAGE	R.W.	RIGHT OF WAY
R	RADIUS	W.F.	WOOD FENCE
R.E.	RIM ELEVATION	W.F.A.	CENTRAL ANGLE
R.W.	RIGHT OF WAY		
W.F.	WOOD FENCE		
W.F.A.	CENTRAL ANGLE		

LEGEND	
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[Symbol]	PROPERTY LINE
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10001-5914
United States
www.swabalsley.com
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No.	REVISIONS	DATE	BY

SCALE: 1" = 20'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

Craven Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-8409 TEL: (954) 739-8400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0200114

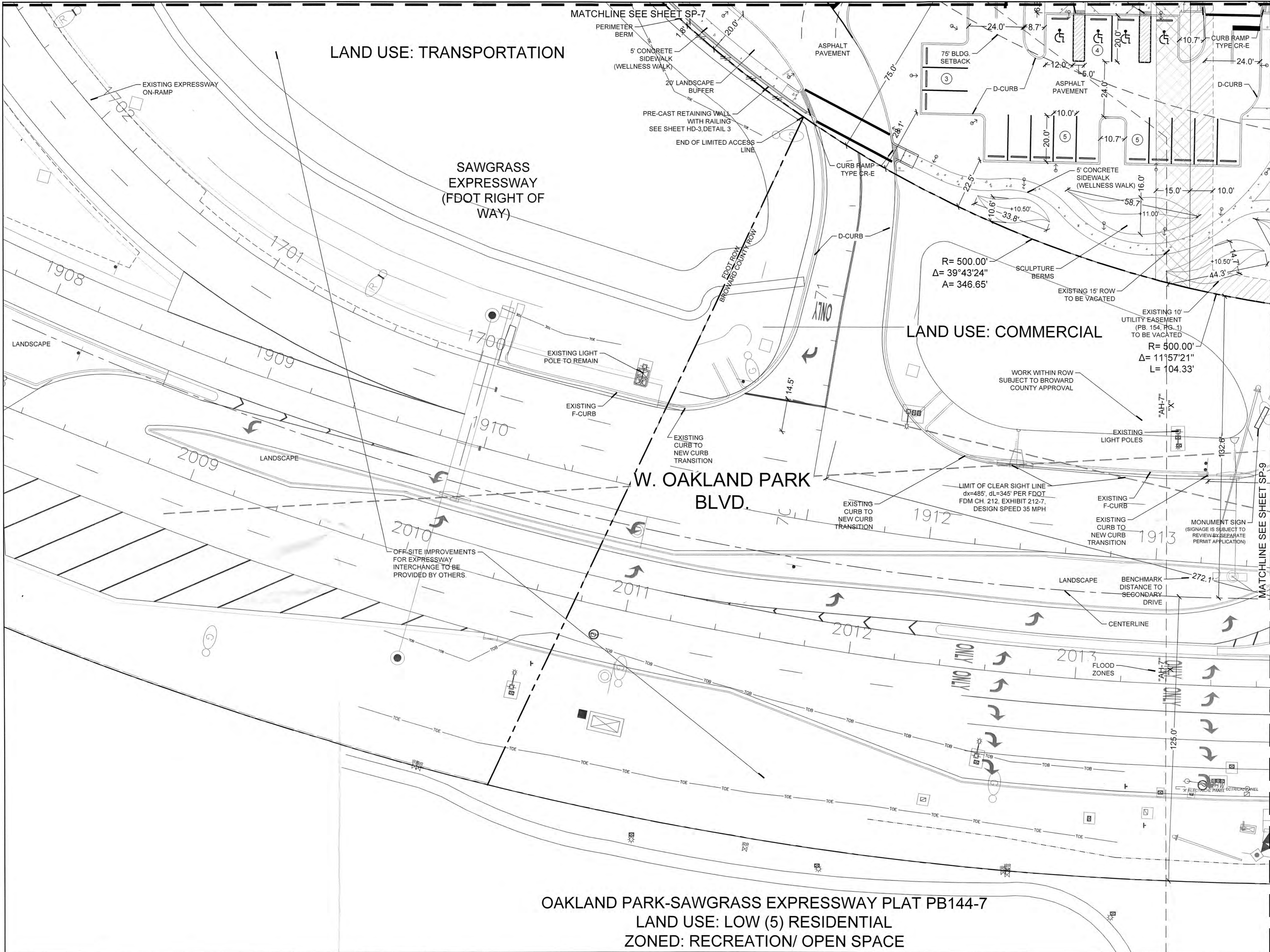
BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

SITE PLAN

DATE: 07/19/2024

DRAWING NO. SP-7

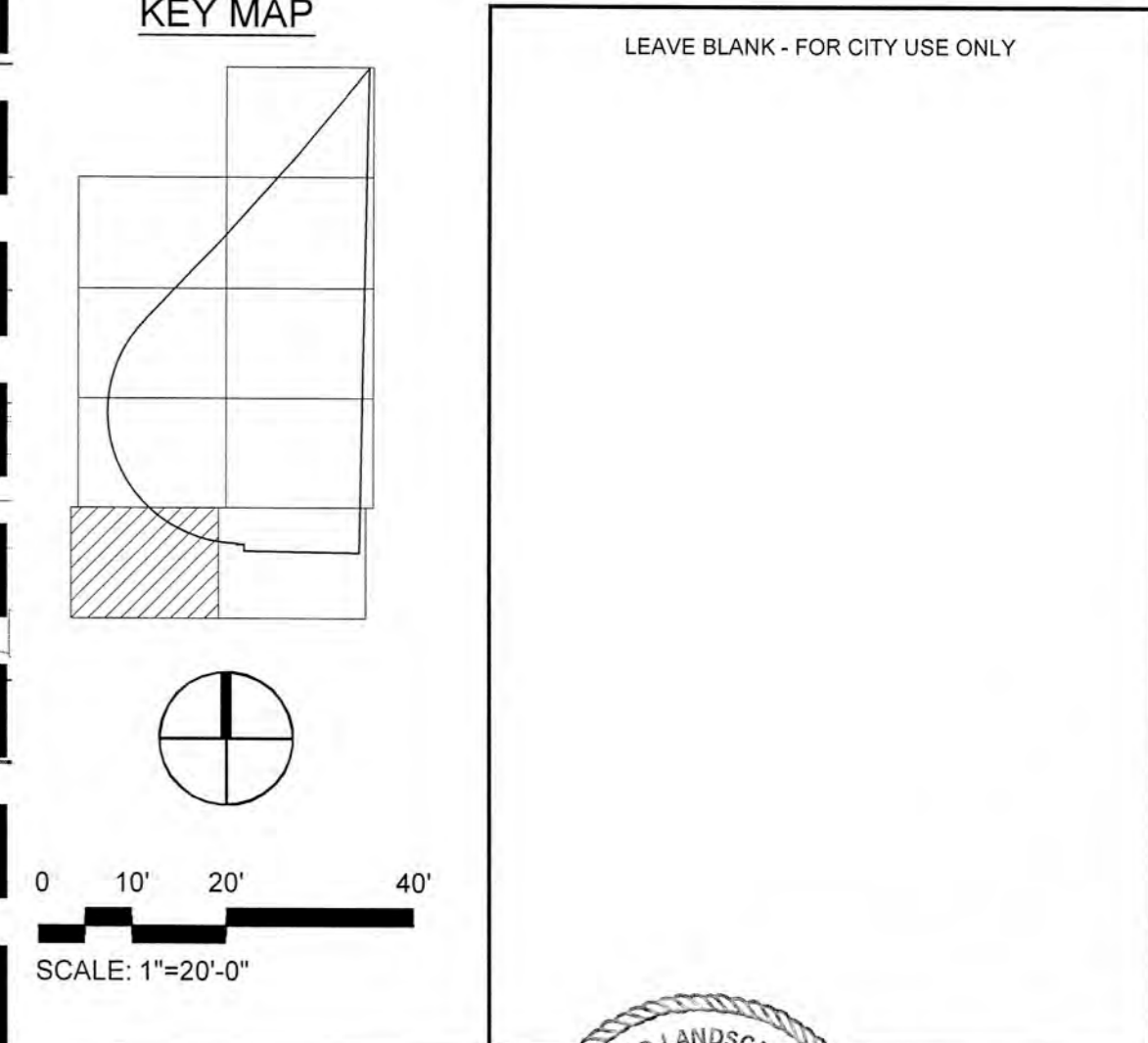
PROJECT NO. 99-0039-002-01



- EX. ABBREVIATION LEGEND**
- B.C.R. BROWARD COUNTY RECORDS
 - BH. BUILDING HEIGHT
 - C&G. CHAIN LINK FENCE
 - CONC. CONCRETE
 - ELEV. ELEVATION
 - EW. EDGE OF WATER
 - FND. FOUND
 - L. ARC LENGTH
 - L.A. LIMITED ACCESS
 - LB. LICENSED BUSINESS
 - M.D.C.R. MIAMI-DADE COUNTY RECORDS
 - N.V.A.L. NON-VEHICULAR ACCESS LINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - P.C. POINT OF COMPOUND
 - P.C. CURVATURE
 - PG. PAGE
 - R. RADIUS
 - R.E. RIM ELEVATION
 - R.W. RIGHT OF WAY
 - W.F. WOOD FENCE
 - Δ. CENTRAL ANGLE
- EX. SYMBOL LEGEND**
- BACKFLOW PREVENTOR
 - CONCRETE LIGHT POLE
 - ELECTRIC PULLBOX
 - FIBER OPTIC PULLBOX
 - FIBER OPTIC CABLE MARKER
 - IRRIGATION VALVE
 - PALM TREE / NUMBER
 - PEDESTRIAN CROSSING SIGNAL
 - SHADE TREE / NUMBER
 - SPOT GROUND ELEVATION
 - SPOT HARD SURFACE ELEVATION
 - 1" METAL TRAFFIC SIGNAL MAST ARM ON 4" DIAMETER CONCRETE BASE
 - TRAFFIC SIGNAL PULLBOX
 - WATER BLOW OFF VALVE
 - WATER VALVE
 - WOOD POWER POLE
 - LIMITED ACCESS LINE
 - NON-VEHICULAR ACCESS LINE
 - OVERHEAD WIRES
 - TOE OF SLOPE
 - TOP OF SLOPE

- LEGEND**
- PROPOSED PAVERS
 - PROPOSED CONCRETE
 - EASEMENT TO BE VACATED
 - UTILITY EASEMENT TO BE VACATED
 - EMERGENCY FIRE LANE (GRASSPAVE)
 - STABILIZED CRUSHED SHELL PATHWAY
 - PROPOSED CURBING - TYPE 'D'
 - PROPOSED LIGHT POLE (REFER TO ELECTRICAL DWGS.)
 - PROPOSED BOLLARD LIGHT (REFER TO ELECTRICAL DWGS.)
 - PROPOSED BOLLARD (NON-LIT)
 - SCULPTURE BERMS
 - SCULPTURE
 - EW (EDGE OF WATER)
 - BUILDING SETBACK LINE
 - FIRE TRUCK TURNING RADIUS
 - PROPOSED EASEMENT
 - PROPOSED FDC
 - PROPOSED FIRE HYDRANT
 - PROPERTY LINE
 - VEHICULAR DIRECTIONAL OR INFO POST AND PANEL SIGN (TYP.)

