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Janna P. Lhota
+1 954-468-7841
Janna.Lhota@hkllaw.com

July 19, 2024

Matthew Goldstein
Planning and Zoning Manager
Planning Division City of Sunrise
Community Development Department
1601 NW 136th Avenue
Building A, Suite 100
Sunrise, Florida 33323

Re: Baptist Health South Florida, Inc. – Sunrise Hospital
Special Exception Narrative

Dear Mr. Goldstein:

As you are aware, Holland & Knight LLP represents Baptist Health South Florida, Inc. (“Baptist Health” or the “Applicant”), the contract-purchaser of the property located at 12401 West Oakland Park Boulevard (the “Property”) (Tax Folio ID No. 4940-24-18-0010) in the City of Sunrise, Florida (the “City”) proposed to be developed with a community hospital serving the residents of the City and the surrounding community. As the Property is zoned B-3 (General Business District), the community hospital use is subject to special exception review and approval by the City.¹ Pursuant to Section 16-36 of the LDC, the following narrative outlines how the Project satisfies the requirements of that section for approval of the special exception use.

16-36(c)(1) Application Contents – The special exception application (“Application”) includes all the items outlined in subsection (c)(1), including but not limited to, detailed site plan and related drawings that depict the location and elevations of all buildings on the Property, the internal circulation system, ingress and egress from Oakland Park Boulevard and the surface and structured parking proposed for the Project, together with landscape plans showing the landscaping proposed throughout the Property and adjacent to any residential uses and a detailed Project Supplement and Narratives that include a description of the major facilities located on site, hours of operation, as well as rendering of the proposed use.

¹ Please refer to the Project Letter of Intent for background information on Baptist Health, the description of the Property, the Project Description, and all defined terms.

16-36(d) Review Criteria – Set out below are the standards and guidelines to be applied by the City when considering applications for approval of a special exception use, together with the Applicant’s response as to how this criterion has been met for the Project.

(1) Impact on surrounding properties: An otherwise lawful activity may, because of its location, interfere with the property rights of adjacent landowners by creating an unreasonable disruption to the area by way of increased noise, light, storage and use of dangerous materials, intensity of development and other reasons. It is the intent of this section that each application for approval of a special exception use be evaluated in light of the unique characteristics of the neighborhood in which it is to be located and the positive and negative effects that it will have on that neighborhood and the community in general. Special consideration is to be given to the effect that the proposed special exception use will have on the safety and welfare of the minor residents of the area.

Included in the application is a Project Supplement and Narratives (“Project Supplement”) prepared by Baptist Health and its consultant team that includes detailed information on the Project Design, consistency with Comprehensive Plan, Sustainability, Public Art, Operations, Shadow and Sightline, Wetlands and Natural Vegetation, Buffer, Civil, Stormwater, Air Pollution Control, Waste, Noise, Traffic, and Security. This comprehensive Project Supplement document demonstrates the respectful consideration and thought undertaken in the layout and design of the Project to mitigate or eliminate any impact on the adjacent landowners, neighborhood and the surrounding area.

Project Design - The Project Design Narrative Section 1.0 in the Project Supplement outlines the evolution of the design and massing of the campus and the thoughtful process to design the campus in such a manner to protect the privacy and comfort of our neighbors by siting the active hospital uses toward the west portion of the Property. For example, the Central Energy Plant (“CEP”) has been located at the far northwest corner of the Property facing the Sawgrass Expressway maximizing the distance separation from the residential uses located to the south and east.

While the parking structure functionally serves the Project, its placement protects the neighborhood to the east from the activity of the hospital and from expressway noise. The parking structure incorporates an opaque architectural enclosure to eliminate light pollution, noise and provides an improved view for residents. The following efforts have been integrated into the design approach to the new development, many of which were in response to neighborhood feedback:

- *A new 10’ tall buffer wall will be installed at the east edge of the upland development site to screen the new development from the adjacent residential properties.*

- *A series of landscaped buffers behind the wall and in front of the proposed parking structure will be planted with mature trees to add visual screening of the new buildings.*
- *The entire east facade of the parking structure is opaque and clad in high quality materials and finishes to align with the architecture of the proposed hospital and medical arts building providing a more appealing visual buffer than a typical open parking structure.*
- *Additional layering to the east façade is accomplished with synthetic vegetated green walls.*
- *The east façade at the parking structure is stepped inward to create a varied and visually interesting façade, while providing for additional planting zones.*
- *The proposed parking structure does not exceed the height of the principal structure it serves.*
- *The proposed parking structure has been refined to reduce height further during design development by approximately four (4') feet. The proposed PV structure at the roof of the parking structure has also been lowered by approximately three (3') feet.*
- *The parking structure design has been refined such that a mechanical ventilation system is no longer required. As such there will be no noise or other impacts associated from any mechanical ventilation system on the adjacent properties*
- *The lowered mass of the parking structure provides a visual buffer to the principal building it serves which is taller than the parking structure.*
- *The parking structure is set 6" lower at grade than the principal structure it serves.*
- *The principal structure – the new hospital and medical arts building - have been further refined during design development and have been lowered in height approximately 3.5' feet. The CEP has been reduced by 4'-0".*
- *Mature landscaping will be planted throughout the site to add visual screening to the development.*

Buffering – *Baptist Health is proposing to buffer the adjacent residential development in a number of ways. Presently the Property is separated from the residential community to the east by an eight (8') foot concrete wall on a two (2') foot berm. Baptist Health proposes to replace the wall located adjacent to the upland development site with a ten (10') foot wall meeting all the architectural requirements of Section 16-192 of the LDC. The Applicant is not proposing to extend the 10' wall*

north of the upland development site for various reasons: (a) to maintain the existing mature trees that are located adjacent to the existing continuous 8' tall wall, (b) to avoid any unnecessary disruption to the adjacent single-family homes and the wetlands, and (c) given the fact that there is no active use located west of the existing wall and landscape buffer due to the Conservation Easement. Rather, the Applicant proposes to maintain and supplement the existing mature specimen canopy trees located along the eastern property line of the Conservation Easement with additional trees consisting of 30 relocated Wax Myrtle trees with a minimum height of 10', 18 relocated Gumbo Limbo trees with a minimum height of 13'-14', and 20 Bald Cypress trees with a minimum height of 16'. In light of the existing, continuous 8' concrete wall, coupled with the significant landscape buffer provided by the wetlands, coupled with the existing and proposed trees to be planted along the east perimeter, the requirements of Section 16-192 have been functionally met.

In addition to the updated and enhanced wall adjacent to the upland development site and supplemental plants along the Conservation Easement, Baptist Health is also proposing a robust landscape buffer along the east, north and south façades of the parking structure. Baptist Health is also doubling the landscape buffer width immediately to the west of the proposed 10' wall from the required five (5) feet to ten (10) feet. This allows Baptist Health to add more trees and palms than typically required by Code, i.e., where 22 trees are required by Code, Baptist Health is proposing 29 trees and/or palms within this buffer. In addition to the required 5' buffer (which Baptist is doubling), Baptist Health is providing a thirty (30') foot (average width) Landscape Pedestrian Zone ("LPZ") between the proposed parking structure and the existing residences. This LPZ will include an additional layer of large canopy trees and palms to further enhance and buffer the Project from the residences to the east. The LPZ contains thirteen (13) mature Live Oak trees twenty-two (22) feet in height, twenty (20) Florida Slash Pines twenty (20) feet in height and five (5) Florida Royal Palms of thirty (30) foot overall height. This multi-layered and multi-species landscape design for the LPZ, together with the widened buffer and tree/palm planting on the east, will provide immediate and substantial buffering of the parking structure to the residences located east of the Property. A Building Sightline Study included in the Project Supplement Section 5.0 provides insight as to how this landscaping, together with the architectural elements folded into the parking structure façade, further buffers the hospital use from the residential uses to the east. See also the Buffer Narrative included in the Project Supplement that highlights how the Project complies with Sections 16-169 and 16-192 of the LDC, together with the included Site Plan drawings.

Shading and Sightline - The Shading and Sightline Study Narrative included in the Project Supplement Section 5.0 and prepared by HKS provides detailed information on the anticipated shadow and shading at various times of the day during the Winter, Spring and Summer. The Shading Study demonstrates that at all times of the year, shadow does not cast on the adjacent properties to the east until mid to late afternoon. The Sightline Study provides a projected vertical and horizontal sightline from various points within the residential neighborhoods illustrating a person's perceived

view towards the new Project. The Sightline Study helps demonstrate how the proposed wall, landscaping and the intervening structures help obscure the parking structure from view. Regarding the design improvements that have been incorporated into the Project, particularly the parking structure, please refer to the Project Design paragraph included above. It is important to note that all the improvements proposed as part of the Project, including the parking structure, meet the underlying B-3 General Business District requirements regarding height, setbacks, etc.

Noise - The Project's proximity to residential uses was a key consideration in the development, layout, and design of the Project. For example, the hospital was designed to place the Central Energy Plant ("CEP")² adjacent to the Sawgrass Expressway and away from the residential uses. Emergency generators are located in packaged, attenuated enclosures on the roof of the CEP. Generator noise will be attenuated using high performance silencers on both intake and discharge air paths to the enclosures. High performance combustion exhaust mufflers will also be used. Noise control for equipment on the CEP roof will be primarily through the selection of low noise equipment. This will be screened using a combination of louvers, solid barriers and acoustic louvers as needed to meet the City noise limits. Additional noise control for the Air Source Heat Pumps, if needed, will comprise three (3') foot tall discharge silencers on the tops of the units, and sound attenuation lagging/wraps around their compressors. Cooling Towers will have low noise fans and intake and discharge silencers may be considered if needed. As noted in other sections, the parking structure further serves as an effective barrier for the adjacent residential development from the activity associated with the hospital operations located west of that building. The Reports prepared by ARUP demonstrate that the current noise experienced by the residential neighborhood to the east from the Sawgrass Expressway will be reduced over what is currently experienced.

As part of the Application, Baptist Health undertook acoustic testing on site and created an acoustic model for the hospital operation that has been agreed upon with the City's acoustic consultant that demonstrates that the noise levels for the Project at the adjacent properties will comply with Section 9-22 of the City Code. See Project Supplement Section 12.0, together with the BHSF Sunrise Noise Modeling Report dated July 19, 2024, prepared by ARUP US, Inc. and the BHSF Sunrise Noise Survey Report dated February 16, 2024, also prepared by ARUP US, Inc., are all included with the Application. It is important to note that the Noise Modeling Report treated the property located east and south of the Project site as "Residential" for purposes of applying any standards, notwithstanding the property located south of Oakland Park Boulevard and west of Flamingo Road is located within the Western Sunrise

² The CEP is a 3-story building that houses the bulk of the mechanical and electrical equipment for the hospital. Level 1 includes chilled water equipment, heat recovery chillers, the main FPL incoming electrical room, electrical equipment, and plumbing equipment. Level 2 includes external cooling towers (directly above the chillers below), external emergency generators in acoustic enclosures, internal electrical equipment, and plumbing equipment. Level 3 includes external air source heat pumps for heating and internal electrical equipment. All equipment has been designed to be easily accessible when required through roller shutter doors, the service elevator or craning off the roof. The equipment is designed with a 15-20-year lifetime with regular preventative maintenance planned. The heating is all electric and not gas powered which eliminates fumes typically the result boilers. Emergency fuel oil generators will only be used for power outages and short monthly testing.

Entertainment District which has a higher dBA allowance for daytime and nighttime hours. While the Property includes wetlands to the north of the upland development parcel, it should be noted that any tree islands located within the wetlands are located further away and no noise impacts are expected compared to what is currently experienced as a result of the noise from the Sawgrass Expressway during normal hospital operations. As such, the operation of the Project under all scenarios meets the City requirements outlined in Chapter 9, Article 2 of the Code.

The emergency department is also located on the west side of the hospital with a dedicated entrance from Oakland Park Boulevard and all ambulance drop-offs occurring on the west side of the hospital facing the Sawgrass Expressway. It is anticipated that an average of four (4) ambulances will transport patients to the hospital daily. Notwithstanding any exemption provided in Section 9-19 of the City Code, any sirens associated with ambulances accessing the Property will be required to comply with Florida law which requires that any sirens used in connection with an authorized emergency vehicle shall only be used when the vehicle is operating in response to an emergency and then only when reasonably necessary to warn pedestrians and other drivers of their approach. See Section 316.271(6), Florida Statutes.

As noted in the Project Design Narrative, the structured parking was oriented in such a manner to further protect the adjacent neighborhood uses from any noise caused by the hospital activity, including the emergency department, which all occurs west of the structured parking. Please refer to the Project Design section above and the Project Design Narrative Section 1.0 in the Project Supplement for more detailed information. While the parking structure remains fully closed on the east facade, its building design has been revised and updated such that a mechanical ventilation system is no longer required. As such there will be no noise or other impacts associated from any mechanical ventilation system on the adjacent properties. Finally, enhanced landscape buffering and a taller ten (10') foot concrete wall run the length of the structured parking adjacent to the residential uses to the east of the upland development site. In addition to the foregoing information, please refer to the Noise Study Summary Section 12.0 of the Project Supplement and the provided Noise Survey and Modeling Reports.

Lighting – The Photometric plans included in the Application demonstrate that the Project meets all applicable requirements of the LDC and that there will be no light spillage and/or glare onto the adjacent residential properties or the wetlands to the north. No light poles will be installed to illuminate the roof of the parking structure. Lighting at the roof level of the parking structure will be mounted under the PV structural mounts and behind the parapet wall which has been raised to 7'-6" to eliminate any light spillage from vehicles utilizing the rooftop parking. For any lights attached to the inside of the parapet wall, all lighting fixtures are mounted below the height of the parapet and are downward facing and, as such, all light is cast toward the floor of the parking structure. Any lighting fixtures attached to the PV structural mounts are similarly downward facing and mounted at a height of 7'-6" from the floor of the roof of the parking structure. As the rooftop lighting fixtures

will be mounted at or below the parapet height, they will not be visible from the neighboring residential properties.