- NOTES:**
- ELEVATION DATUM NAVD 88 USED FOR SITE DESIGN.
 - FLOOD ZONES & BASE ELEVATIONS:
 - FEMA BFE= 7.00' (ZONE AH)
 - BC FUTURE 100 YR BFE= 8.50'
 - BC FUTURE 100 YR BFE= 8.50'
 - 2023, 8th EDITION FLORIDA BUILDING CODE AND ACCESSIBILITY CODE USED FOR SITE DESIGN.
 - ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATION NOISE.
 - UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLANS, ALL AREAS NOT COVERED BY HARDSCAPE, BUILDINGS, WALLS, ETC. ARE TO BE SODDED.
- LEAD DESIGN LANDSCAPE ARCHITECT:**
SWa/Balsley
 31 West 27th Street
 New York, NY
 10001-6914
 United States
 www.swabalsley.com
 +1.212.684.9230



OAKLAND PARK-SAWGRASS EXPRESSWAY PLAT PB144-7
 LAND USE: LOW (5) RESIDENTIAL
 ZONED: RECREATION/ OPEN SPACE

No.	REVISIONS	DATE	BY

SCALE: 1" = 20'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

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 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

SITE PLAN

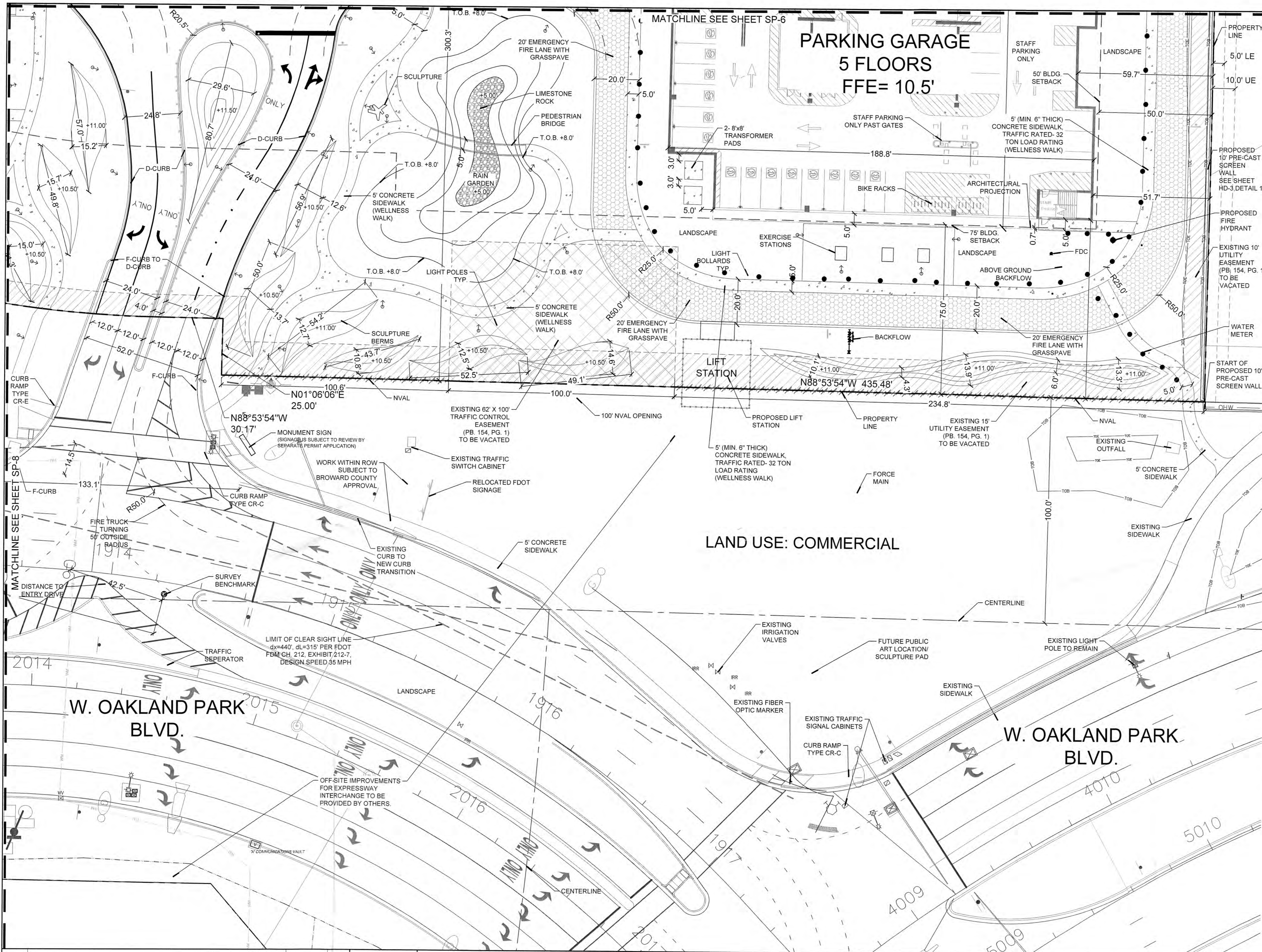
DATE: 07/19/2024

DRAWING NO. SP-8

PROJECT NO. 99-0039-002-01

SEAL: REGISTERED LANDSCAPE ARCHITECT, SCOTT W. BALSLEY, LA 898978

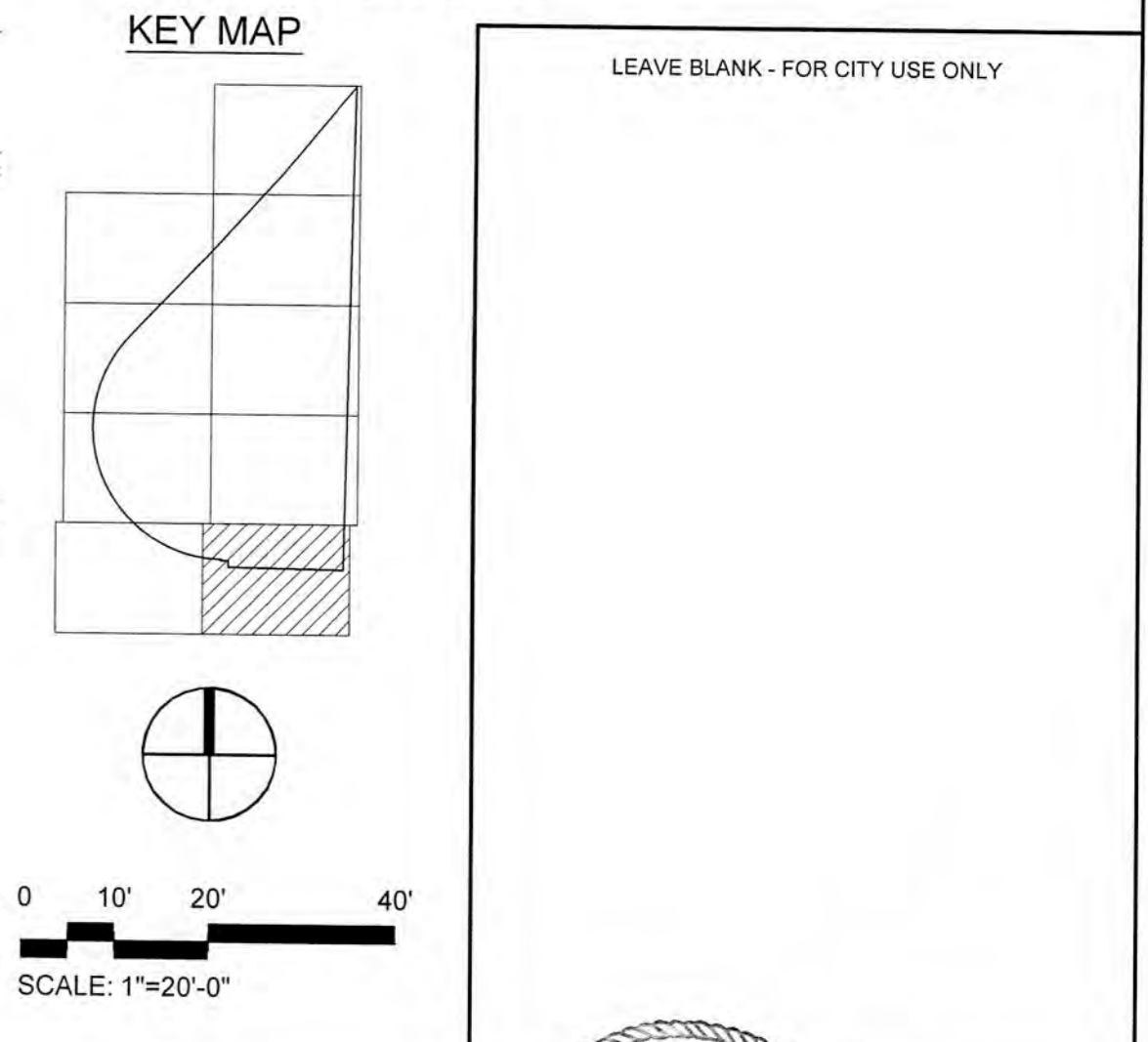
Scott W. Balsley
 Florida R.L.A. No. 8666978
 August 28, 2024