Security – A Security Report Narrative Section 14.0 is included in the Project Supplement that lists the various measures proposed throughout the hospital campus to ensure the security of our patients, visitors, and employees, as well as our neighbors. This includes a combination of lighting, monitored video surveillance, access controls and intrusion detection, emergency call devices with two-way communication. Please note, the building and site design also incorporates the following CPTED design elements:

- Natural surveillance – Views from the public right-of-way have been kept open for natural surveillance from anyone driving by. The building has also been designed to provide surveillance from the inside to the outdoor areas including the outdoor use areas.*
- Territorial reinforcement – By adding smaller, more intimate outdoor spaces for people to use, the users begin to feel an “ownership” into these spaces and will watch them for any signs of misuse.*
- Natural Access control – the buildings and courtyards entries will be secured.*
- Image and Maintenance – Baptist Health is committed to maintain this extraordinary Project to the highest of standards.*

Waste – A Hazardous Waste Narrative Section 11.0 is also included the Project Supplement Section that outlines how the requirements of Section 15-97 of the Code have been met, as well as outlining information on medical and regular waste handling and pick-up. Baptist Health has strict protocols in place for the disposal of any medical hazardous waste through a licensed medical waste removal company. It should be noted that all storage and pick-up of waste associated with the Project will occur within the service area located on the west side of the hospital and away from any residential areas. The hours for any pick-up is outlined in the Operations section below and the Operations Narrative Section 4.0 of the Project Supplement.

Air Pollution – While the parking structure remains fully closed on the east facade, its building design has been revised and updated such that a mechanical ventilation system is no longer required. As such there will be no noise or exhaust associated with any mechanical ventilation system on the adjacent properties. The CEP has been designed in such a way to mitigate or eliminate any impacts including emissions on the adjacent properties, including the residential property to the east and the wetlands to the north. As the hospital is electric powered, the only exhaust from the CEP is from the emergency generators. Exhaust fumes from the emergency generators (which only operate if main power is lost to the site and briefly during monthly testing) are discharged at a high level from the second level of the CEP and at significant distance from any residential properties and the tree islands located

within the adjacent wetlands. The emergency generators will be compliant with the Environmental Protection Agency (EPA) and Florida Department of Environmental Protection requirements for emissions for standby generators and will comply with EPA Tier 2 requirements. Both generators will be tested once per month in line with NFPA 110 requirements for a Level 1 emergency generator. See also Air Pollution Narrative Section 10.0 included in the Project Supplement demonstrating how the Project complies with Section 16-217 of the LDC.

Operations – A Operations Narrative Section 4.0 is also included in the Project Supplement which provides detailed programming for the hospital. While Sunrise Hospital, including the emergency department, will operate 24/7, the medical office building typically operates only Monday through Friday from 8:00 a.m. to 6 p.m. with the potential for partial Saturday hours from 7 a.m. to 3 p.m. The majority of staff at the hospital comprise nursing and clinical support. These individuals typically work three days per week (12-hour shifts) with the remaining staff working either four days a week (10-hour shifts) or five days a week (8-hour shifts). Additional hours of operation include:

Hospital: 24/7 Operations

Medical Office/Clinics: 8 am-6 pm M-F, 7 am-3 pm Saturdays

Parking Structure: 24 Hour Access

Grease Trap maintenance (at service dock): Monthly between 7 am-7 pm

Generator Fuel Service (at service dock): Every 4 months between 7 am-7 pm

Facility Supply Deliveries (at service dock): Daily between 7 am-7 pm

Generator Testing (at CEP): Once a month for 0.5 hours³ between 7 am-7 pm

Landscape Service: Bi-Weekly between 7 am-7 pm

Non-Hazardous Waste (at service dock): Recycle - Two times a week between 7 am-7 pm

Trash Compactor: Three times a week between 7 am-7 pm

Hazardous Waste (at service dock): Daily between 7 am-7 pm

Oxygen Tanks maintenance and supply: Bi-Monthly between 7 am-7 pm

Ambulance Visits per Day: 4 visits (estimated average) 24 Hour Access

³ Testing requirements are per NFPA 110 Annual load test 1.5 hours only if monthly test fail. Once every 3 years compliance load-test: 4 hours

Oxygen Storage Facilities - *As part of any hospital operations, oxygen is maintained onsite. Oxygen tank storage is provided within an enclosed space on the west site of the hospital adjacent to the CEP. Oxygen tanks will be filled approximately every two to four weeks. The 6,000-gallon primary and 1,500 secondary tanks have been sized to supply the hospital with an approximately four-week supply of Oxygen for the hospital. Oxygen tanks will be filled from a bulk liquid tanker that will drive up, park, and fill the tank with flexible hoses. The tank and all oxygen equipment will be designed and maintained in accordance with FGI 2018 and NFPA 99 requirements.*

Fuel Storage Facilities – *Required emergency generators are included in the Project design within the CEP to ensure the hospital continuously has power to maintain operations. The emergency generators will be fueled by three 30,000-gallon fuel oil tanks have been sized to store diesel fuel oil and which will provide seven (7) days of continued operation for the hospital to achieve high levels of resilience for the patients, staff and community. The underground fuel tanks will be double wall construction to minimize the risk of any leaks. The fuel oil will be pumped to the generators located on the second level of the CEP. The fuel oil tanks only need to be refilled when there has been an extended period of power outage.*

Traffic – *See subsection (2) below.*

(2) Traffic: Consideration will be given to the volume and type of vehicular traffic associated with such use, particularly its impact on residential streets.

Included in the Application is a Traffic Impact Analysis prepared by Kimley-Horn & Associates dated February 2024 which outlines in detail the volume and type of vehicular traffic associated with the Project. Trip generation for the proposed development was calculated using rates and/or equations contained in the Institute of Transportation Engineers' (ITE's) Trip Generation Manual, 11th Edition. The project is expected to generate 290 weekday A.M. peak hour trips and 227 weekday P.M. peak hour trips.

Direct Project Access: *As the Project has direct access from Oakland Park Boulevard via Flamingo Road and the Sawgrass Expressway, it is not anticipated that there will be any impact on residential streets. Access to the Project will be provided via one (1) full access signalized driveway just west of the intersection of West Oakland Park Boulevard and North Flamingo Road. Note exiting vehicles destined for West Oakland Park Boulevard (eastbound) will perform a left-turn at this driveway, while exiting vehicles destined for North Flamingo Road (southbound) will perform a right-turn and a subsequent westbound U-turn along West Oakland Park Boulevard to leave the site. Additionally, a secondary access point primarily for emergency/delivery vehicles will be provided (right-in/right-out driveway) west of the main Project entrance and east of the SR 869/Sawgrass Expressway northbound on-ramp. This access plan and the related improvements to West Oakland Park Boulevard have been coordinated with the City, Broward County, and Florida's Turnpike Enterprise (FTE). These improvements will be included in and constructed through a larger programmed FTE project (FM No. 437155-1) for completion in*

year 2029. The FTE project includes the widening SR 869/Sawgrass Expressway from NW 8th Street to south of Atlantic Boulevard and associated interchange improvements. Improvements in the vicinity of the Property includes:

- *Reconstruction of the SR 869/Sawgrass Expressway interchange with West Oakland Park Boulevard to a partial diverging diamond design.*
- *Intersection capacity/signalization improvements at West Oakland Park Boulevard/North Flamingo Road including triple eastbound left-turn and right-turn lanes, triple northbound left-turn lanes, and dual southbound right-turn lanes.*
- *Construction of access points to the Property including signalization and signage improvements.*

The City has entered into a Local Funding Agreement with FTE for this additional design while Baptist Health has entered into a separate agreement with the City to reimburse the City for the costs associated with this design. A separate Local Funding Agreement will be entered into between the City and the FTE to fund the construction of the improvements associated with the access to the Property, with Baptist Health entering into a separate agreement with the City to fund all improvements associated with access to the Hospital, including required signalization. These improvements are expected to be completed on/before the certificate of occupancy for the facility and which will provide safe ingress and egress for the Project. See Traffic Impact Analysis report included with this submittal and Section 13.0 of the Project Supplement.

Internal Circulation: Upon entering the site from the main entrance, hospital staff, patients or visitors will either turn right (east) into the parking structure, proceed straight to the main entrance drop off (and depart the site or proceed to the parking structure) or turn left for the emergency drop-off and either parking in the available surface parking located south of the emergency department, depart through the main entrance or proceed to the parking structure. Ambulances and delivery vehicles using the secondary entrance will enter to access the west service area of the hospital and either exit south through the secondary entrance or through the east bound lane provided to access the signalized intersection at the main entrance. While an eastbound lane is provided to allow ambulances and delivery vehicles to access the signalized intersection at the main entrance, no westbound lane is provided west of the emergency department drop-off and parking to eliminate any hospital staff, patients, or visitors from utilizing the secondary driveway. See Site Plan drawings and Project Supplement.

(3) Comprehensive plan: Conformity to goals, objectives, and policies of the Sunrise Comprehensive Plan.

Please see the Comprehensive Plan Narrative included in the Project Supplement Section 15.0 that outlines the Project's conformity with numerous Goals, Objectives, and Policies of the City's Comprehensive Plan.

(4) Other factors: Any additional factors or considerations which may be reasonably calculated to materially affect public health, safety and welfare; these must be explicitly stated in the motion to approve or deny.

Sustainability - Baptist Health's sustainable approach includes electric building systems, biophilic green walls, high performance building skin, solar power, the use of key energy reduction techniques, the use of daylighting, and wetland conservation. Baptist Health also intends to seek a host of certifications for Sunrise Hospital, including LEED, WELL and Parksmart. See Sustainability Narrative Section 2.0 in the Project Supplement for further detail.

Wetlands and Natural Vegetation – The Property contains an extensive wetland area that was recently created/enhanced by the City, and which is protected under an Amended Deed of Conservation Easement (“Conservation Easement”) recorded as Instrument 115899844 in the public records of Broward County. As explained in greater detail in the Project Design Narrative Section 1.0, the Project has been thoughtfully designed to celebrate the existing wetlands and adjacent upland buffers as well as further supplementing the existing mature trees along the eastern buffer of the Conservation Easement. All development is within the upland development area and will not encroach into any areas covered by the Conservation Easement.

In connection with the submittal, an updated Natural Resource Assessment (NRA) prepared by Kimley-Horn & Associates dated July 2024 has been provided. The updated NRA accounts for the 25.5 Acre Wetland Remediation Project previously permitted and completed by the City and which filled any wetlands located on the upland development site. In light of the work completed as part of the City's project, the NRA recommendations have been updated. As all building construction activity is proposed within the upland development area, the NRA concludes there will be no impacts on endangered, threatened or species of special concern, wetlands, historic or other archaeological resources. The updated Section 5.0 Summary and Recommendations of the NRA outlines various permits that may or will be required for the development of the Project and which are acknowledged by the Applicant.

In connection with the permitting of the improvements, the Applicant will be providing a Construction Logistics Plan, for review and approval by the City, which will outline the various steps that will be taken during construction to mitigate any impacts associated with the development of the site, including the protection of the wetlands throughout construction. During construction, Applicant proposes the following measures for the protection of the wetlands: (a) the use of a silt fence, (b) in steep areas double row silt fence will be used as needed, and (c) a six (6') foot tall construction fence and green dust screen to be located south of the existing berm and vegetative buffer located adjacent to wetlands. After construction, flow to wetland is controlled via flow through the weir structures within the new storm water

management system to ensure no negative impacts or degradation will occur. Flow from the roof drains must pass through stone energy dissipator within drainage structures before flowing into the wetland to ensure no negative impacts or degradation occurs. Both during and after construction, the wetlands will continue to be maintained consistent with the Conservation Easement.

No impacts are anticipated to the wetlands by virtue of the normal operation of the hospital. As noted previously, the CEP has been designed in such a way to mitigate or eliminate any impacts from noise, emissions, and potential leaks on the adjacent wetlands. First, the upland development site will be separated from the wetlands by a physical retaining wall. The equipment within the CEP (including generators, cooling towers, air source heat pumps) will be selected and designed with acoustic treatment and screening to satisfy the City's Noise Ordinance and to minimize or eliminate noise impacts to the wetlands to the north. Exhaust fumes from the emergency generators (which only operate if main power is lost to the site and briefly during monthly testing) are discharged at a high level from second floor of the CEP and at significant distance from tree islands located within the adjacent wetlands. The emergency generators will be compliant with the Environmental Protection Agency (EPA) and Florida Department of Environmental Protection requirements for emissions for standby generators and will operate briefly for monthly testing and in an emergency where there is a loss of power to the hospital. The two emergency generators will be on the second level of the CEP and comply with EPA Tier 2 requirements. Both generators will be tested once per month in line with NFPA 110 requirements for a Level 1 emergency generator. The underground fuel tanks will be double wall construction to minimize the risk of any leaks. See further Noise and Air Pollution sections above and the NRA provided with this submittal.

Public Art – Sunrise Hospital will include public art both within the hospital itself, as well as throughout the campus. Site artwork is intended to be permanent. An additional piece of artwork is proposed in the public right-of-way landscape buffer towards the southeast corner of the Property. See Public Art Narrative Section 3.0 in the Project Supplement for further detail.