EX. ABBREVIATION LEGEND		EX. SYMBOL LEGEND	
B.C.R.	BROWARD COUNTY RECORDS	BFP	BACKFLOW PREVENTOR
B.H.	BUILDING HEIGHT	CLP	CONCRETE LIGHT POLE
C.G.	CURB AND GUTTER	CMC	CHAIN LINK FENCE
C.F.	CONCRETE	ELEV.	ELEVATION
CONC.	CONCRETE	E/W	EDGE OF WATER
ELEV.	ELEVATION	FOUND	FOUND
FND.	FOUND	L	ARC LENGTH
L	ARC LENGTH	L.A.	LIMITED ACCESS
L.B.	LICENSED BUSINESS	L.B.	LICENSED BUSINESS
M.D.C.R.	MIAMI-DADE COUNTY RECORDS	N.V.A.L.	NON-VEHICULAR ACCESS LINE
N.V.A.L.	NON-VEHICULAR ACCESS LINE	O.R.B.	OFFICIAL RECORDS BOOK
O.R.B.	OFFICIAL RECORDS BOOK	P.B.	PLAT BOOK
P.B.	PLAT BOOK	P.C.	POINT OF COMPOUND
P.C.	POINT OF COMPOUND	PG	PAGE
PG	PAGE	R	RADIUS
R	RADIUS	R.E.	RIM ELEVATION
R.E.	RIM ELEVATION	R.W.	RIGHT OF WAY
R.W.	RIGHT OF WAY	W.F.	WOOD FENCE
W.F.	WOOD FENCE	Δ	CENTRAL ANGLE

LEGEND	
[Symbol]	PROPOSED PAVERS
[Symbol]	PROPOSED CONCRETE
[Symbol]	EASEMENT TO BE VACATED
[Symbol]	UTILITY EASEMENT TO BE VACATED
[Symbol]	EMERGENCY FIRE LANE (GRASSPAVE)
[Symbol]	STABILIZED CRUSHED SHELL PATHWAY
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[Symbol]	PROPOSED LIGHT POLE (REFER TO ELECTRICAL DWGS.)
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[Symbol]	PROPOSED BOLLARD (NON-LIT)
[Symbol]	SCULPTURE BERMS
[Symbol]	SCULPTURE
[Symbol]	EOW (EDGE OF WATER)
[Symbol]	BUILDING SETBACK LINE
[Symbol]	FIRE TRUCK TURNING RADIUS
[Symbol]	PROPOSED EASEMENT
[Symbol]	PROPOSED FDC
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BAPTIST HEALTH SUNRISE HOSPITAL
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

SITE PLAN

DATE: 07/19/2024
 DRAWING NO: SP-9
 PROJECT NO: 99-0039-002-01

SEE SHEETS V-2 THRU V-4 FOR SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

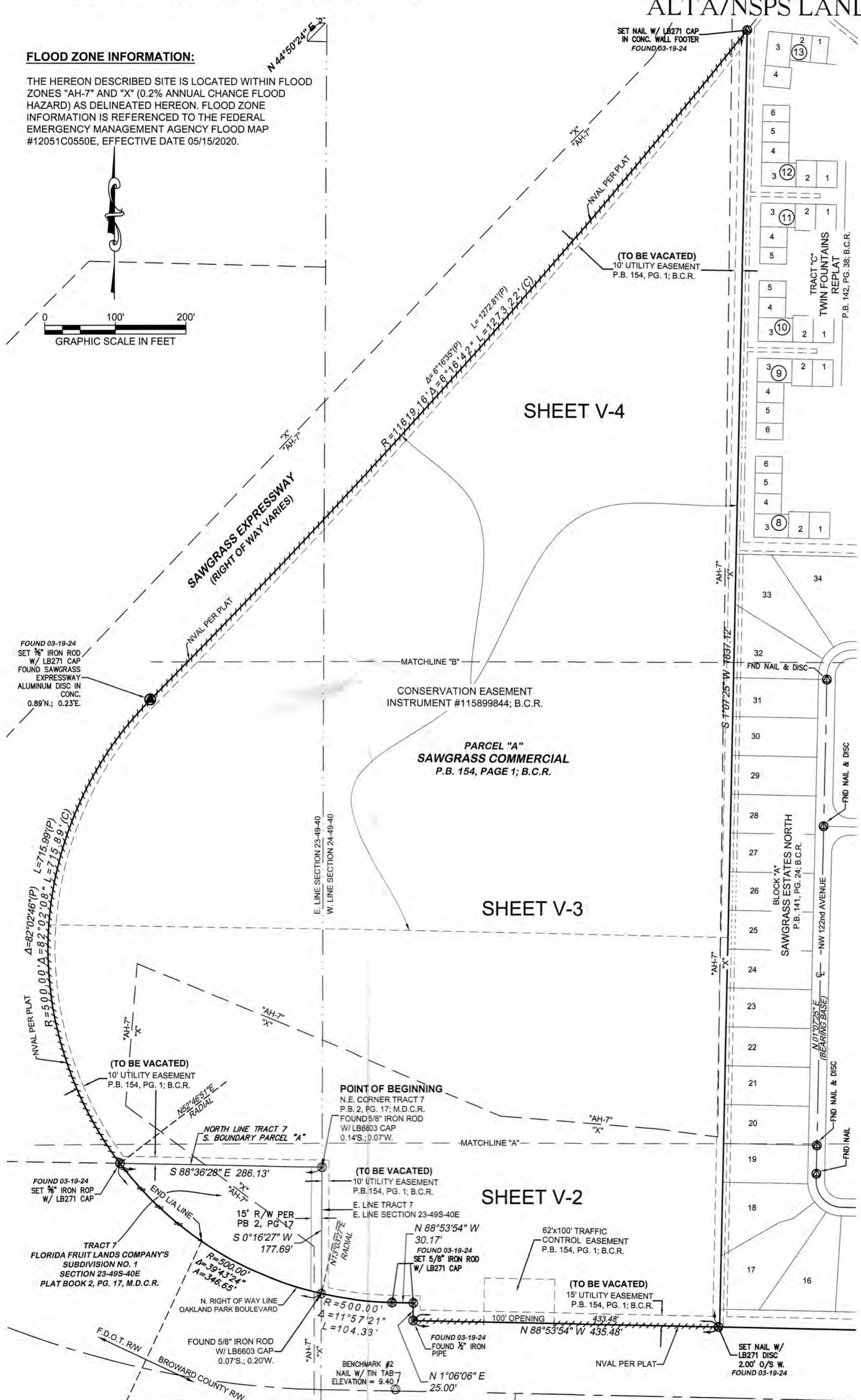
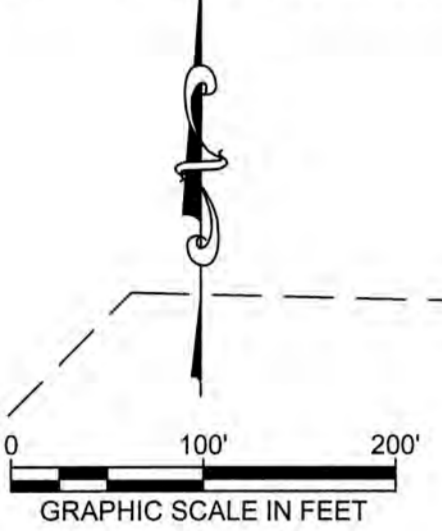
SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

NOTE:
TREES LYING ON THE ISLANDS WITHIN THE CONSERVATION AREA WERE NOT LOCATED FOR THIS SURVEY.

NOTE: The undersigned and GRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and verified, confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

FLOOD ZONE INFORMATION:

THE HEREON DESCRIBED SITE IS LOCATED WITHIN FLOOD ZONES "AH-7" AND "X" (0.2% ANNUAL CHANCE FLOOD HAZARD) AS DELINEATED HEREON. FLOOD ZONE INFORMATION IS REFERENCED TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD MAP #12051C0550E, EFFECTIVE DATE 05/15/2020.



TREE#	DESCRIPTION	TREE#	DESCRIPTION	TREE#	DESCRIPTION
T243	4" OAK	T566	4" POND APPLE	T953	6" OAK
T244	8" OAK	T567	14" BLACK OLIVE	T954	10" OAK
T245	6" OAK	T568	4" POND APPLE	T955	4" BLACK OLIVE
T246	6" OAK	T569	4" POND APPLE	T956	6" OAK
T247	6" OAK	T570	4" POND APPLE	T957	10" OAK
T255	6" COCO PLUM	T571	5" POND APPLE	T958	4" OAK
T256	6" COCO PLUM	T572	4" POND APPLE	T959	4" OAK
T258	6" UNKNOWN	T573	4" POND APPLE	T960	6" BLACK OLIVE
T261	4" COCO PLUM	T574	4" POND APPLE	T961	6" BLACK OLIVE
T262	4" COCO PLUM	T575	4" POND APPLE	T962	6" BLACK OLIVE
T263	4" COCO PLUM	T576	4" POND APPLE	T963	12" BLACK OLIVE
T266	10" BLACK OLIVE	T577	4" POND APPLE	T964	4" BLACK OLIVE
T271	10" OAK	T578	4" POND APPLE	T965	6" BLACK OLIVE
T273	10" POND APPLE	T579	4" POND APPLE	T966	14" BLACK OLIVE
T274	4" OAK	T580	4" POND APPLE	T967	6" BLACK OLIVE
T275	6" POND APPLE	T581	4" POND APPLE	T968	12" BLACK OLIVE
T276	10" OAK	T582	4" POND APPLE	T969	12" BLACK OLIVE
T277	6" OAK	T583	4" POND APPLE	T970	4" OAK
T278	7" OAK	T584	4" POND APPLE	T971	4" BLACK OLIVE
T279	8" OAK	T585	4" POND APPLE	T972	5" BLACK OLIVE
T287	6" BLACK OLIVE	T586	4" POND APPLE	T973	10" OAK
T293	6" BLACK OLIVE	T587	4" POND APPLE	T974	8" OAK
T294	4" BLACK OLIVE	T588	4" POND APPLE	T975	15" BLACK OLIVE
T296	6" BLACK OLIVE	T589	4" POND APPLE	T976	12" BLACK OLIVE
T297	15" SAW PALMETTO PALM BH#4	T590	4" POND APPLE	T977	12" BLACK OLIVE
T298	4" MAPLE	T591	4" POND APPLE	T978	12" BLACK OLIVE
T300	5" OAK	T592	4" POND APPLE	T979	4" POND APPLE
T301	15" SAW PALMETTO PALM BH#12	T593	4" POND APPLE	T980	18" OAK
T302	6" POND APPLE	T594	4" POND APPLE	T981	18" OAK
T303	6" POND APPLE	T595	4" POND APPLE	T982	15" ROYAL PALM BH#29
T304	4" POND APPLE	T596	4" POND APPLE	T983	15" ROYAL PALM BH#29
T306	6" BLACK OLIVE	T597	4" POND APPLE	T984	10" POND APPLE
T307	6" OAK	T598	4" POND APPLE	T985	4" POND APPLE
T308	4" POND APPLE	T599	4" POND APPLE	T986	4" POND APPLE
T309	4" POND APPLE	T600	4" POND APPLE	T987	10" POND APPLE
T310	4" POND APPLE	T601	4" POND APPLE	T988	10" POND APPLE
T311	15" SAW PALMETTO PALM BH#10	T602	4" POND APPLE	T989	10" POND APPLE
T312	4" POND APPLE	T603	4" POND APPLE	T990	10" POND APPLE
T313	4" OAK	T604	4" POND APPLE	T991	10" POND APPLE
T314	15" SAW PALMETTO PALM BH#10	T605	4" POND APPLE	T992	10" POND APPLE
T316	4" BLACK OLIVE	T606	4" POND APPLE	T993	6" POND APPLE
T317	15" SAW PALMETTO PALM BH#5	T607	4" POND APPLE	T994	4" POND APPLE
T318	4" BLACK OLIVE	T608	4" POND APPLE	T995	4" POND APPLE
T319	5" MAPLE	T609	4" POND APPLE	T996	4" POND APPLE
T320	4" OAK	T610	4" POND APPLE	T997	4" POND APPLE
T321	10" MAPLE	T611	4" POND APPLE	T998	10" POND APPLE
T322	8" GUMBO LIMBO	T612	4" POND APPLE	T999	4" POND APPLE
T323	8" GUMBO LIMBO	T613	4" POND APPLE	T1000	4" POND APPLE
T324	4" BLACK OLIVE	T614	4" POND APPLE	T1001	8" POND APPLE
T325	15" SAW PALMETTO PALM BH#10	T615	4" POND APPLE	T1002	6" POND APPLE
T326	6" BLACK OLIVE	T616	4" POND APPLE	T1003	4" POND APPLE
T327	6" BLACK OLIVE	T617	4" POND APPLE	T1004	4" POND APPLE
T328	6" OAK	T618	4" POND APPLE	T1005	10" POND APPLE
T329	5" POND APPLE	T619	4" POND APPLE	T1006	4" POND APPLE
T330	4" POND APPLE	T620	4" POND APPLE	T1007	4" POND APPLE
T331	10" OAK	T621	4" POND APPLE	T1008	4" POND APPLE
T332	4" POND APPLE	T622	4" POND APPLE	T1009	10" POND APPLE
T333	4" POND APPLE	T623	4" POND APPLE	T1010	10" POND APPLE
T334	24" OAK	T624	4" POND APPLE	T1011	4" POND APPLE
T335	4" OAK	T625	4" POND APPLE	T1012	4" POND APPLE
T336	4" OAK	T626	4" POND APPLE	T1013	4" POND APPLE
T337	4" OAK	T627	4" POND APPLE	T1014	4" POND APPLE
T338	6" OAK	T628	4" POND APPLE	T1015	4" POND APPLE
T341	4" POND APPLE	T629	4" POND APPLE	T1016	4" POND APPLE
T342	4" OAK	T630	4" POND APPLE	T1017	12" POND APPLE
T343	4" POND APPLE	T631	4" POND APPLE	T1018	8" POND APPLE
T344	15" SAW PALMETTO PALM BH#12	T632	4" POND APPLE	T1019	8" POND APPLE
T345	4" OAK	T633	4" POND APPLE	T1020	8" POND APPLE
T346	4" POND APPLE	T634	4" POND APPLE	T1021	10" POND APPLE
T347	10" OAK	T635	4" POND APPLE	T1022	10" POND APPLE
T348	15" SAW PALMETTO PALM BH#8	T636	4" POND APPLE	T1023	4" POND APPLE
T349	15" SAW PALMETTO PALM BH#8	T637	4" POND APPLE	T1024	4" POND APPLE
T350	15" SAW PALMETTO PALM BH#8	T638	4" POND APPLE	T1025	6" UNKNOWN
T351	4" BLACK OLIVE	T639	4" POND APPLE	T1026	6" UNKNOWN
T352	15" SABAL PALM BH#8	T640	4" POND APPLE	T1027	6" UNKNOWN
T353	6" OAK	T641	4" POND APPLE	T1028	6" UNKNOWN
T354	6" OAK	T642	4" POND APPLE	T1029	6" POND APPLE
T355	4" OAK	T643	4" POND APPLE	T1030	6" POND APPLE
T356	6" OAK	T644	4" POND APPLE	T1031	6" POND APPLE
T357	15" SABAL PALM BH#8	T645	4" POND APPLE	T1032	4" POND APPLE
T358	4" OAK	T646	4" POND APPLE	T1033	4" POND APPLE
T359	4" OAK	T647	4" POND APPLE	T1034	4" POND APPLE
T360	6" OAK	T648	4" POND APPLE	T1035	4" POND APPLE
T361	4" BLACK OLIVE	T649	4" POND APPLE	T1036	4" POND APPLE
T362	4" BLACK OLIVE	T650	4" POND APPLE	T1037	4" POND APPLE
T363	4" BLACK OLIVE	T651	4" POND APPLE	T1038	4" POND APPLE
T364	4" BLACK OLIVE	T652	4" POND APPLE	T1039	4" POND APPLE
T365	15" SABAL PALM BH#8	T653	4" POND APPLE	T1040	4" POND APPLE
T366	6" OAK	T654	4" POND APPLE	T1041	4" POND APPLE
T367	6" OAK	T655	4" POND APPLE	T1042	4" POND APPLE
T368	6" OAK	T656	4" POND APPLE	T1043	4" POND APPLE
T369	7" OAK	T657	4" POND APPLE	T1044	4" POND APPLE
T370	6" OAK	T658	4" POND APPLE	T1045	4" POND APPLE
T371	8" OAK	T659	4" POND APPLE	T1046	4" POND APPLE
T372	7" OAK	T660	4" POND APPLE	T1047	4" POND APPLE
T373	6" STRANGLER PG	T661	4" POND APPLE	T1048	4" POND APPLE
T375	7" OAK	T662	4" POND APPLE	T1049	4" POND APPLE
T376	8" OAK	T663	4" POND APPLE	T1050	2" POND APPLE
T377	6" OAK	T664	4" POND APPLE	T1051	4" POND APPLE
T378	4" OAK	T665	4" POND APPLE	T1052	4" POND APPLE
T379	4" OAK	T666	4" POND APPLE	T1053	18" SABAL PALM BH#3
T380	5" OAK	T667	4" POND APPLE	T1054	8" SAW PALMETTO BH#3
T381	4" OAK	T668	4" POND APPLE	T1100	6" POND APPLE
T382	4" OAK	T669	4" POND APPLE	T1101	6" POND APPLE
T383	5" OAK	T670	4" POND APPLE	T1102	6" POND APPLE
T384	5" OAK	T671	4" POND APPLE	T1103	5" POND APPLE
T385	6" OAK	T672	4" POND APPLE	T1104	4" OAK
T386	4" OAK	T673	4" POND APPLE		
T387	6" OAK	T674	4" POND APPLE		
T388	3" POND APPLE	T675	4" POND APPLE		
T389	3" POND APPLE	T676	4" POND APPLE		
T390	3" POND APPLE	T677	4" POND APPLE		
T391	3" POND APPLE	T678	4" POND APPLE		
T392	3" POND APPLE	T679	4" POND APPLE		
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T394	3" POND APPLE	T681	4" POND APPLE		
T395	3" POND APPLE	T682	4" POND APPLE		
T396	3" POND APPLE	T683	4" POND APPLE		
T397	3" POND APPLE	T684	4" POND APPLE		
T398	3" POND APPLE	T685	4" POND APPLE		
T399	3" POND APPLE	T686	4" POND APPLE		
T400	3" POND APPLE	T687	4" POND APPLE		
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T403	3" POND APPLE	T690	4" POND APPLE		
T404	3" POND APPLE	T691	4" POND APPLE		
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T406	3" POND APPLE	T693	4" POND APPLE		
T407	3" POND APPLE	T694	4" POND APPLE		
T408	3" POND APPLE	T695	4" POND APPLE		
T409	3" POND APPLE	T696	4" POND APPLE		
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T415	3" POND APPLE	T702	4" POND APPLE		
T416	3" POND APPLE	T703	4" POND APPLE		
T417	3" POND APPLE	T704	4" POND APPLE		
T418	3" POND APPLE	T705	4" POND APPLE		
T419	3" POND APPLE	T706	4" POND APPLE		
T420	3" POND APPLE	T707	4" POND APPLE		
T421	3" POND APPLE	T708	4" POND APPLE		
T422	3" POND APPLE	T709	4" POND APPLE		
T423	3" POND APPLE	T710	4" POND APPLE		
T424	3" POND APPLE	T711	4" POND APPLE		
T425	3" POND APPLE	T712	4" POND APPLE		
T426	3" POND APPLE	T713	4" POND APPLE		
T427	3" POND APPLE	T714	4" POND APPLE		
T428	3" POND APPLE	T715	4" POND APPLE		
T429	3" POND APPLE	T716	4" POND APPLE		
T430	3" POND APPLE	T717	4" POND APPLE		
T431	3" POND APPLE	T718	4" POND APPLE		
T432	3" POND APPLE	T719	4" POND APPLE		
T433	3" POND APPLE	T720	4" POND APPLE		
T434	3" POND APPLE	T721	4" POND APPLE		
T435	3" POND APPLE	T722	4" POND APPLE		
T436	3" POND APPLE	T723	4" POND APPLE		
T437	3" POND APPLE	T724	4" POND APPLE		
T438	3" POND APPLE	T725	4" POND APPLE		
T439	3" POND APPLE	T726	4" POND APPLE		
T440	3" POND APPLE	T727	4" POND APPLE		
T441	3" POND APPLE	T728	4" POND APPLE		
T442	3" POND APPLE	T729	4" POND APPLE		
T443	3" POND APPLE	T730	4" POND APPLE		
T444	3" POND APPLE	T731	4" POND APPLE		
T445	3" POND APPLE	T732	4" POND APPLE		
T446	3" POND APPLE	T733	4" POND APPLE		
T447	3" POND APPLE	T734	4" POND APPLE		
T448	3" POND APPLE	T735	4" POND APPLE		
T449	3" POND APPLE	T736	4" POND APPLE		
T450	3" POND APPLE	T737	4" POND APPLE		
T451	3" POND APPLE	T738	4" POND APPLE		
T452	3" POND APPLE	T739	4" POND APPLE		
T453	3" POND APPLE	T740	4" POND APPLE		
T454	3" POND APPLE	T741	4" POND APPLE		
T455	3" POND APPLE	T742	4" POND APPLE		
T456	3" POND APPLE	T743	4" POND APPLE		
T457	3" POND APPLE	T744	4" POND APPLE		
T458	3" POND APPLE	T745	4" POND APPLE		
T459	3" POND APPLE	T746	4" POND APPLE		
T460	3" POND APPLE	T747	4" POND APPLE		
T461	3" POND APPLE	T748	4" POND APPLE		