Community Amenities – Sunrise Hospital seeks to truly become a part of the Sunrise community. A wellness walk has been incorporated into the Project design and offers a continuous loop pathway flanked by lush vegetation and which celebrates biodiversity and native landscaping. The wellness walk will connect to the existing sidewalk along Oakland Park Boulevard. Fitness equipment, a footbridge, and overlook to the wetlands are features along the walkway. This wellness walk will be opened to the public, as well as employees, patients and visitors. A host of health and wellness programs will also be offered to the community including weekly free exercise classes for residents of the City, quarterly educational programming, biometric screenings, as well as “pop up” events throughout the year held in available on-site classrooms, community rooms, public parks, and other public venues. Aside from the health and wellness events offered on the hospital campus, Baptist Health will continue its stewardship in the City as a true community partner

through its involvement with events such as the Earth Day Festival, World Health Day Expo, Family Resource Fair, the Back-to-School Round-up, among others.

(5) B-6 District intensity and density: As set forth in subsection 16-79(f), certain intensities and densities for B-6 uses shall be determined pursuant to the special exception process. In determining conformance with the intent of subsection 16-79(f) entitled "Use, intensity, site design and procedural regulations for the B-6 District," consideration shall be given to the language contained in that section. These intensity and density regulations are not intended to limit any rights which may exist under existing development orders.

Not applicable.

The City of Sunrise is a thriving and growing city and the home to almost 92,000 residents, as well as the National Hockey League Stanley Cup Champion Florida Panthers and Sawgrass Mills, one of the largest commercial centers in the United States. As noted on the City's website, the City is the 26th largest of Florida's incorporated municipalities, but yet it does not have a hospital to call its own. Approval of this use will bring Baptist Health, the most awarded healthcare system in South Florida, to the City to serve its residents and visitors in a facility that celebrates Health and Wellness, Sustainability and Performance, Resiliency and Ecology and Community and Place as outlined in this letter, the included plans, and the Project Supplement. As the Site Plan and related drawings, the Project Supplement, the various reports prepared in connection with this proposed use, together with this narrative demonstrate, we believe that the Project satisfies the criteria in Section 16-36 of the LDC for approval of a special exception for the community hospital use.

If you have any questions or require any additional information, please do not hesitate to contact my office.

Sincerely yours,

HOLLAND & KNIGHT LLP

Janna P. Lhota

Janna P. Lhota

Encl.

BAPTIST HEALTH SOUTH FLORIDA

BAPTIST HEALTH SUNRISE HOSPITAL

CITY OF SUNRISE SPECIAL EXCEPTION SUBMITTAL

PROJECT TEAM

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3-6	SP-6 - SP-9	SITE PLAN
7-10	V-1 - V-4	SURVEY
11-12	CR5.01 - 5.02	OVERALL BUILDING ELEVATIONS
13	CR5.03	COURTYARD ELEVATIONS
14	CR5.04	GARAGE ELEVATIONS
15	CR5.05	CEP ELEVATIONS

- NOTES:**
- THIS SITE PLAN SET IS APPROVED PURSUANT TO SECTION 16-31 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE (CITY CODE) AND HAS NOT BEEN REVIEWED FOR COMPLIANCE FLORIDA BUILDING CODE. ANY CHANGES TO DETAILS SHOWN SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE LAND DEVELOPMENT CODE.
 - WATER AND WASTEWATER SERVICES PROVIDED BY THE CITY OF SUNRISE UTILITIES.
 - CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF SUNRISE MINIMUM DESIGN AND CONSTRUCTION STANDARDS.
 - VERTICAL ELEVATION DATUM NAVD 88 USED FOR SITE DESIGN.
 - FLOOD ZONE AND BASE FLOOD ELEVATION FOR SITE:
 - FEMA BFE= 7.00' (ZONE AH)
 - BC FEM BFE= 8.00' (ZONE AH)
 - BC FUTURE 100 YR. BFE= 8.50'
 2023. 8th EDITION FLORIDA BUILDING CODE AND ACCESSIBILITY CODE USED FOR SITE DESIGN.



LOCATION MAP

SECTION 23, TOWNSHIP 49, RANGE 40 & SECTION 24, TOWNSHIP 49, RANGE 40

LEGAL DESCRIPTION:

PARCEL "A", SAWGRASS COMMERCIAL, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 154, PAGE 1 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

TOGETHER WITH A PARCEL OF LAND AS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 29460, PAGE 1970 OF SAID PUBLIC RECORDS, TO WIT:

A PORTION OF TRACT 7, FLORIDA FRUIT LANDS COMPANY'S SUBDIVISION NO. 1 OF SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, AS RECORDED IN PLAT BOOK 2, AT PAGE 17 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF SAID TRACT 7; THENCE SOUTH 00°16'27" WEST ALONG THE EAST LINE OF SAID TRACT 7, ALSO BEING THE EAST LINE OF SAID SECTION 23-49-40, FOR 177.69 FEET TO THE NORTH RIGHT OF WAY LINE OF WEST OAKLAND PARK BOULEVARD, SAID POINT BEING ON THE ARC OF A CIRCULAR CURVE, CONCAVE TO THE NORTHEAST, THE RADIUS POINT OF WHICH BEARS NORTH 13°03'27" EAST FROM SAID POINT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, HAVING A RADIUS OF 600.00 FEET, AND A CENTRAL ANGLE OF 39°43'24"; FOR AN ARC DISTANCE OF 346.65 FEET TO A POINT OF INTERSECTION WITH THE NORTH LINE OF SAID TRACT 7; THENCE SOUTH 88°36'28" EAST ALONG SAID NORTH LINE OF TRACT 7, FOR 286.13 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF SUNRISE, BROWARD COUNTY, FLORIDA AND CONTAINING 1,143,984 SQUARE FEET (26.262 ACRES) MORE OR LESS.

- DEVELOPER/OWNER:** BAPTIST HEALTH SOUTH FLORIDA
8500 SW 117TH AVENUE, SUITE 130
MIAMI, FL 33183
305-215-2646
Contact: Ivette Carcas
email: ivette.carcas@baptisthealth.net
- ARCHITECT:** HKS ARCHITECTS, INC.
2020 SALZEDO STREET, 4TH FLOOR
CORAL GABLES, FL 33134
214-969-3059
Contact: Rupert Brown
email: rbrown@hksinc.com
- MEP:** ARUP
60 STATE STREET
BOSTON, MA 02109
617-864-2987
Contact: Michael Lorimer, MEng CE
email: michael.lorimer@arup.com
- LEAD LANDSCAPE DESIGN:** SWA/ BALSLEY
31 WEST 27TH STREET, 9TH FLOOR
NEW YORK, NY 10001
434-221-8137
Contact: Monica Streeper, PLA
email: mstreeper@swabalsley.com
- CIVIL & LANDSCAPE EOR:** CRAVEN THOMPSON & ASSOCIATES, INC.
3563 N.W. 53 STREET
FORT LAUDERDALE, FLORIDA 33309-6311
954-739-6400
Civil Contact: Pat Gibney, PE
email: pgibney@craventhompson.com
- LA Contact:** Scott Peavler, PLA
email: speavler@craventhompson.com
- PARKING GARAGE:** THA CONSULTING
40 NW 3RD STREET, SUITE 1102
MIAMI, FL 33128
305-987-0801
Contact: Javier Sanchez
email: jsanchez@tha-consulting.com

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City of Sunrise
Community Development Department
JUL 19 2024
RECEIVED

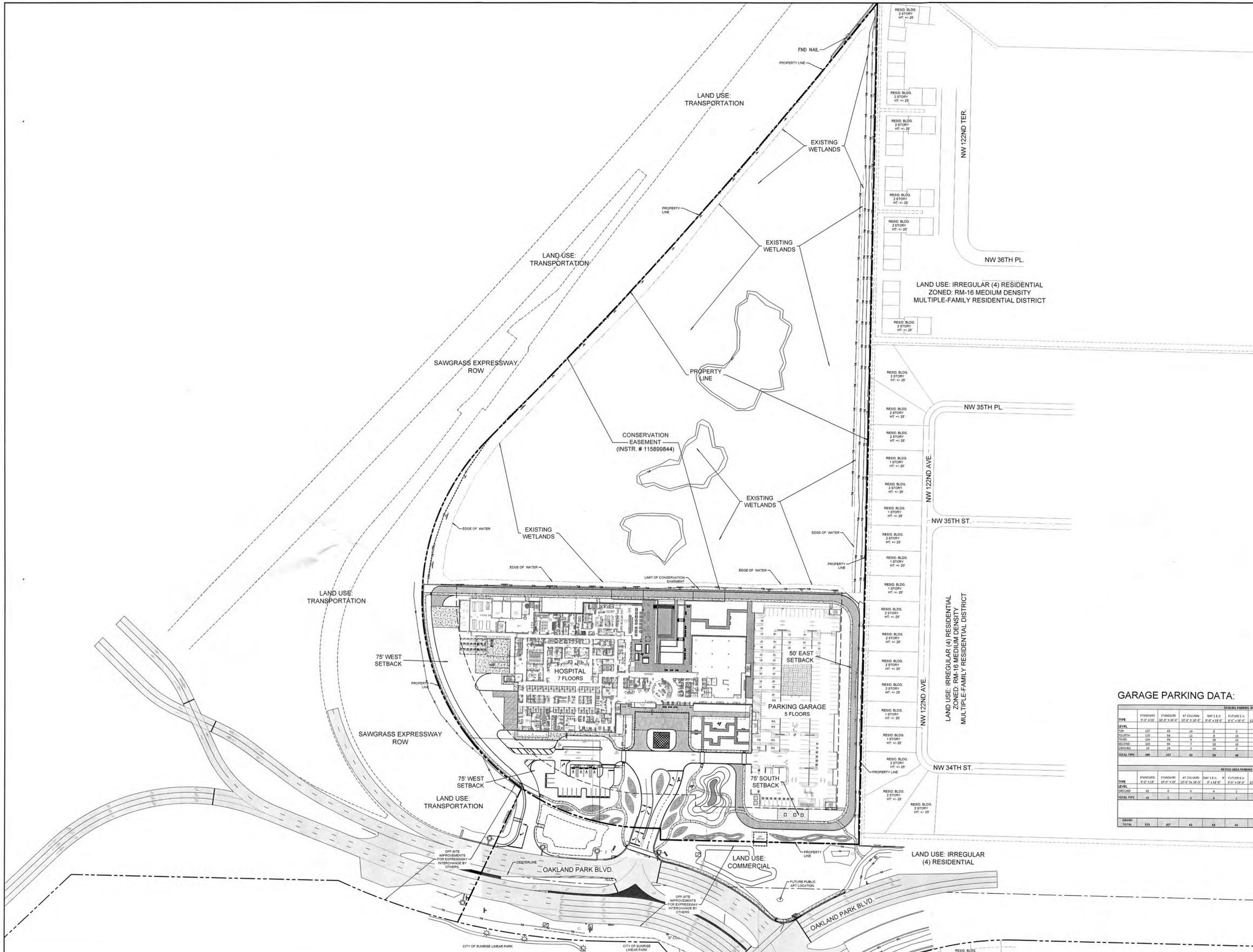
No.	REVISIONS	DATE	BY

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0000114

BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

COVER SHEET

DATE: 07/19/2024
DRAWING NO.: CVR
PROJECT NO.: 99-0039-002-01



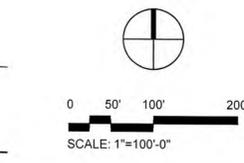
SITE DATA:

JURISDICTION:	CITY OF SUNRISE, FL		
LAND USE:	COMMERCIAL		
ZONING DISTRICT:	B-3 (GENERAL BUSINESS DISTRICT)		
SITE AREA: (LIMITS OF SITE PLAN)	AREA (SF):	AREA (Acres):	% OF SITE:
GROSS SITE AREA:	1,239,882 SF	(28.46) Ac.	100%
NET SITE AREA:	1,143,984 SF	(26.26) Ac.	100%
HOSPITAL BLDG. COVERAGE:	111,540 SF		9.8%
GARAGE BLDG. COVERAGE:	79,723 SF		7.0%
VEHICULAR USE:	75,432 SF		6.6%
SIDEWALK, WALLS, CURBING, ETC.:	61,862 SF		5.4%
TOTAL IMPERVIOUS AREA:	328,557 SF		28.7%
LANDSCAPE AREA:	137,950 SF		12.1%
WETLAND AREA:	677,477 SF		59.2%
TOTAL PERVIOUS AREA: (MIN. 15%= 171,598 SF)	815,427 SF		71.3%
BUILDING:			
PROPOSED HOSPITAL:	135'-10" HT.	371,275 SF	7 STORY
FLOOR AREA RATIO (FAR): 340,303 SF / 1,239,882 SF:	1.00 MAX.		0.27
* SF DOES NOT INCLUDE GARAGE, CEP, STAIRS, & ELEVATORS			
LOT COVERAGE (191,263 SF, INCLUDES GARAGE):	28.0% MAX.		16.7%
BUILDING HEIGHT: (250' MAX. ALLOWED)			
HOSPITAL:	135'-10" HT.		7 STORY
GARAGE:	67'-6" HT.		5 STORY
BUILDING SETBACK:	REQUIRED	PROVIDED	
FRONT YARD (SOUTH, WEST P.L.):	75.00'		75.3'
REAR YARD (EAST P.L.):	50.00'		51.7'
PARKING DATA:	REQUIRED	PROVIDED	
HOSPITAL BEDS (2/BED)=	100 BEDS	200	
MEDICAL OFFICES (1/150 SF)=	37,530 SF	250	
SURFACE PARKING=			17
PARKING GARAGE=			993
(PARALLEL SPACES NOT COUNTED TOWARDS REQUIRED)			
TOTAL=	450		1,010
GARAGE PARALLEL SPACES=			40
OVERALL TOTAL=			1,050
ACCESSIBLE PARKING: 2% OF TOTAL PROVIDED			
SURFACE PARKING=			4
PARKING GARAGE=			57
TOTAL=	21		61
* TOTAL PARKING INCLUDES ACCESSIBLE SPACES			
EV PARKING:			
DAY 1 EV SPACES=			54
FUTURE EV SPACES=			50
LOADING SPACE: 1 SPACE PER 40,000 GFA			
HOSPITAL (340,303 SF):	9'-10" X 40'		9'-10" X 40'
BICYCLE PARKING:	HOSPITAL= 6 SPACES		PROVIDED
	GARAGE= 20 SPACES		26 SPACES

GARAGE PARKING DATA:

TYPE	GENERAL PARKING SPACE TABULATION										
	STANDARD	STANDARD	AT COLUMN	DAY 1 EV	FUTURE EV	ADA	ADA	ADA	ADA	TOTAL	TOTAL
	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'	15' X 30'
LEVEL											
TOP	132	14	0	0	0	0	0	0	0	132	205
SOUTH	120	14	11	0	0	0	0	0	0	134	223
EAST	120	14	0	0	0	0	0	0	0	134	223
WEST	120	14	0	0	0	0	0	0	0	134	223
LEVEL	41	0	0	0	0	0	0	0	0	41	62
LEVEL	41	0	0	0	0	0	0	0	0	41	62
LEVEL	41	0	0	0	0	0	0	0	0	41	62
TOTAL TYPE	400	38	11	0	0	0	0	0	0	449	752

LEAD DESIGN LANDSCAPE ARCHITECT:
SWa/Balsley
 31 West 27th Street
 New York, NY
 10001-6914
 United States
 www.swabalsley.com
 +1.212.684.9230



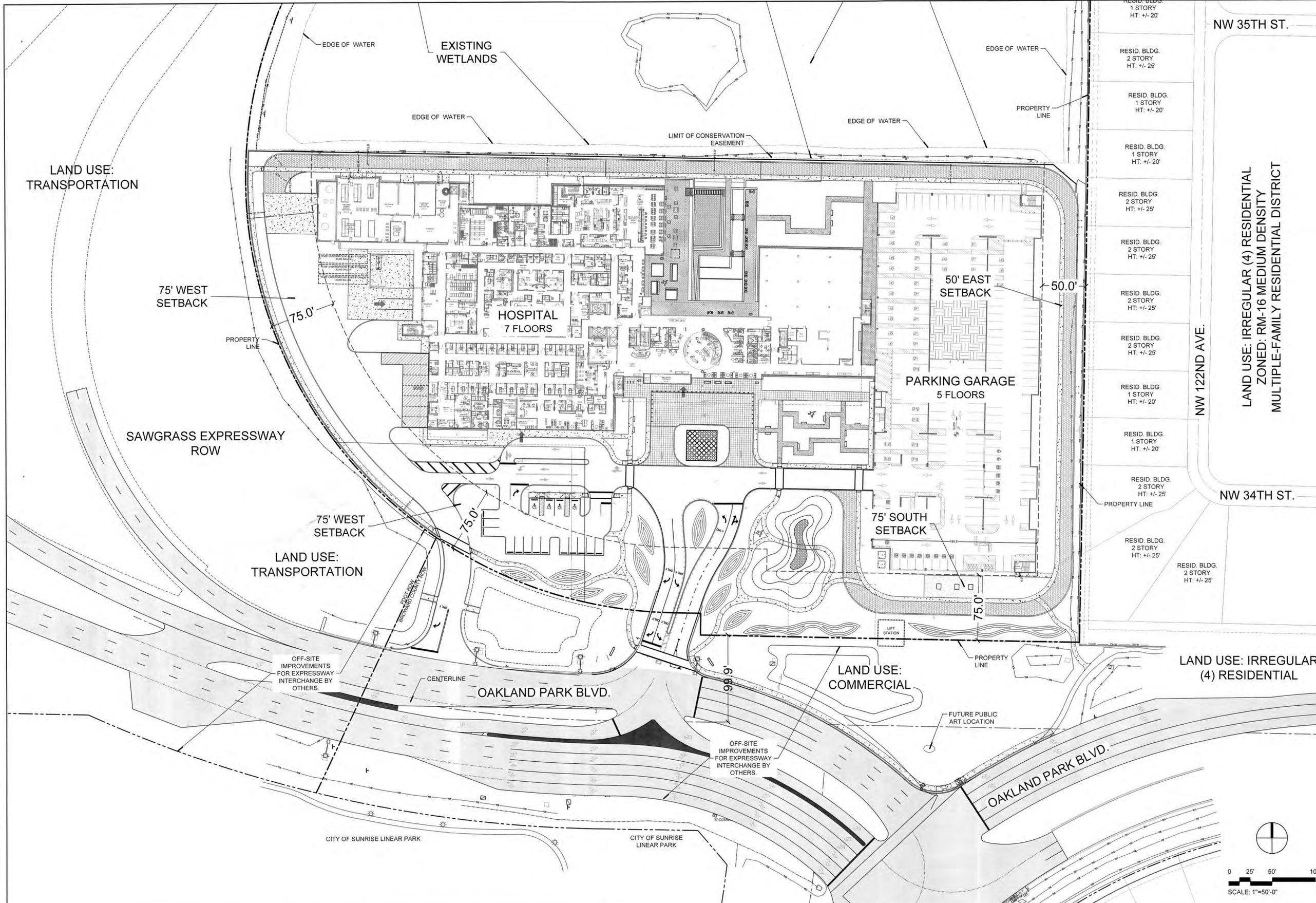
No.	REVISIONS	DATE	BY

CRAVEN THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 0200114
MATERIAL SHOWN HEREON IS THE PROPERTY OF CRAVEN THOMPSON AND ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF CRAVEN THOMPSON AND ASSOCIATES, INC.

BAPTIST HEALTH SUNRISE HOSPITAL
 12401 WEST OAKLAND PARK BOULEVARD
 SUNRISE, FLORIDA

OVERALL SITE PLAN

DATE: 07/19/2024
 DRAWING NO. OSP-1
 PROJECT NO. 99-0039-002-01



NW 35TH ST.

RESID. BLDG. 1 STORY HT. +/- 20'

RESID. BLDG. 2 STORY HT. +/- 25'

RESID. BLDG. 1 STORY HT. +/- 20'

RESID. BLDG. 1 STORY HT. +/- 20'

RESID. BLDG. 2 STORY HT. +/- 25'

RESID. BLDG. 1 STORY HT. +/- 20'

RESID. BLDG. 1 STORY HT. +/- 20'

RESID. BLDG. 2 STORY HT. +/- 25'

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RESID. BLDG. 2 STORY HT. +/- 25'

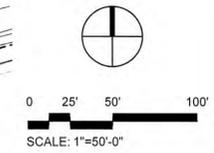
NW 122ND AVE.

LAND USE: IRREGULAR (4) RESIDENTIAL
ZONED: RM-16 MEDIUM DENSITY
MULTIPLE-FAMILY RESIDENTIAL DISTRICT

NW 34TH ST.

LEAD DESIGN
LANDSCAPE ARCHITECT:
SWA/Balsley
31 West 27th Street
New York, NY
10001-6914
United States
www.swabalsley.com
+1.212.684.9230

LEAVE BLANK - FOR CITY USE ONLY



No.	REVISIONS	DATE	BY

SCALE:
1" = 50'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

Craven Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. 0005114

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12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

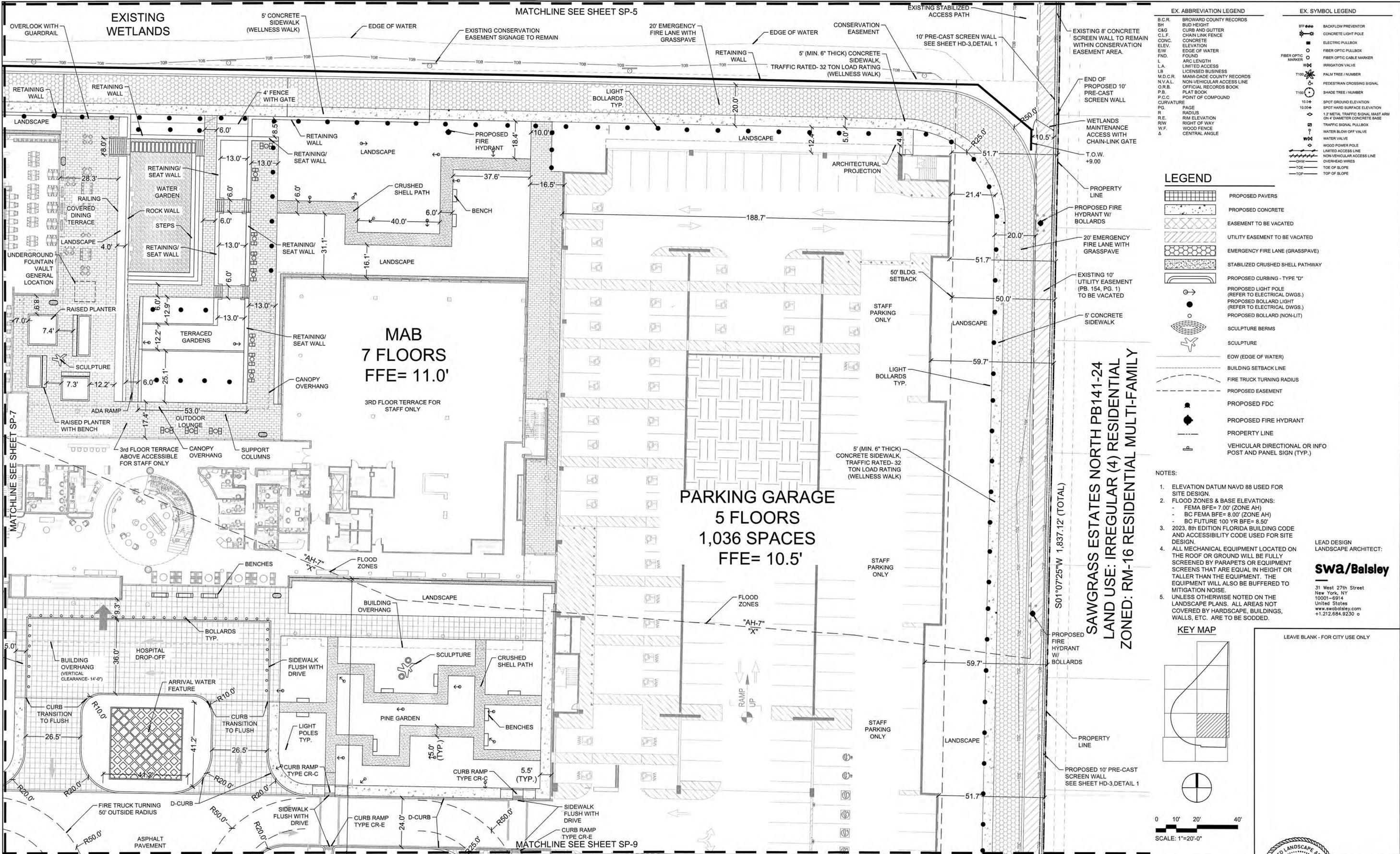
**OVERALL SITE PLAN
ENLARGEMENT**

REGISTERED LANDSCAPE ARCHITECT
SCOTT W. PEAYLER
FLORIDA R.L.A. No. 1668976
JULY 18, 2024

PROJECT NO.
99-0039-002-01

DATE:
07/19/2024

DRAWING NO.
OSP-2



EX. ABBREVIATION LEGEND

B.C.R.	BROWARD COUNTY RECORDS
BH	BUD HEIGHT
C&G	CURB AND GUTTER
C.L.F.	CHAIN LINK FENCE
CONC.	CONCRETE
ELEV.	ELEVATION
EW	EDGE OF WATER
FND.	FOUND
L	ARC LENGTH
L.A.	LIMITED ACCESS
L.B.	LICENSED BUSINESS
M.D.C.R.	MIAMI-DADE COUNTY RECORDS
N.V.A.L.	NON-VEHICULAR ACCESS LINE
O.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
P.C.C.	POINT OF COMPOUND
CURVATURE	
P.G.	PAGE
R	RADIUS
R.E.	RIM ELEVATION
R.W.	RIGHT OF WAY
W.F.	WOOD FENCE
A	CENTRAL ANGLE

EX. SYMBOL LEGEND

SP	BACKFLOW PREVENTOR
CONC	CONCRETE LIGHT POLE
ELEC	ELECTRIC PULLBOX
FIBER	FIBER OPTIC PULLBOX
FIBER	FIBER OPTIC CABLE MARKER
IRRI	IRRIGATION VALVE
T100	PALM TREE / NUMBER
T100	PEDESTRIAN CROSSING SIGNAL
T100	SHADE TREE / NUMBER
10.0+	SPOT GROUND ELEVATION
10.0+	SPOT HARD SURFACE ELEVATION
12	12" METAL TRAFFIC SIGNAL MAST ARM ON 4" DIAMETER CONCRETE BASE
TRAF	TRAFFIC SIGNAL PULLBOX
W.F.	WATER BLOW OFF VALVE
W.V.	WATER VALVE
WOOD	WOOD POWER POLE
---	LIMITED ACCESS LINE
---	NON-VEHICULAR ACCESS LINE
---	OVERHEAD WIRES
---	TOE OF SLOPE
---	TOP OF SLOPE

LEAD DESIGN LANDSCAPE ARCHITECT:

swa/balsley

31 West 27th Street
New York, NY
10001-6914
United States
www.swabalsley.com
+1.212.684.9230

SCALE: 1"=20'-0"

DESIGNED BY:	SWP
DRAWN BY:	SWP
CHECKED BY:	JDH

No. REVISIONS DATE BY

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ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-8409 TEL: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. 0000114

BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

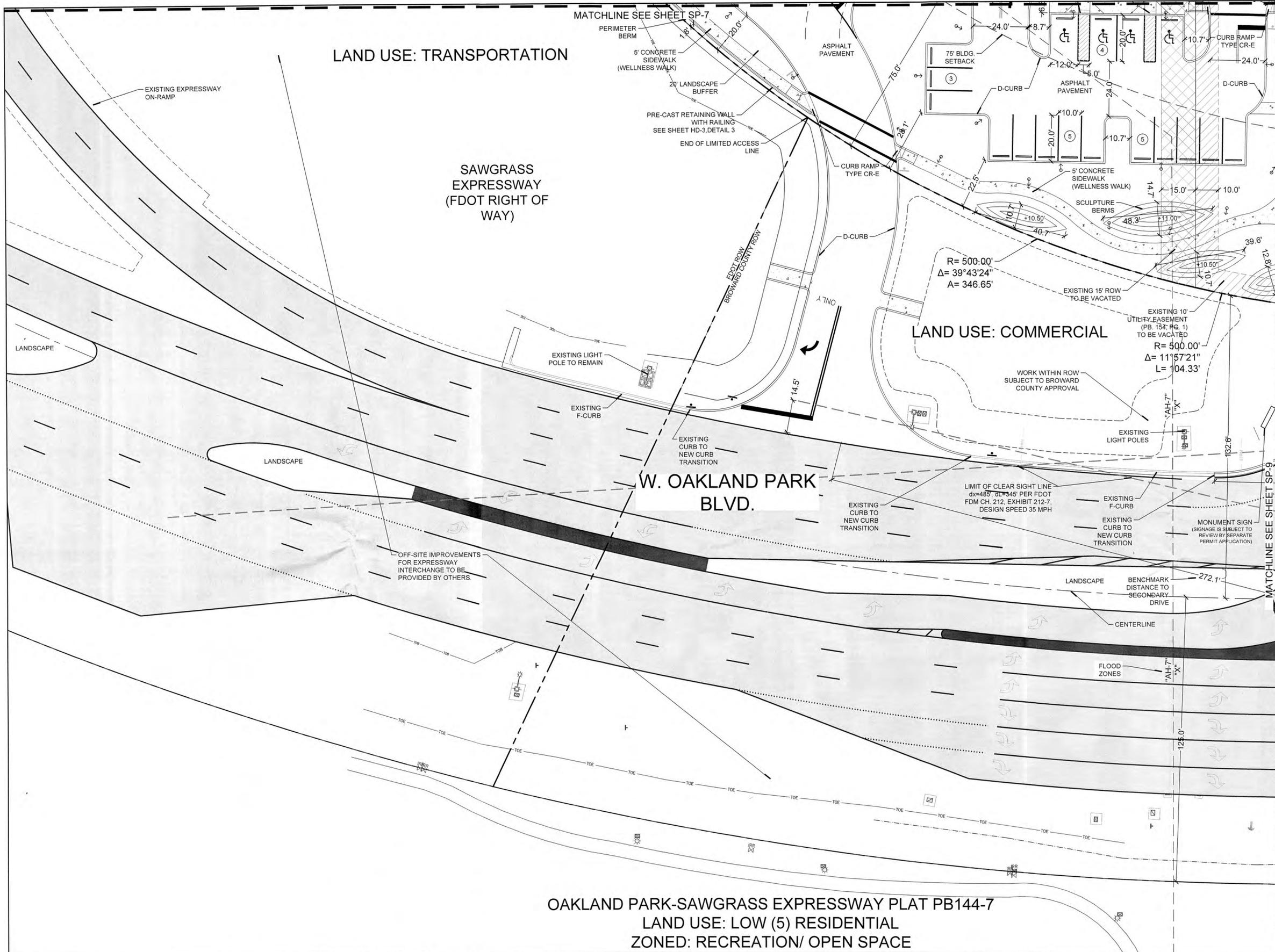
SITE PLAN

DATE: 07/19/2024

DRAWING NO. SP-6

PROJECT NO. 99-0039-002-01





- EX. ABBREVIATION LEGEND**
- B.C.R. BROWARD COUNTY RECORDS
 - B.H. BUILDING HEIGHT
 - C&G CURB AND GUTTER
 - C.L.F. CHAIN LINK FENCE
 - CONC. CONCRETE
 - ELEV. ELEVATION
 - E.W. EDGE OF WATER
 - FND. FOUND
 - L. ARC LENGTH
 - LA. LIMITED ACCESS
 - LB. LICENSED BUSINESS
 - M.D.C.R. MIAMI-DADE COUNTY RECORDS
 - N.V.A.L. NON-VEHICULAR ACCESS LINE
 - O.R.B. OFFICIAL RECORDS BOOK
 - P.B. PLAT BOOK
 - P.C.C. POINT OF COMPOUND
 - P.G. PAGE
 - R. RADIUS
 - R.E. RIM ELEVATION
 - R.W. RIGHT OF WAY
 - W.F. WOOD FENCE
 - Δ. CENTRAL ANGLE
- EX. SYMBOL LEGEND**
- BACKFLOW PREVENTOR
 - CONCRETE LIGHT POLE
 - ELECTRIC PULLBOX
 - FIBER OPTIC PULLBOX
 - FIBER OPTIC CABLE MARKER
 - IRRIGATION VALVE
 - PALM TREE / NUMBER
 - PEDESTRIAN CROSSING SIGNAL
 - SHADE TREE / NUMBER
 - SPOT GROUND ELEVATION
 - SPOT HARD SURFACE ELEVATION
 - 1 1/2" METAL TRAFFIC SIGNAL MAST ARM ON 4" DIAMETER CONCRETE BASE
 - TRAFFIC SIGNAL PULLBOX
 - WATER BLOW OFF VALVE
 - WATER VALVE
 - WOOD POWER POLE
 - LIMITED ACCESS LINE
 - NON-VEHICULAR ACCESS LINE
 - OVERHEAD WIRES
 - TOE OF SLOPE
 - TOP OF SLOPE

- LEGEND**
- PROPOSED PAVERS
 - PROPOSED CONCRETE
 - EASEMENT TO BE VACATED
 - UTILITY EASEMENT TO BE VACATED
 - EMERGENCY FIRE LANE (GRASSPAVE)
 - STABILIZED CRUSHED SHELL PATHWAY
 - PROPOSED CURBING - TYPE 'D'
 - PROPOSED LIGHT POLE (REFER TO ELECTRICAL DWGS.)
 - PROPOSED BOLLARD LIGHT (REFER TO ELECTRICAL DWGS.)
 - PROPOSED BOLLARD (NON-LIT)
 - SCULPTURE BERMS
 - SCULPTURE
 - EOW (EDGE OF WATER)
 - BUILDING SETBACK LINE
 - FIRE TRUCK TURNING RADIUS
 - PROPOSED EASEMENT
 - PROPOSED FDC
 - PROPOSED FIRE HYDRANT
 - PROPERTY LINE
 - VEHICULAR DIRECTIONAL OR INFO POST AND PANEL SIGN (TYP.)

- NOTES:**
- ELEVATION DATUM NAVD 88 USED FOR SITE DESIGN.
 - FLOOD ZONES & BASE ELEVATIONS:
 - FEMA BFE= 7.00' (ZONE AH)
 - BC FEMA BFE= 8.00' (ZONE AH)
 - BC FUTURE 100 YR BFE= 8.50'
 - 2023, 8th EDITION FLORIDA BUILDING CODE AND ACCESSIBILITY CODE USED FOR SITE DESIGN.
 - ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATION NOISE.
 - UNLESS OTHERWISE NOTED ON THE LANDSCAPE PLANS, ALL AREAS NOT COVERED BY HARDSCAPE, BUILDINGS, WALLS, ETC. ARE TO BE SODDED.
- KEY MAP**
-
- LEAD DESIGN LANDSCAPE ARCHITECT:**
SWA/Balsley
31 West 27th Street
New York, NY
10001-5914
United States
www.swabalsley.com
+1.212.684.9230

OAKLAND PARK-SAWGRASS EXPRESSWAY PLAT PB144-7
LAND USE: LOW (5) RESIDENTIAL
ZONED: RECREATION/ OPEN SPACE

No.	REVISIONS	DATE	BY

SCALE:
1" = 20'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400

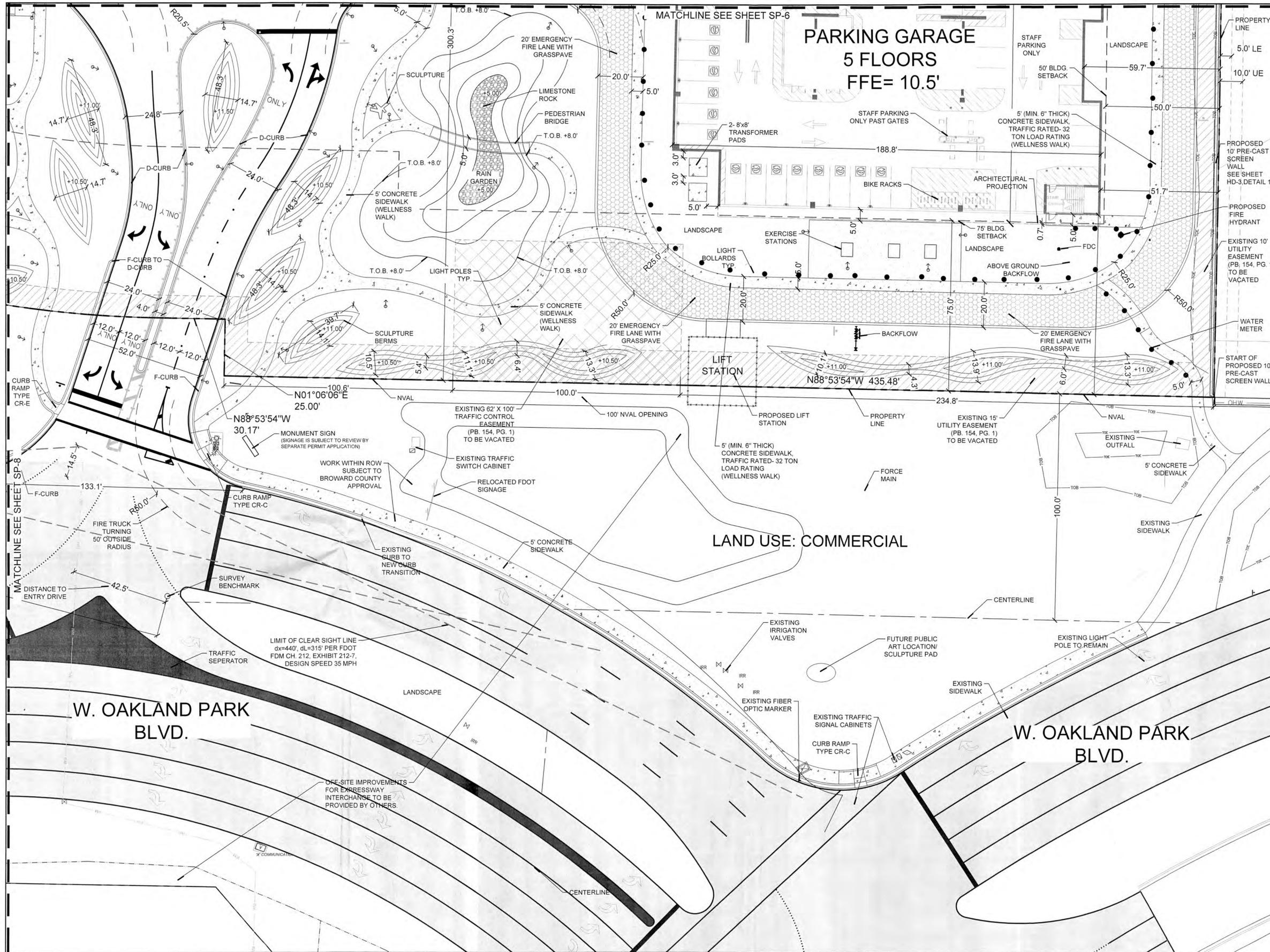
BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

SITE PLAN

DATE: 07/19/2024

DRAWING NO.: SP-8

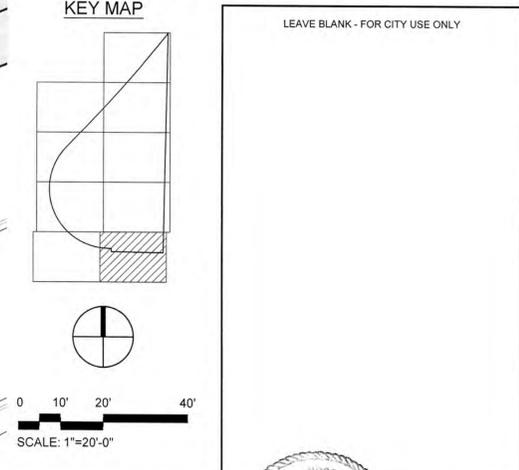
PROJECT NO.: 99-0039-002-01



EX. ABBREVIATION LEGEND		EX. SYMBOL LEGEND	
B.C.R.	BROWARD COUNTY RECORDS	BFP	BACKFLOW PREVENTOR
BH	BUD HEIGHT	CL	CONCRETE LIGHT POLE
C&G	CURB AND GUTTER	EL	ELECTRIC PULLBOX
C.L.F.	CHAIN LINK FENCE	FO	FIBER OPTIC PULLBOX
CONC.	CONCRETE	FOM	FIBER OPTIC CABLE MARKER
ELEV.	ELEVATION	IRV	IRRIGATION VALVE
EW	EDGE OF WATER	L.A.	LIMITED ACCESS
FND.	FOUND	L.B.	LICENSED BUSINESS
L	ARC LENGTH	M.D.C.R.	MIAMI-DADE COUNTY RECORDS
N.V.A.L.	NON-VEHICULAR ACCESS LINE	N.V.A.L.	NON-VEHICULAR ACCESS LINE
O.R.B.	OFFICIAL RECORDS BOOK	P.B.	PLAT BOOK
P.C.	POINT OF COMPOUND	P.C.C.	POINT OF CURVATURE
P.G.	PAGE	R	RADIUS
R	RADIUS	R.E.	RIM ELEVATION
R.W.	RIGHT OF WAY	R/W	RIGHT OF WAY
W.F.	WOOD FENCE	W.F.	WOOD FENCE
Δ	CENTRAL ANGLE		

LEGEND	
[Symbol]	PROPOSED PAVERS
[Symbol]	PROPOSED CONCRETE
[Symbol]	EASEMENT TO BE VACATED
[Symbol]	UTILITY EASEMENT TO BE VACATED
[Symbol]	EMERGENCY FIRE LANE (GRASSPAVE)
[Symbol]	STABILIZED CRUSHED SHELL PATHWAY
[Symbol]	PROPOSED CURBING - TYPE 'D'
[Symbol]	PROPOSED LIGHT POLE (REFER TO ELECTRICAL DWGS.)
[Symbol]	PROPOSED BOLLARD LIGHT (REFER TO ELECTRICAL DWGS.)
[Symbol]	PROPOSED BOLLARD (NON-LIT)
[Symbol]	SCULPTURE BERMS
[Symbol]	SCULPTURE
[Symbol]	EW (EDGE OF WATER)
[Symbol]	BUILDING SETBACK LINE
[Symbol]	FIRE TRUCK TURNING RADIUS
[Symbol]	PROPOSED EASEMENT
[Symbol]	PROPOSED FDC
[Symbol]	PROPOSED FIRE HYDRANT
[Symbol]	PROPERTY LINE
[Symbol]	VEHICULAR DIRECTIONAL OR INFO POST AND PANEL SIGN (TYP.)