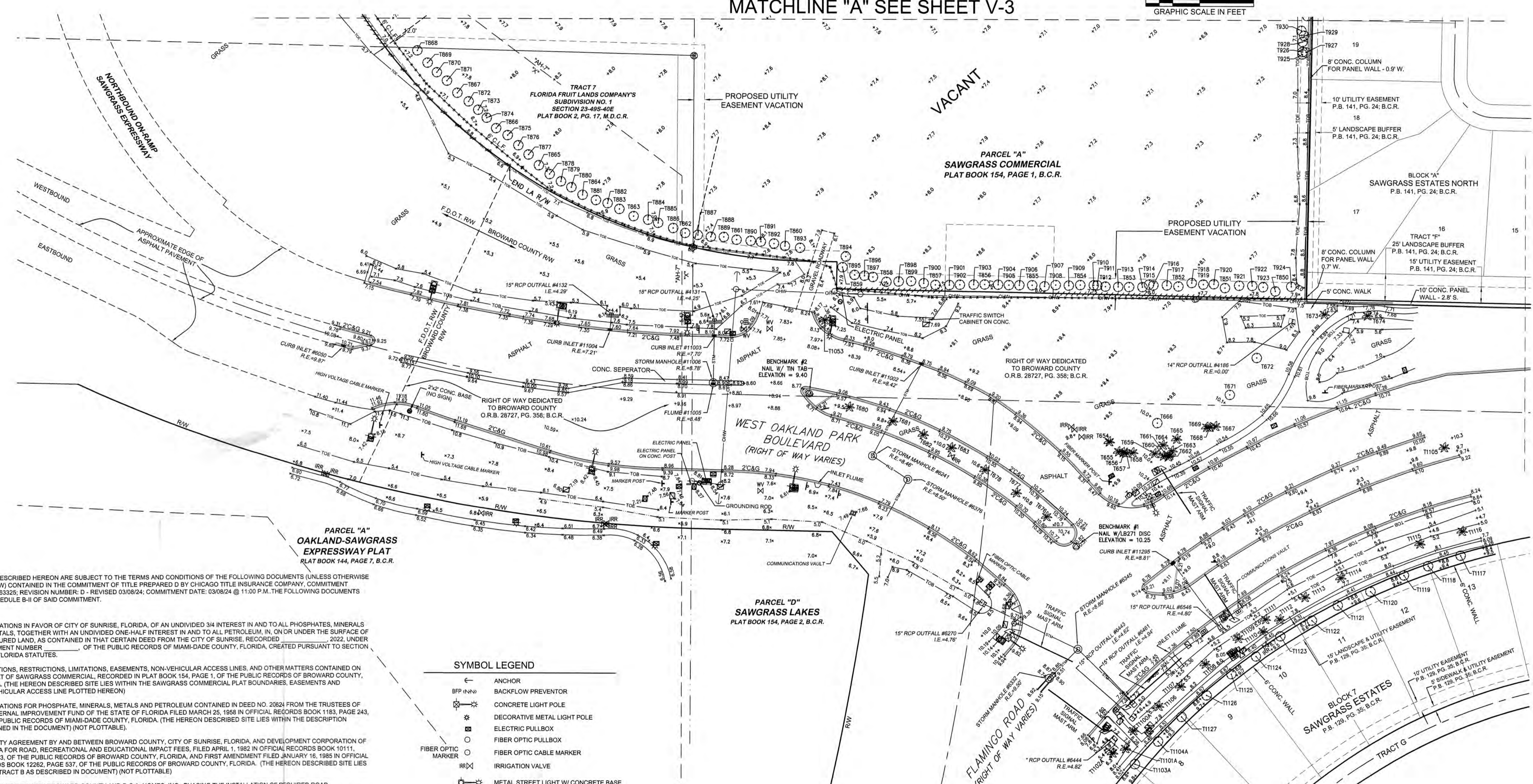
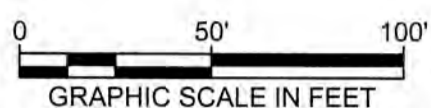
SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-3 AND V-4 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	01-28-15	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	03/19/24	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	12/29/23	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	09/28/23	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	07/12/23	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	07/19/23	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	02/19/19	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.
DATE:	02/19/16	SCALE:	1"=50'	DRAWN BY:	RY	CHECKED BY:	RD	FIELDBOOK:	SEE CERT.

MATCHLINE "A" SEE SHEET V-3



THE LANDS DESCRIBED HEREON ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE FOLLOWING DOCUMENTS (UNLESS OTHERWISE NOTED BELOW) CONTAINED IN THE COMMITMENT OF TITLE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 10183325; REVISION NUMBER: D - REVISED 03/08/24; COMMITMENT DATE: 03/08/24 @ 11:00 P.M. THE FOLLOWING DOCUMENTS CITED IN SCHEDULE B-II OF SAID COMMITMENT.

- RESERVATIONS IN FAVOR OF CITY OF SUNRISE, FLORIDA, OF AN UNDIVIDED 3/4 INTEREST IN AND TO ALL PHOSPHATES, MINERALS AND METALS, TOGETHER WITH AN UNDIVIDED ONE-HALF INTEREST IN AND TO ALL PETROLEUM IN, ON OR UNDER THE SURFACE OF THE INSURED LAND, AS CONTAINED IN THAT CERTAIN DEED FROM THE CITY OF SUNRISE, RECORDED UNDER INSTRUMENT NUMBER _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CREATED PURSUANT TO SECTION 270.11, FLORIDA STATUTES.
- DEDICATIONS, RESTRICTIONS, LIMITATIONS, EASEMENTS, NON-VEHICULAR ACCESS LINES, AND OTHER MATTERS CONTAINED ON THE PLAT OF SAWGRASS COMMERCIAL, RECORDED IN PLAT BOOK 154, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN THE SAWGRASS COMMERCIAL PLAT BOUNDARIES, EASEMENTS AND NON-VEHICULAR ACCESS LINE PLOTTED HEREON)
- RESERVATIONS FOR PHOSPHATE, MINERALS, METALS AND PETROLEUM CONTAINED IN DEED NO. 20824 FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA FILED MARCH 25, 1958 IN OFFICIAL RECORDS BOOK 1183, PAGE 243, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN THE DESCRIPTION CONTAINED IN THE DOCUMENT) (NOT PLOTTABLE).
- TRI-PARTY AGREEMENT BY AND BETWEEN BROWARD COUNTY, CITY OF SUNRISE, FLORIDA, AND DEVELOPMENT CORPORATION OF AMERICA FOR ROAD, RECREATIONAL AND EDUCATIONAL IMPACT FEES, FILED APRIL 1, 1982 IN OFFICIAL RECORDS BOOK 10111, PAGE 633, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND FIRST AMENDMENT FILED JANUARY 16, 1985 IN OFFICIAL RECORDS BOOK 10282, PAGE 537, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN TRACT B AS DESCRIBED IN DOCUMENT) (NOT PLOTTABLE)
- AGREEMENT BETWEEN BROWARD COUNTY AND D.C.A. HOMES, INC., PHASING THE INSTALLATION OF REQUIRED ROAD IMPROVEMENTS RELATING TO SAWGRASS COMMERCIAL FILED MAY 7 1993 IN OFFICIAL RECORDS BOOK 20644, PAGE 972, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE HEREON DESCRIBED SITE LIES WITHIN THE LANDS DESCRIBED IN THE DOCUMENT) (NOT PLOTTABLE)
- ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS, CONDITIONS AND OTHER PROVISIONS AS CONTAINED IN THE AMENDED DEED OF CONSERVATION EASEMENT AND AGREEMENT BY AND BETWEEN THE CITY OF SUNRISE, A MUNICIPAL CORPORATION, AND BROWARD COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, FILED JUNE 28, 2019 UNDER INSTRUMENT NUMBER 11589844, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE EASEMENT DESCRIPTION LIES WHOLLY WITHIN THE HEREON DESCRIBED SITE) (EASEMENT PLOTTED HEREON)
- RESTRICTIONS, COVENANTS AND CONDITIONS IN THAT CERTAIN DECLARATION OF RESTRICTIONS FILED _____ 2022 UNDER INSTRUMENT NUMBER _____ OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- TERMS AND PROVISIONS OF PERMIT NO. 06-80111-P ISSUED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT, EVIDENCED BY THE RECORD NOTICE OF ENVIRONMENTAL RESOURCE PERMIT RECORDED UNDER INSTRUMENT NUMBER 11970644 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (THE DESCRIPTION CONTAINED IN THE DOCUMENT LIES WHOLLY WITHIN THE HEREON DESCRIBED SITE) (NOT PLOTTABLE).
- DEDICATIONS, AND EASEMENTS CONTAINED ON THE PLAT OF FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. (A PORTION OF THE HEREON DESCRIBED SITE LIES WITHIN THE FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1 PLAT) (PLOTTED HEREON)
- RESERVATIONS RESERVED BY THE COUNTY OF BROWARD FOR ROAD RIGHT OF WAY AS CONTAINED IN COUNTY DEED NO. 817 FILED DECEMBER 21, 1959 IN DEED BOOK 718, PAGE 352, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (COPY OF DOCUMENT IS ILLEGIBLE, UNABLE TO DETERMINE IF IT AFFECTS SITE).