- NOTES:
- ELEVATION DATUM NAVD 88 USED FOR SITE DESIGN.
 - FLOOD ZONES & BASE ELEVATIONS:
 - FEMA BFE= 7.00' (ZONE AH)
 - BC FEMA BFE= 8.00' (ZONE AH)
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 - 2023 8th EDITION FLORIDA BUILDING CODE AND ACCESSIBILITY CODE USED FOR SITE DESIGN.
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- LEAD DESIGN LANDSCAPE ARCHITECT:
swa/balsley
31 West 27th Street
New York, NY
10001-6914
United States
www.swabalsley.com
+1.212.684.9230



No.	REVISIONS	DATE	BY

SCALE: 1" = 20'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

Craven Thompson and Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C020114

BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

SITE PLAN

DATE: 07/19/2024

DRAWING NO.: SP-9

PROJECT NO.: 99-0039-002-01

SEAL: [Professional Engineer Seal]

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-3 AND V-4 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or warranties as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further, confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.

DATE:	01-29-15
SCALE:	1"=50'
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PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA
ALTA/NSPS LAND TITLE SURVEY

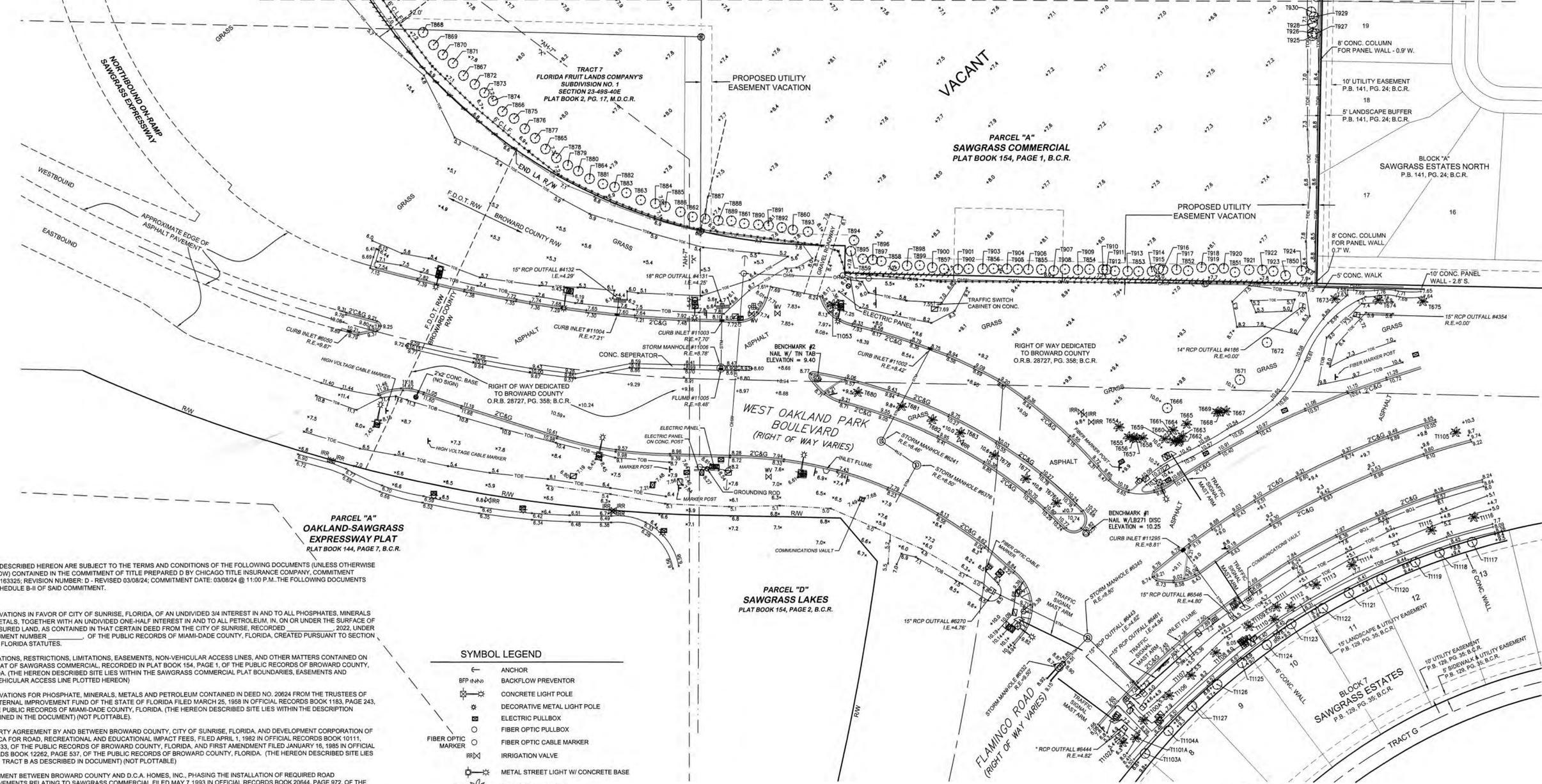
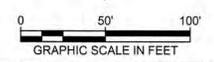


PROJECT NO.
99-0039-001-03

V-2

SHEET 2 OF 4

MATCHLINE "A" SEE SHEET V-3



THE LANDS DESCRIBED HEREON ARE SUBJECT TO THE TERMS AND CONDITIONS OF THE FOLLOWING DOCUMENTS (UNLESS OTHERWISE NOTED BELOW) CONTAINED IN THE COMMITMENT OF TITLE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NUMBER: 10163325; REVISION NUMBER: D - REVISED 03/08/24; COMMITMENT DATE: 03/08/24 @ 11:00 P.M. THE FOLLOWING DOCUMENTS CITED IN SCHEDULE B-1 OF SAID COMMITMENT.

- RESERVATIONS IN FAVOR OF CITY OF SUNRISE, FLORIDA, OF AN UNDIVIDED 3/4 INTEREST IN AND TO ALL PHOSPHATES, MINERALS AND METALS, TOGETHER WITH AN UNDIVIDED ONE-HALF INTEREST IN AND TO ALL PETROLEUM, IN, ON OR UNDER THE SURFACE OF THE INSURED LAND, AS CONTAINED IN THAT CERTAIN DEED FROM THE CITY OF SUNRISE, RECORDED _____, 2022, UNDER INSTRUMENT NUMBER _____ OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, CREATED PURSUANT TO SECTION 270.11, FLORIDA STATUTES.
- DEDICATIONS, RESTRICTIONS, EASEMENTS, NON-VEHICULAR ACCESS LINES, AND OTHER MATTERS CONTAINED ON THE PLAT OF SAWGRASS COMMERCIAL, RECORDED IN PLAT BOOK 154, PAGE 1, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, (THE HEREON DESCRIBED SITE LIES WITHIN THE SAWGRASS COMMERCIAL PLAT BOUNDARIES, EASEMENTS AND NON-VEHICULAR ACCESS LINE PLOTTED HEREON)
- RESERVATIONS FOR PHOSPHATE, MINERALS, METALS AND PETROLEUM CONTAINED IN DEED NO. 20624 FROM THE TRUSTEES OF THE INTERNAL IMPROVEMENT FUND OF THE STATE OF FLORIDA FILED MARCH 25, 1958 IN OFFICIAL RECORDS BOOK 1183, PAGE 243, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, (THE HEREON DESCRIBED SITE LIES WITHIN THE DESCRIPTION CONTAINED IN THE DOCUMENT) (NOT PLOTTABLE).
- TRI-PARTY AGREEMENT BY AND BETWEEN BROWARD COUNTY, CITY OF SUNRISE, FLORIDA, AND DEVELOPMENT CORPORATION OF AMERICA FOR ROAD, RECREATIONAL AND EDUCATIONAL IMPACT FEES, FILED APRIL 1, 1992 IN OFFICIAL RECORDS BOOK 10111, PAGE 633, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, AND FIRST AMENDMENT FILED JANUARY 16, 1995 IN OFFICIAL RECORDS BOOK 12262, PAGE 537, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, (THE HEREON DESCRIBED SITE LIES WITHIN TRACT B AS DESCRIBED IN DOCUMENT) (NOT PLOTTABLE).
- AGREEMENT BETWEEN BROWARD COUNTY AND D.C.A. HOMES, INC., PHASING THE INSTALLATION OF REQUIRED ROAD IMPROVEMENTS RELATING TO SAWGRASS COMMERCIAL FILED MAY 7 1993 IN OFFICIAL RECORDS BOOK 20644, PAGE 972, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, (THE HEREON DESCRIBED SITE LIES WITHIN THE LANDS DESCRIBED IN THE DOCUMENT) (NOT PLOTTABLE).
- ALL OF THE TERMS, RESTRICTIONS, EASEMENTS, COVENANTS AND OTHER PROVISIONS AS CONTAINED IN THE AMENDED DEED OF CONSERVATION EASEMENT AND AGREEMENT BY AND BETWEEN THE CITY OF SUNRISE, A MUNICIPAL CORPORATION, AND BROWARD COUNTY, A POLITICAL SUBDIVISION OF THE STATE OF FLORIDA, FILED JUNE 28, 2019 UNDER INSTRUMENT NUMBER 115899844, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, (THE EASEMENT DESCRIPTION LIES WHOLLY WITHIN THE HEREON DESCRIBED SITE) (EASEMENT PLOTTED HEREON)
- RESTRICTIONS, COVENANTS AND CONDITIONS IN THAT CERTAIN DECLARATION OF RESTRICTIONS FILED _____, 2022 UNDER INSTRUMENT NUMBER _____ OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- TERMS AND PROVISIONS OF PERMIT NO. 06-80111-P ISSUED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT, EVIDENCED BY THE RECORD NOTICE OF ENVIRONMENTAL RESOURCE PERMIT RECORDED UNDER INSTRUMENT NUMBER 117070644 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, (THE DESCRIPTION CONTAINED IN THE DOCUMENT LIES WHOLLY WITHIN THE HEREON DESCRIBED SITE) (NOT PLOTTABLE).
- DEDICATIONS, AND EASEMENTS CONTAINED ON THE PLAT OF FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1 IN SECTION 23, TOWNSHIP 49 SOUTH, RANGE 40 EAST, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2 AT PAGE 17 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, (A PORTION OF THE HEREON DESCRIBED SITE LIES WITHIN THE FLORIDA FRUIT LAND COMPANY'S SUBDIVISION NO. 1 PLAT) (PLOTTED HEREON)
- RESERVATIONS RESERVED BY THE COUNTY OF BROWARD FOR ROAD RIGHT OF WAY AS CONTAINED IN COUNTY DEED NO. 817 FILED DECEMBER 21, 1950 IN DEED BOOK 716, PAGE 352, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, (COPY OF DOCUMENT IS ILLEGIBLE, UNABLE TO DETERMINE IF IT AFFECTS SITE).

SYMBOL LEGEND	
	ANCHOR
	BACKFLOW PREVENTOR
	CONCRETE LIGHT POLE
	DECORATIVE METAL LIGHT POLE
	ELECTRIC PULLBOX
	FIBER OPTIC PULLBOX
	FIBER OPTIC CABLE MARKER
	IRRIGATION VALVE
	METAL STREET LIGHT W/ CONCRETE BASE
	PALM TREE / NUMBER
	SHADE TREE / NUMBER
	SPOT GROUND ELEVATION
	SPOT HARD SURFACE ELEVATION
	1.2' METAL TRAFFIC SIGNAL MAST ARM ON 4' DIAMETER CONCRETE BASE
	TRAFFIC SIGNAL PULLBOX
	WATER BLOW OFF VALVE
	WATER VALVE
	WOOD POWER POLE
	LIMITED ACCESS LINE
	NON-VEHICULAR ACCESS LINE
	OVERHEAD WIRES
	TOE OF SLOPE
	TOP OF SLOPE
	CHAIN LINK FENCE

ABBREVIATION LEGEND			
B.C.R.	BROWARD COUNTY RECORDS	M.D.C.R.	MIAMI-DADE COUNTY RECORDS
BH	BUD HEIGHT	N.V.A.L.	NON-VEHICULAR ACCESS LINE
C&G	CURB AND GUTTER	O.R.B.	OFFICIAL RECORDS BOOK
C.L.F.	CHAIN LINK FENCE	P.B.	PLAT BOOK
CONC.	CONCRETE	P.C.C	POINT OF COMPOUND
ELEV.	ELEVATION	PG.	PAGE
E/W	EDGE OF WATER	R	RADIUS
FND.	FOUND	R.C.P.	REINFORCED CONCRETE PIPE
I.E.	INVERT ELEVATION	R.E.	RIM ELEVATION
IRR	IRRIGATION	R/W	RIGHT OF WAY
L	ARC LENGTH	R/W	WOOD FENCE
L.A.	LIMITED ACCESS	Δ	CENTRAL ANGLE
LB	LICENSED BUSINESS		

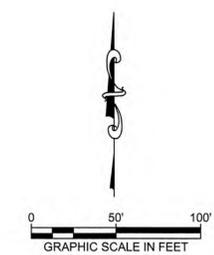
STORM DRAIN ABSULTS	
SDMH #6241	C.I. #11003
R.E.=8.51	R.E.=7.70
I.E.=4.71(N) 15' RCP	I.E.=4.55(N) 18' RCP
I.E.=4.76(E) 15' RCP	I.E.=4.50(S) 15' RCP
B.O.S.=4.27	B.O.S.=4.00
SDMH #6345	C.I. #11004
R.E.=8.85	R.E.=7.21
I.E.=4.90(S) 15' RCP	I.E.=4.41(N) 15' RCP
I.E.=4.90(E) 15' RCP	I.E.=4.30(S) 15' RCP
I.E.=4.85(W) 15' RCP	B.O.S.=3.81
B.O.S.=4.52	SDMH #11006
SDMH #6376	R.E.=8.78
R.E.=8.54	I.E.=4.78(N) 15' RCP
I.E.=4.59(W) 15' RCP	I.E.=4.42(S) 15' RCP
I.E.=4.54(SW) 15' RCP	B.O.S.=4.22
B.O.S.=4.08	C.I. #11295
C.I. #11002	R.E.=8.80
R.E.=8.42	I.E.=4.90(S) 15' RCP
I.E.=5.02(S) 15' RCP	B.O.S.=4.08

THE INFORMATION SHOWN ON THE ATTACHED SKETCH REFLECTS ONLY THE CONDITIONS AND IMPROVEMENTS ON THE DATE OF THE SURVEY

SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

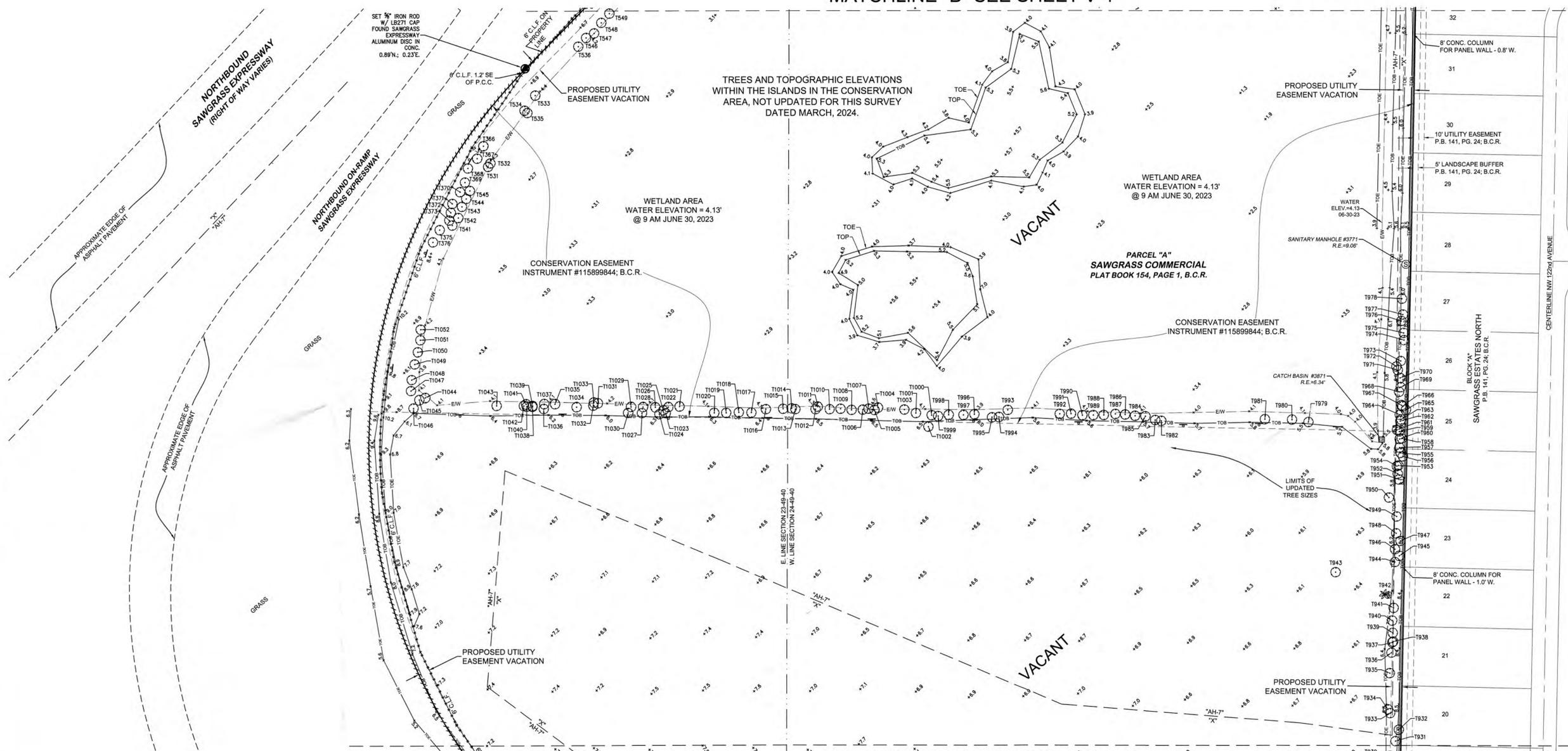
SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-2 AND V-4 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

NOTE: The undersigned and CRAVEN THOMPSON & ASSOCIATES, INC. make no representations or guarantees as to the information reflected hereon pertaining to easements, right-of-way, set back lines, reservations, agreements and other similar matters, and this instrument is not intended to reflect or set forth all such matters. Such information should be obtained and further confirmed by others through appropriate title verification.
NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.



MATCHLINE "B" SEE SHEET V-4

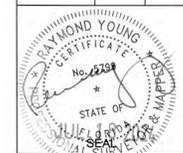
MATCHLINE "A" SEE SHEET V-2



DATE:	01-29-15
RY	03/19/24
RY	12/29/23
RY	9/28/23
RY	9/12/23
RY	7/19/23
RY	9/24/19
RY	2/19/19
RY	2/19/19

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3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6409
FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C00014
CRAVEN THOMPSON & ASSOCIATES, INC. IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. THIS IS NOT A CONTRACT DOCUMENT.
CRAVEN THOMPSON & ASSOCIATES, INC. CONTRACT 10-2024

PARCEL "A", SAWGRASS COMMERCIAL
PLAT BOOK 157, PAGE 1; B.C.R.
CITY OF SUNRISE, FLORIDA
PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA
ALTA/NSPS LAND TITLE SURVEY



PROJECT NO.
99-0039-001-03

V-3
SHEET 3 OF 4

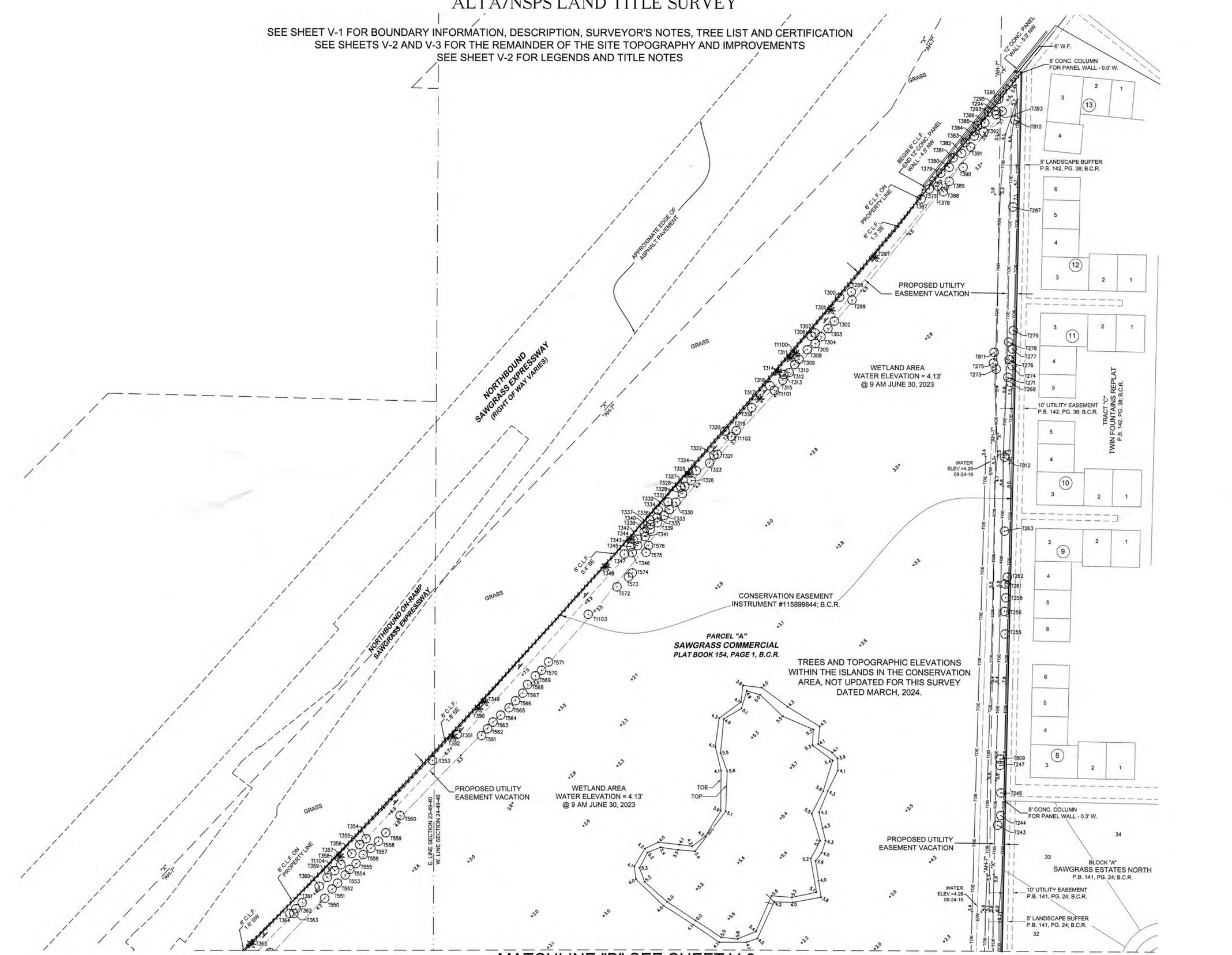
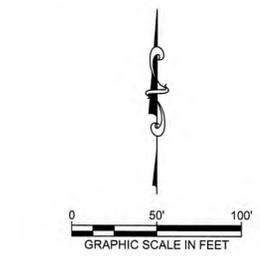
THE INFORMATION SHOWN ON THE ATTACHED SKETCH REFLECTS ONLY THE CONDITIONS AND IMPROVEMENTS ON THE DATE OF THE SURVEY

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SKETCH OF SURVEY ALTA/NSPS LAND TITLE SURVEY

SEE SHEET V-1 FOR BOUNDARY INFORMATION, DESCRIPTION, SURVEYOR'S NOTES, TREE LIST AND CERTIFICATION
SEE SHEETS V-2 AND V-3 FOR THE REMAINDER OF THE SITE TOPOGRAPHY AND IMPROVEMENTS
SEE SHEET V-2 FOR LEGENDS AND TITLE NOTES

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NOTE: Lands shown hereon were not abstracted for right-of-way and/or easements of record.