SYMBOL LEGEND	
	ANCHOR
	BACKFLOW PREVENTOR
	CONCRETE LIGHT POLE
	DECORATIVE METAL LIGHT POLE
	ELECTRIC PULLBOX
	FIBER OPTIC PULLBOX
	FIBER OPTIC CABLE MARKER
	IRRIGATION VALVE
	METAL STREET LIGHT W/ CONCRETE BASE
	PALM TREE / NUMBER
	PEDESTRIAN CROSSING SIGNAL
	SHADE TREE / NUMBER
	SPOT GROUND ELEVATION
	SPOT HARD SURFACE ELEVATION
	1.2 METAL TRAFFIC SIGNAL MAST ARM ON 4" DIAMETER CONCRETE BASE
	TRAFFIC SIGNAL PULLBOX
	WATER BLOW OFF VALVE
	WATER VALVE
	WOOD POWER POLE
	LIMITED ACCESS LINE
	NON-VEHICULAR ACCESS LINE
	OVERHEAD WIRES
	TOE OF SLOPE
	TOP OF SLOPE
	CHAIN LINK FENCE

ABBREVIATION LEGEND			
B.C.R.	BROWARD COUNTY RECORDS	M.D.C.R.	MIAMI-DADE COUNTY RECORDS
BH	BUD HEIGHT	N.V.A.L.	NON-VEHICULAR ACCESS LINE
C&G	CURB AND GUTTER	O.R.B.	OFFICIAL RECORDS BOOK
C.L.F.	CHAIN LINK FENCE	P.B.	PLAT BOOK
CONC.	CONCRETE	P.C.C.	POINT OF COMPOUND
ELEV.	ELEVATION	PG.	PAGE
EW	EDGE OF WATER	R	RADIUS
FND.	FOUND	R.C.P.	REINFORCED CONCRETE PIPE
I.E.	INVERT ELEVATION	R.E.	RIM ELEVATION
L	IRRIGATION	R/W	RIGHT OF WAY
L.A.	ARC LENGTH	W.F.	WOOD FENCE
L.B.	LIMITED ACCESS	Δ	CENTRAL ANGLE
LB	LICENSED BUSINESS		

STORM DRAIN ASBUILTS			
SDMH #8241	R.E.=8.51	C.I. #11003	R.E.=7.70
I.E.=4.71(N) 15" RCP	B.O.S.=4.27	I.E.=4.55(N) 18" RCP	B.O.S.=4.30
SDMH #8345	R.E.=8.85	C.I. #11004	R.E.=7.21
I.E.=4.90(S) 15" RCP	B.O.S.=4.52	I.E.=4.41(N) 15" RCP	B.O.S.=3.81
SDMH #8376	R.E.=8.54	SDMH #11006	R.E.=8.78
I.E.=4.59(W) 15" RCP	B.O.S.=4.08	I.E.=4.78(N) 15" RCP	B.O.S.=4.22
C.I. #11002	R.E.=8.42	C.I. #11295	R.E.=8.80
I.E.=5.02(S) 15" RCP	B.O.S.=4.42	I.E.=4.90(S) 15" RCP	B.O.S.=4.08

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS

3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409
FAX: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014

CRIVEN THOMPSON & ASSOCIATES, INC. COMPANY & SEAL

**PARCEL "A", SAWGRASS COMMERCIAL
PLAT BOOK 157, PAGE 1, B.C.R.
CITY OF SUNRISE, FLORIDA**

PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA

ALTA/NSPS LAND TITLE SURVEY

PROJECT NO.
99-0039-001-03

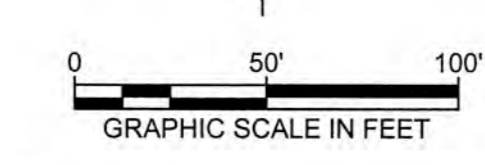
V-2
SHEET 2 OF 6

\\cra0102\Projects\1999\99-0039-25.5AC-WETLANDS-REMED\Drawings\990039_001-REV_2023_ESMT_VAC.dwg [S-2] Sep 04, 2024 2:09pm RYOUNG

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

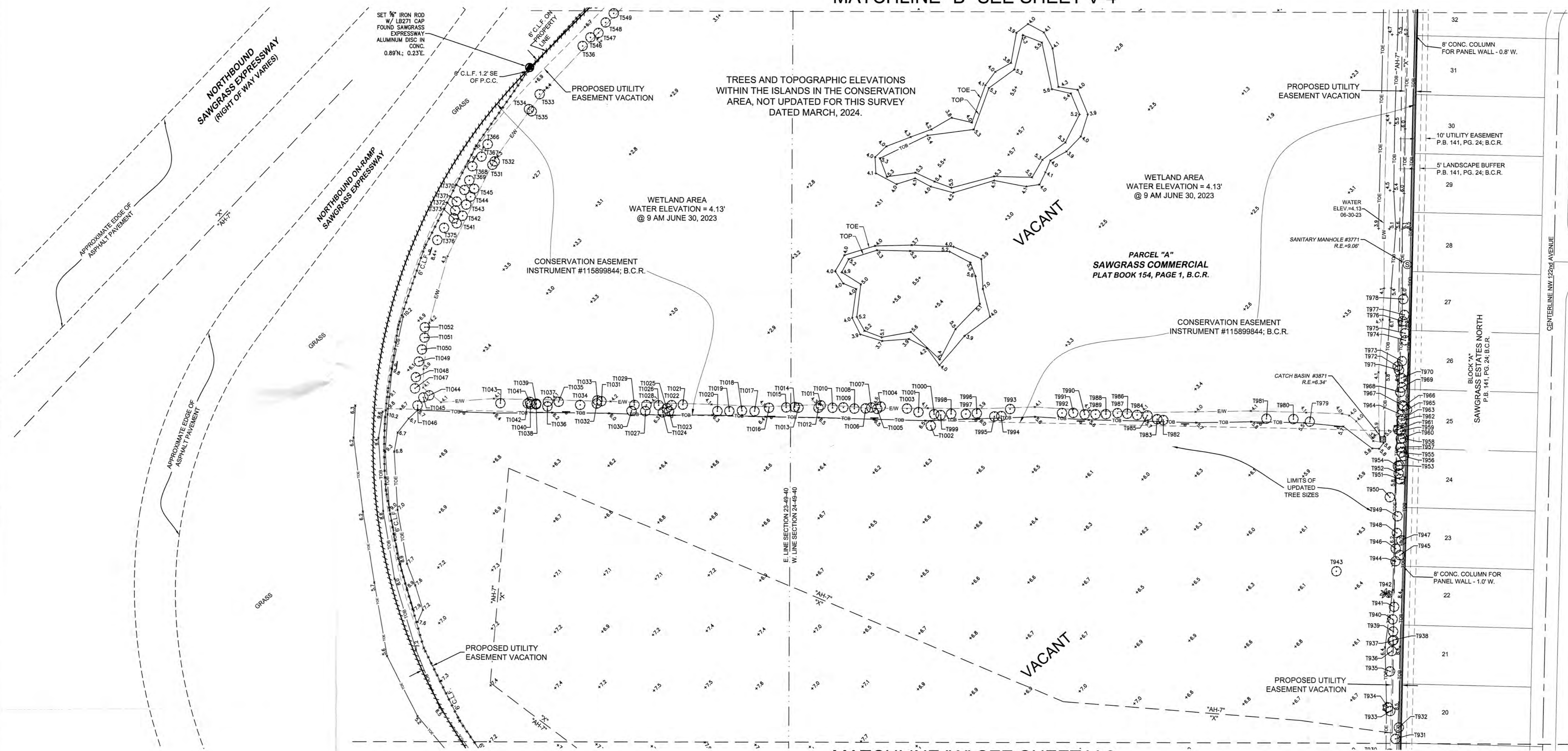
SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-2 AND V-4 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.
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MATCHLINE "B" SEE SHEET V-4

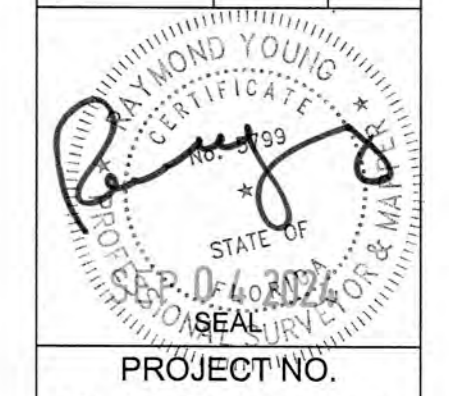
MATCHLINE "A" SEE SHEET V-2



DATE	SCALE	BY	DESCRIPTION
01-28-15	1"=50'	RY	DATE
03/19/24	RY	RY	DATE
12/29/23	RY	RY	DATE
09/28/23	RY	RY	DATE
09/12/23	RY	RY	DATE
07/19/23	RY	RY	DATE
09/24/19	RY	RY	DATE
02/19/16	RY	RY	DATE

CRAVEN THOMPSON & ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6400
FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014
CRAVEN THOMPSON & ASSOCIATES, INC. COMPANY SEAL

**PARCEL "A", SAWGRASS COMMERCIAL
PLAT BOOK 157, PAGE 1, B.C.R.
CITY OF SUNRISE, FLORIDA**
PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA
ALTA/NSPS LAND TITLE SURVEY



PROJECT NO.
99-0039-001-03
V-3
SHEET 3 OF 6

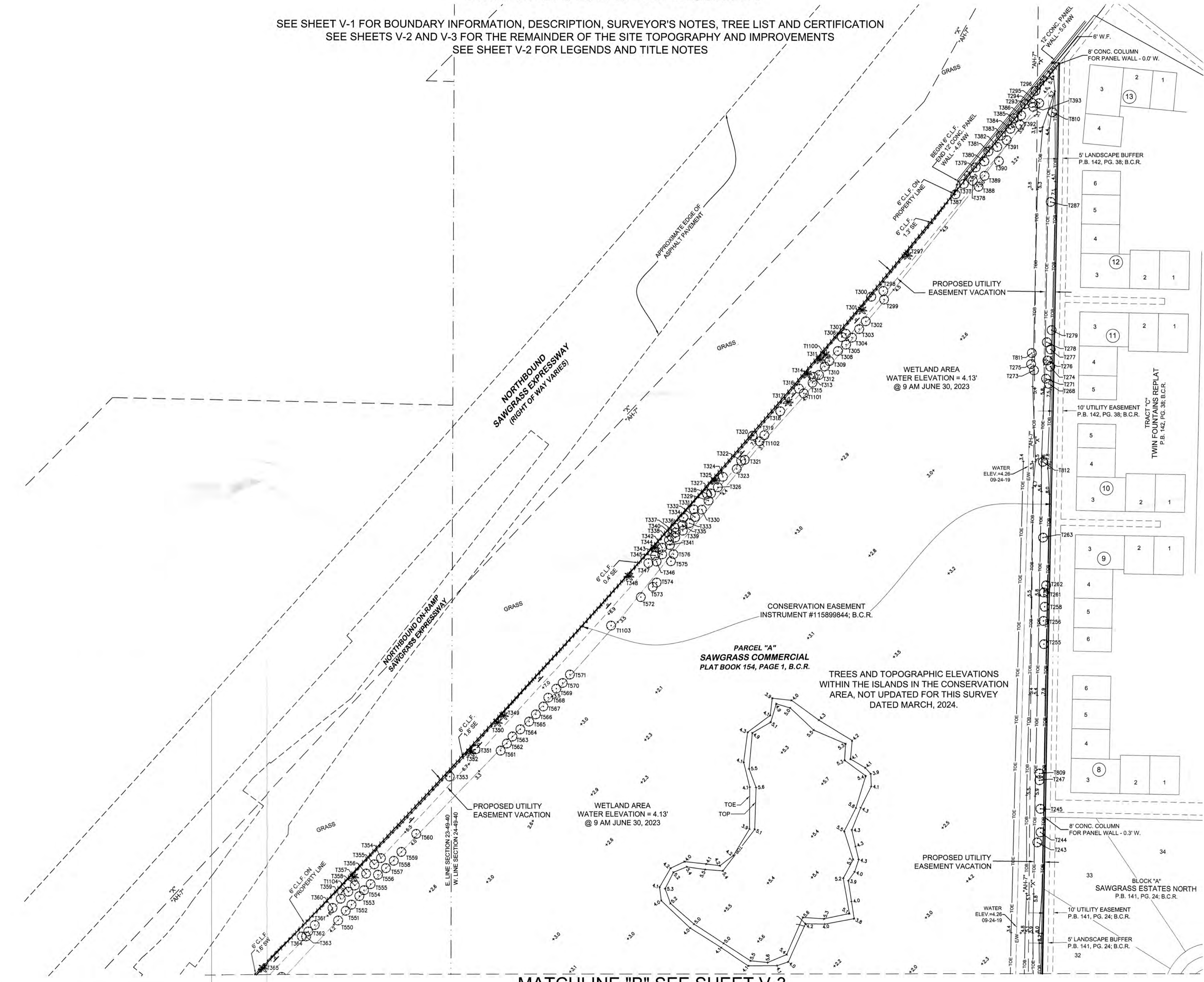
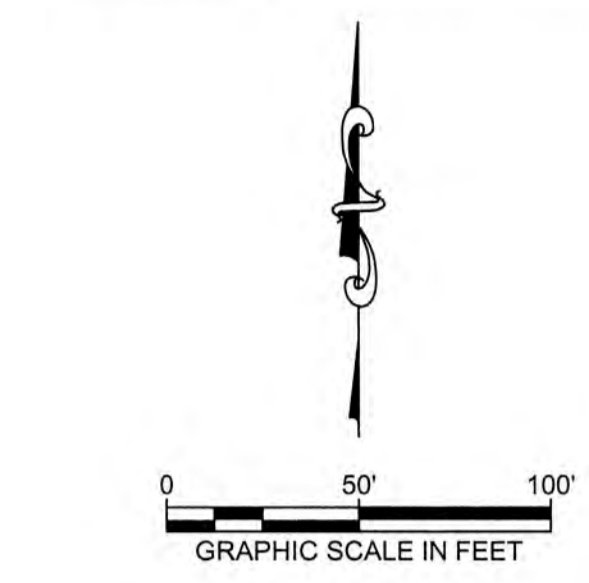
THE INFORMATION SHOWN ON THE ATTACHED SKETCH REFLECTS ONLY THE CONDITIONS AND IMPROVEMENTS ON THE DATE OF THE SURVEY

\\victoria02\Survey_Projects\Projects\1999\99-0039-25-5AC-WETLANDS-REMEDATION\Drawings\990039_005-01-REV_2023_ESMT_VAC.dwg [5-3] Sep 04, 2024 2:01pm R.YOUNG

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-2 AND V-3 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected herein pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown herein were not abstracted for right-of-way and/or easements of record.

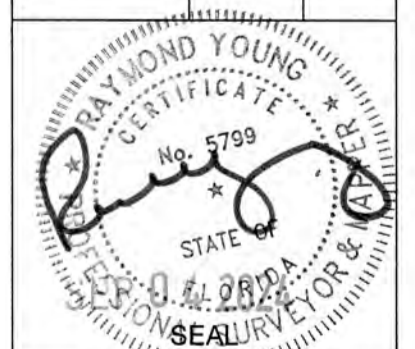


MATCHLINE "B" SEE SHEET V-3

DATE:	01-29-15
SCALE:	1"=50'
DRAWN BY:	RY
CHECKED BY:	RDP
FIELDBOOK:	SEE CERT.
PAGE(S):	SEE CERT.
UPDATE TO ALTA SURVEY (3241/34-35)	RY 03/19/24
PLOT ADDITIONAL R/W IMPROVEMENTS	RY 12/29/23
PLOT U.E. TO BE VACATED AND NOTE	RY 09/28/23
REVIEW TITLE AND PREPARE NOTES	RY 09/12/23
UPDATE SURVEY (F.B. 3207 & 3218)	RY 07/19/23
UPDATE SURVEY (F.B. 3024/49-62)	RY 07/19/23
UPDATE SURVEY (F.B. 2732/59)	RY 07/19/23

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409
FAX: (954) 739-6400
FLORIDA LICENSED ENGINEERS, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
DANIEL THOMPSON, P.E., LICENSED PROFESSIONAL ENGINEER, STATE OF FLORIDA
DANIEL THOMPSON, P.E., LICENSED PROFESSIONAL SURVEYOR, STATE OF FLORIDA

PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA
ALTA/NSPS LAND TITLE SURVEY



PROJECT NO.
99-0039-001-03
SHEET **4** OF **6**

THE INFORMATION SHOWN ON THE ATTACHED SKETCH REFLECTS ONLY THE CONDITIONS AND IMPROVEMENTS ON THE DATE OF THIS SURVEY

\\crafile02\Surveying\Projects\Projects\1999\99-0039-25.5AC-WETLANDS-REMEDIA\Drawings\990039_25.5AC-WETLANDS_REV_2023_ESMT_VAC.dwg [5-4] Sep 04, 2024 2:00pm R.YOUNG

THIS INSTRUMENT PREPARED BY LONDON M. CROSS OF CARNAHAN AND ASSOCIATES, INC. CONSULTING ENGINEERS ENGINEERS SURVEYORS PLANNERS 6191 WEST ATLANTIC BLVD. MARGATE, FLORIDA 33063 MAY 1991 PROJECT NO. 910402 R.C.W.

SAWGRASS COMMERCIAL

A REPLAT OF A PORTION OF TRACTS 4, 5 AND 6 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1" AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, TOGETHER WITH A PORTION OF TRACTS 13 THRU 19 (INCLUSIVE) IN SECTION 24, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION" AS RECORDED IN PLAT BOOK 1 AT PAGE 5A OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND THE ROAD RIGHTS-OF-WAY ADJACENT THERETO.

CITY OF SUNRISE, BROWARD COUNTY, FLORIDA

BROWARD COUNTY PLANNING COUNCIL

THIS IS TO CERTIFY that the Broward County Planning Council approved this Plat subject to its compliance with dedication of Right-of-Way for Trafficways this 22nd day of August, A.D., 1991.

By: Alan Goldman, Chairperson, Date: 10-24-91

This Plat complies with the approval of the Broward County Planning Council of the above date and is approved and accepted for record this 3rd day of May, A.D., 1993.

By: Peter M. Ross, Administrator or Designee

BROWARD COUNTY DEPARTMENT OF STRATEGIC PLANNING AND GROWTH MANAGEMENT

This Plat is hereby approved and accepted for record.

By: [Signature], Director, Date: 4/19/93

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - RECORDING SECTION

This Plat was filed for record this 17th day of May, A.D., 1993, and recorded in Plat Book 154, Page 1, Record Verified.

Attest: B. JACK OSTERHOLT, County Administrator

By: [Signature], County Administrator

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT - COUNTY RECORDS DIVISION - MINUTES SECTION

THIS TO CERTIFY that this Plat complies with the provisions of Chapter 177, Florida Statutes, and was accepted for record by the BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, this 5th day of November, 1991.

Attest: B. JACK OSTERHOLT, County Administrator

By: [Signature], Chair, County Commission

BROWARD COUNTY ENGINEERING DIVISION

This Plat is hereby approved and accepted for record.

By: Henry P. Cook, Director of Engineering, Fla. P.E. Reg. No. 12506

By: Emilio V. Llufrío, County Surveyor, Fla. P.L.S. Reg. No. 4429

CITY COMMISSION

THIS IS TO CERTIFY that this Plat has been approved for record by the CITY OF SUNRISE, by Resolution No. 91-108 adopted this 20th day of August, A.D., 1991.

By: [Signature], Mayor

By: [Signature], City Clerk

CITY ENGINEER

This Plat is approved for record this 23rd day of August, A.D., 1991.

By: Thomas A. Kassawara, City Engineer, Fla. P.E. Reg. No. 37433

SUNRISE DRAINAGE DISTRICT

This Plat has been approved this 27th day of August, A.D., 1991.

By: [Signature], Mayor

DESCRIPTION

A replat of a portion of Tracts 4, 5 and 6 in Section 23, Township 49 South, Range 40 East, Florida Fruit Lands Company's Subdivision No. 1, as recorded in Plat Book 2 at Page 17 of the Public Records of Dade County, Florida, together with a portion of Tracts 13 thru 19 (inclusive) in Section 24, Township 49 South, Range 40 East, Chambers Land Company Subdivision, as recorded in Plat Book 1 at Page 5A of the Public Records of Broward County, Florida and the road rights-of-way adjacent thereto, being more particularly described as follows:

BEGINNING at the intersection of the East boundary of said Section 23 with the easterly extension of the South boundary of said Tract 6, thence along said easterly extension and along the South boundary of said Tract 6, North 88°36'28" West, 286.13 feet to a point on the arc of a non-tangent curve (radial line through said point bears (South 52°46'50" West); thence northerly along the arc of said curve concave to the East, having a radius of 500.00 feet, a delta of 82°02'46", an arc distance of 715.99 feet to a point of reverse curvature; thence northeasterly along the arc of a tangent curve, concave to Northwest, having a radius of 11619.16 feet, a delta of 06°16'35", an arc distance of 1272.81 feet; thence South 01°07'25" West, 1837.12 feet to a point on the northerly right-of-way line of Oakland Park Boulevard; thence along said right-of-way line the following four (4) courses: North 88°53'54" West, 435.48 feet; North 01°06'06" East, 25.00 feet; North 88°53'54" West, 30.17 feet; westerly along the arc of a tangent curve, concave to the North, having a radius of 500.00 feet, a delta of 11°57'21", an arc distance of 104.34 feet to a point on the East boundary of Section 23; thence along said East boundary, North 00°16'27" East, 177.69 feet to the POINT OF BEGINNING.

Said lands Situate in the City of Sunrise, Broward County, Florida and containing 25.520 Acres, more or less.

DEDICATION

State of Florida, County of Dade

KNOW ALL MEN BY THESE PRESENTS that D.C.A. HOMES, INC., a Florida Corporation formerly known as OAK HILL HOMES, INC. is the owner of the lands to be subdivided and platted as shown hereon, said plat to be known as SAWGRASS COMMERCIAL, A REPLAT. The utility easements as shown are hereby dedicated to the Public for proper purposes. Said utility easements will be used for the installation and maintenance of public utilities for the benefit of improvements within said Plat. It is the express intent of this Plat to close, vacate, and abandon from public use, that portion of the Rights-of-Way as dedicated by "FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1" (P.B. 2, PG. 17, D.C.R.) and "CHAMBERS LAND COMPANY SUBDIVISION" (P.B. 1, PG. 5A, B.C.R.) lying within the limits of this plat. The traffic control easement as shown is hereby dedicated to the public for proper purposes.

IN WITNESS WHEREOF, we hereunto set our hands this 15th day of July, A.D., 1991.

By: Stuart Miller, Vice President; Kathleen E. Sierra, Asst. Secretary

Witness: [Signatures]

ACKNOWLEDGEMENT

State of Florida, County of Dade

I HEREBY CERTIFY that on this day personally appeared before me, an Officer duly authorized by law to administer oaths and take acknowledgements, STUART MILLER, Vice-President and KATHLEEN E. SIERRA, Asst. Secretary, of D.C.A. HOMES, INC., a Florida Corporation to me well known to be the individuals described in and who executed the foregoing Dedication and that they acknowledged before me that they executed the same freely and voluntarily for uses and purposes therein expressed.

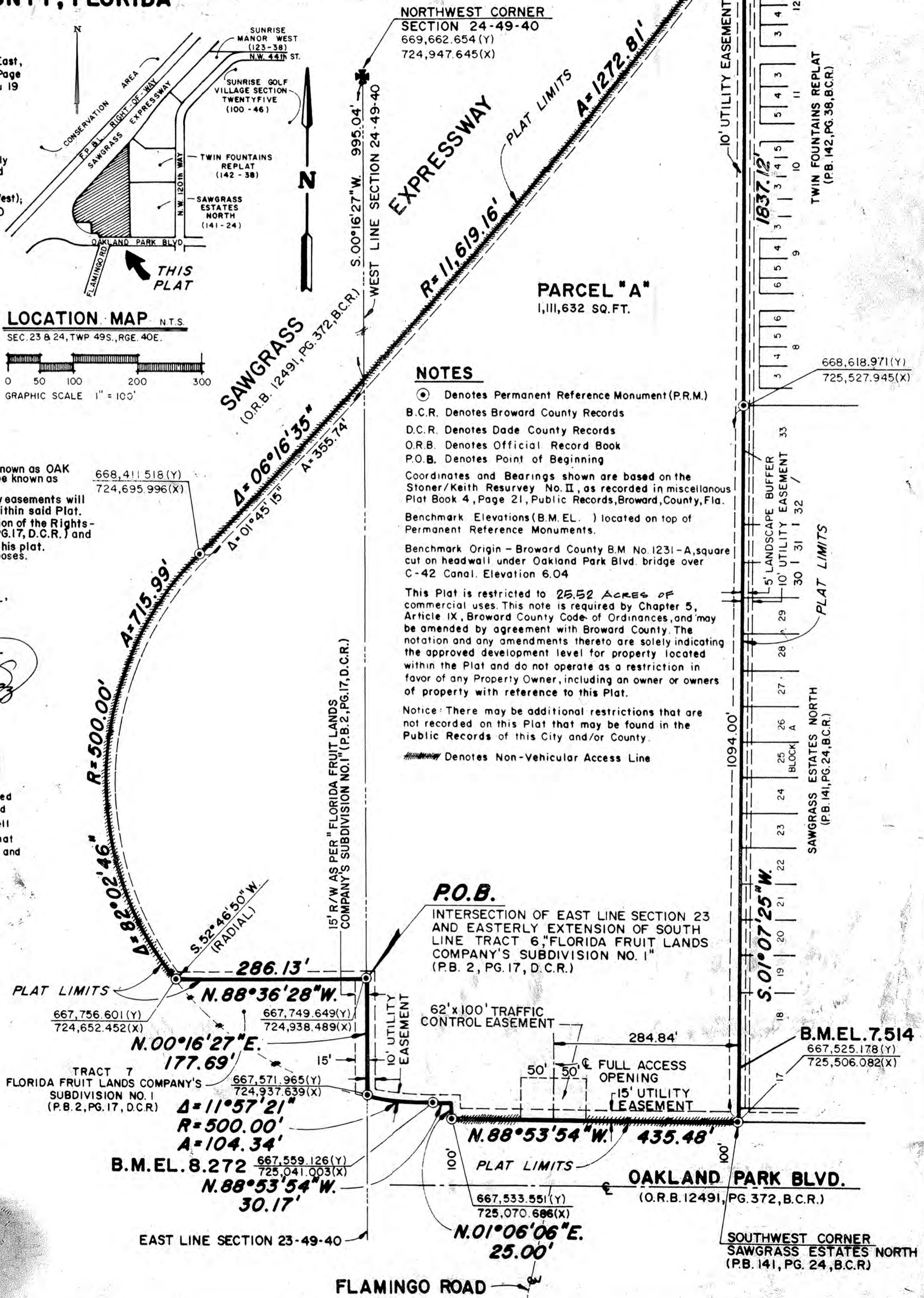
WITNESS my hand and official seal this 15th day of July, A.D., 1991.

Notary Public - State of Florida

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY that the attached Plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown conforms to the applicable requirements of Chapter 177, Florida Statutes, and with the applicable sections of Chapter 21HH-6, Florida Administrative Code. The Permanent Reference Monuments (P.R.M.'s) were set in accordance with Section 177.091 of said Chapter 177, on this 12th day of May, A.D., 1991. The Benchmarks shown are referenced to the National Geodetic Vertical Datum (N.G.V.D.) of 1929 in conformity with standards adopted by the National Ocean Survey for Third Order Control Standards.

By: London M. Cross, Registered Land Surveyor No. 3348, State of Florida



OR Book 20644 Pg 971

THIS INSTRUMENT PREPARED BY
LONDON M CROSS OF
CARNAHAN AND ASSOCIATES, INC.
CONSULTING ENGINEERS
ENGINEERS SURVEYORS PLANNERS
6191 WEST ATLANTIC BLVD. MARGATE, FLORIDA 33063
MAY 1991 PROJECT No. 910402 R.C.W.

SAWGRASS COMMERCIAL

A REPLAT OF A PORTION OF TRACTS 4,5 AND 6 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1" AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, TOGETHER WITH A PORTION OF TRACTS 13 THRU 19 (INCLUSIVE) IN SECTION 24, TOWNSHIP 49 SOUTH, RANGE 40 EAST, "CHAMBERS LAND COMPANY SUBDIVISION" AS RECORDED IN PLAT BOOK 1 AT PAGE 5A OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND THE ROAD RIGHTS-OF-WAY ADJACENT THERETO.
CITY OF SUNRISE, BROWARD COUNTY, FLORIDA

MORTGAGEES CONSENT

STATE OF FLORIDA ss
COUNTY OF DADE

KNOW ALL MEN BY THESE PRESENTS that NCNB NATIONAL BANK OF FLORIDA, a national banking association, the owners and holders of that certain mortgage recorded in Official Records Book 15364, Page 166 of the Public Records of Broward County, Florida, does hereby consent to and join in the Dedication as shown on this Plat.

IN WITNESS the undersigned have hereunto set their hands and the corporate seal affixed thereto this 10th day of October, 1991.

Jack J. Sapia
Witness JACK J. SAPIA
L.C. Goldberg
LAURA C. GOLDBERG Vice-President
Vincent A. Tria
Witness VINCENT A. TRIA

ACKNOWLEDGEMENT

STATE OF FLORIDA ss
COUNTY OF DADE

I HEREBY CERTIFY that on this day personally appeared before me, Laura C. Goldberg Vice President of NCNB National Bank of Florida, a national banking association, an officer duly authorized by law to administer oaths and take acknowledgements and that he acknowledged to me the execution of the foregoing instrument of dedication for the purposes therein expressed.

Witness my hand and official seal this 10th day of October 1991.

Mary Abreu
Notary Public - State of Florida
MARY ABREU
9/23/94
My Commission expires