MATCHLINE "B" SEE SHEET V-3

DATE:	DATE:	DATE:	DATE:
01-29-15	03-19-24	03-19-24	03-19-24
1"-50"	RY 12/29/23	RY 12/29/23	RY 12/29/23
	RY 09/28/23	RY 09/28/23	RY 09/28/23
	RY 07/12/23	RY 07/12/23	RY 07/12/23
	RY 07/19/23	RY 07/19/23	RY 07/19/23
	RY 07/24/19	RY 07/24/19	RY 07/24/19
	RY 07/19/16	RY 07/19/16	RY 07/19/16
	RY 07/27/16	RY 07/27/16	RY 07/27/16

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
CRAVEN THOMPSON & ASSOCIATES, INC. COMPANY SEAL

PARCEL "A", SAWGRASS COMMERCIAL
PLAT BOOK 157, PAGE 1; B.C.R.
CITY OF SUNRISE, FLORIDA
PREPARED FOR:
BAPTIST HEALTH SOUTH FLORIDA
ALTANSPS LAND TITLE SURVEY



PROJECT NO.
99-0039-001-03

V-4
SHEET 4 OF 4

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PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS

	GL10: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2) SURFACE: LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL11: 1 5/8" INSULATING - LAMINATED VISION BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2) SURFACE: LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL12: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL13: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL14: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM		GL15: 1 5/8" INSULATING - LAMINATED VISION BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM		GL16: 1" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
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GLAZING SYSTEMS

TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2 1/2" X 1 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01	TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD SIZE: 2' X 11' FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH ELEVATION SPANNING L1 AND L2, SOUTH ELEVATION SPANNING L1, L2 AND L3.	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: 2' X 11' FINISH COLOR: AMF02 LOCATION: VARIOUS	TYPE 04: GLASS TERRACES MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE
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METAL FINISHES

	AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC1990L LOCATION: FACADE, MECHANICAL SCREEN WALL, LFT. COPING, LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS		AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4390 LOCATION: MULLIONS, SHADOW BOX, LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS		AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE		AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC1994B LOCATION: TRIM, EDGE, AND FRAME DETAILS ON BUILDING FACADE, SHADOW BOX FASCIA		AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: TORY NATURAL WICKER M17) LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA		AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE
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FORMED METAL WALL PANEL

	AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47		AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS		AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL		AMPWP04: MANUFACTURER: SUBJECT TO COMPLIANCE STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE
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METAL MESHES

	MM01: WIRE MESH MANUFACTURER: GRI METAL FABRICS STYLE NAME: OMEGA 150 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE
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ARCHITECTURAL WALL LOUVERS

	L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-3 GROUP STYLE NAME: DCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER
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TERRACOTTA WALL PANELS

	TC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SILDANI GROUP TYPE: LONGITON LARGE FORMAT PANELS STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: A: CREME AND B: CHAMPAGNE LOCATION: HOSPITAL AND CEP
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ARCHITECTURAL PRECAST PANELS

	PC01: ARCHITECTURAL PRECAST CONCRETE MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR TC01
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ARCHITECTURAL PRECAST PANELS

	PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE
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ARCHITECTURAL PRECAST PANELS

	PC03: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD COLOR/TEXTURE: REF. PCI REF COLORS/FINISHES: 109 SF-3 MIN PER SQ. FT. CLASS 1 TRAFFIC COATINGS TO BE APPLIED TO TOP SURFACE IF REQUIRED.
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ARTIFICIAL PLANT WALL PANELS

	PWP01: PLANT WALL PANELS MANUFACTURER: TBD COLOR/FINISH: GREEN WITH/NO LOCATION: GARAGE EAST FACADE
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GENERAL NOTES

ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS

GLAZING GENERAL NOTES:
1. GRAY GASKETS
2. GRAY STRUCTURAL SILICONE JOINT
3. GRAY WEATHER-SEAL
4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL

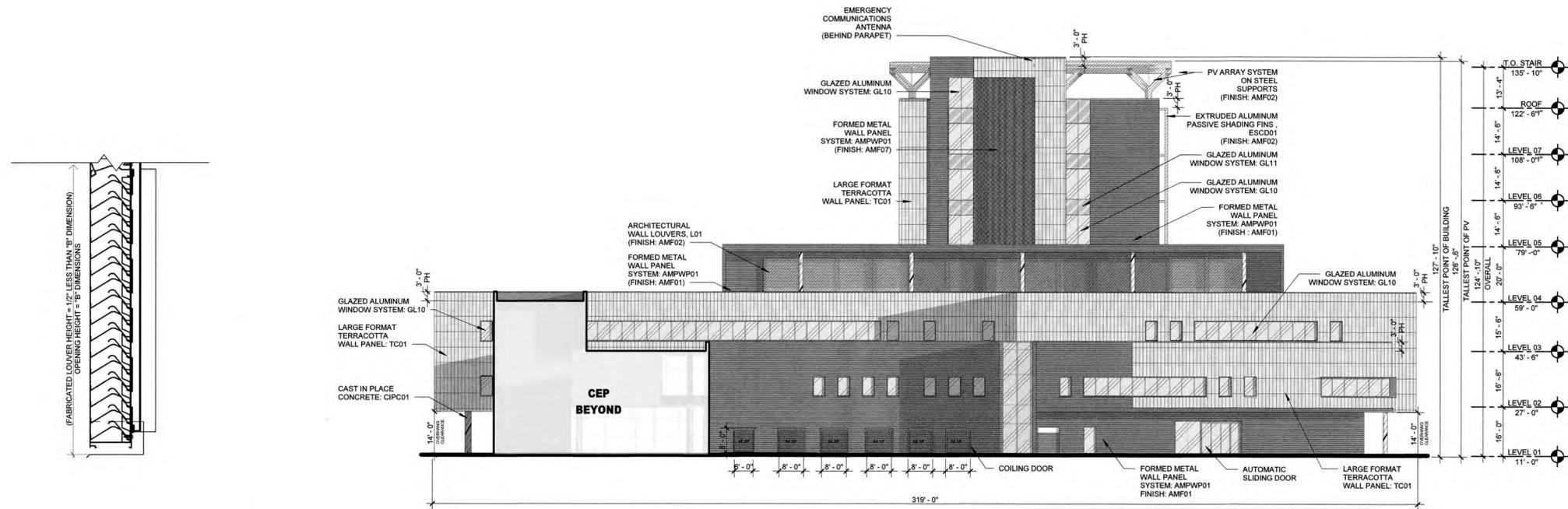
PRECAST CONCRETE GENERAL NOTES:
1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRG & UHPC BASED ON PRICING, AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS.

CAST IN PLACE CONCRETE GENERAL NOTES:
1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT ASTM C150 FOR TYPE I PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN .05% BY WEIGHT FERROUS OXIDE (FE2O3).

TC01 ALTERNATE #1 PC01/PC02
PH - INDICATES PARAPET HEIGHT

LEAVE BLANK (FOR CITY USE ONLY)

SEAL:	DATE:
	04/08/2024
PROJECT NO:	DRAWING NO:
25203.000	CR5.01



03 L01 SECTION DETAIL
1 1/2" = 1'-0"

02 WEST ELEVATION
3/64" = 1'-0"

01 EAST ELEVATION
3/64" = 1'-0"

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

OVERALL BUILDING ELEVATIONS

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS

	GL10: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL14: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL11: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL15: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL12: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
	GL13: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT- SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		

GLAZING SYSTEMS

TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2 1/2" X 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01	TYPE 02: CURTAINWALL - LOBBY MANUFACTURER: TBD SIZE: 2 1/2" X 1/2" FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH ELEVATION SPANNING L1 AND L2 SOUTH ELEVATION SPANNING L1, L2 AND L3	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: 2 1/2" X 7 1/2" FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE
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METAL FINISHES	FORMED METAL WALL PANEL
<p>AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC31595X LOCATION: FACADE, MECHANICAL, SCREEN WALL L47, COPING, LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS</p> <p>AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4330 LOCATION: MULLIONS, SHADOW BOX, LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS</p> <p>AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTHSOUTH FACADE</p> <p>AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: SMOKE GRAY UC3984 LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA</p> <p>AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE</p>	<p>AMPW01: MANUFACTURER: DR-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47</p> <p>AMPW02: MANUFACTURER: DR-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS</p> <p>AMPW03: MANUFACTURER: DR-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL</p> <p>AMPW04: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES THE FOLLOWING: T80 COLOR: BLUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE</p>

METAL MESHES

M02: WIRE MESH
MANUFACTURER: GKD METAL FABRICS
STYLE NAME: OMEGA 1500 PC
COLOR/FINISH: SS
SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS
LOCATION: GARAGE

ARCHITECTURAL WALL LOUVERS

L01: ARCHITECTURAL WALL LOUVER
MANUFACTURER: C-S GROUP
STYLE NAME: C-S104
COLOR/FINISH: INDICATED ON ELEVATIONS
LOCATION: L4 PRIMARY FACADE, CEP LOUVER

PASSIVE SHADING DEVICE

ESCD01: EXTRUDED ALUMINUM PASSIVE SHADING FINS
OUTRIGGERS: 12" T.C. VERTICAL OR VERTICAL FIN FITTING: TB1
COLOR/FINISH: AMF02/TB0

ARCHITECTURAL PRECAST PANELS

PC01: ARCHITECTURAL PRECAST CONCRETE
MANUFACTURER: SHERIDAN GROUP
TYPE: LONGSPAN LARGE FORMAT PANELS
STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES
COLOR: A-CREME AND B-CHAMPAGNE
LOCATION: HOSPITAL AND CEP

ARTIFICIAL PLANT WALL PANELS

DWP01: PLANT WALL PANELS
MANUFACTURER: TBD
COLOR/FINISH: GREEN WY/TB0
LOCATION: GARAGE EAST FACADE

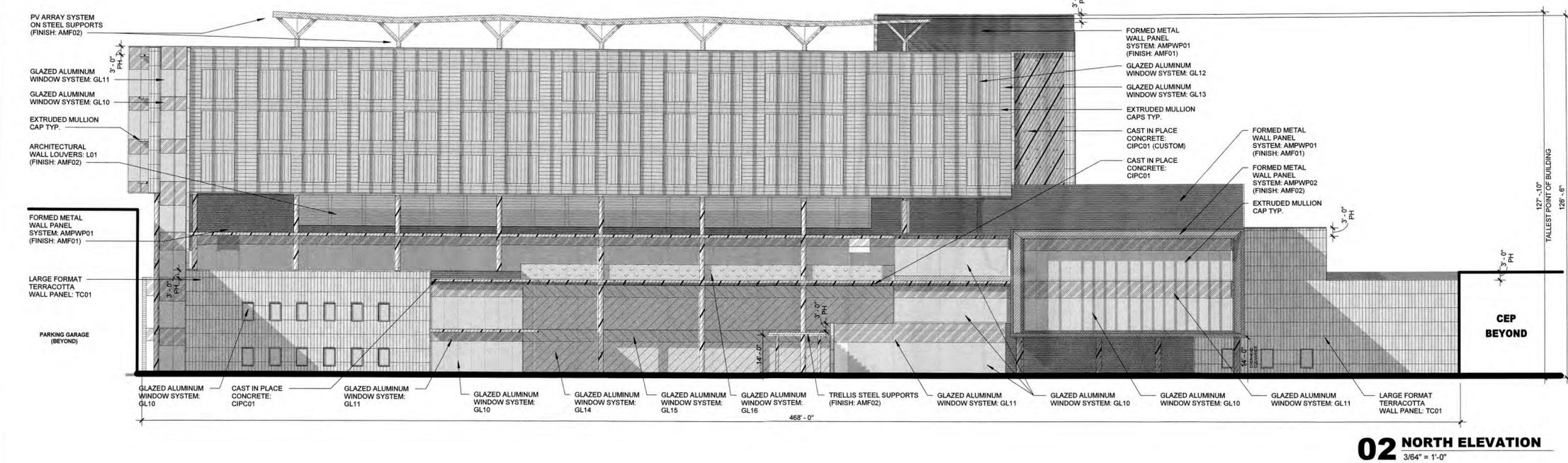
GENERAL NOTES

ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MAIN-SHADE COUNTY NOTICES OF APPROVAL AND FLORIDA PRODUCT APPROVALS

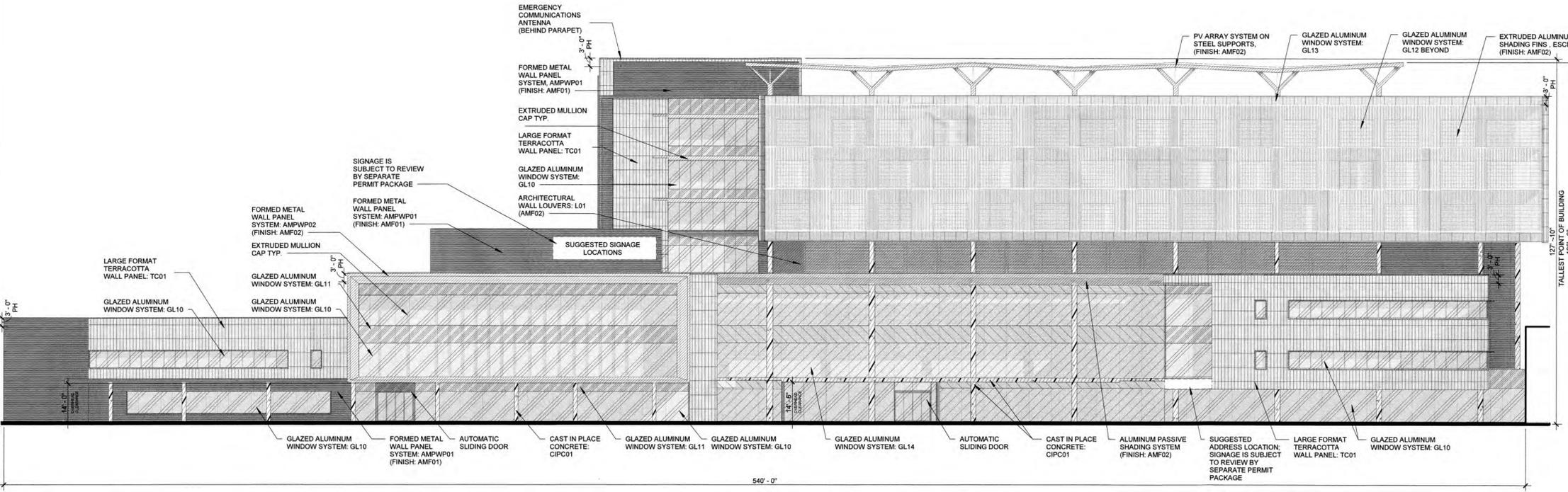
GLAZING GENERAL NOTES:
1. GRAY GASKETS
2. GRAY STRUCTURAL SILICONE JOINT
3. GRAY WEATHER-SEAL
4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL

PRECAST CONCRETE GENERAL NOTES:
1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRG & UHPC BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS.
2. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT, ASTM C150, FOR TYPE I PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN .005% WEIGHT FERROUS OXIDE (FE2O3).
TC01 ALTERNATE #1 PC01/PC02
PH - INDICATES PARAPET HEIGHT

LEAVE BLANK (FOR CITY USE ONLY)



02 NORTH ELEVATION
3/16" = 1'-0"



01 SOUTH ELEVATION
3/16" = 1'-0"

SCALE:	3/16" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



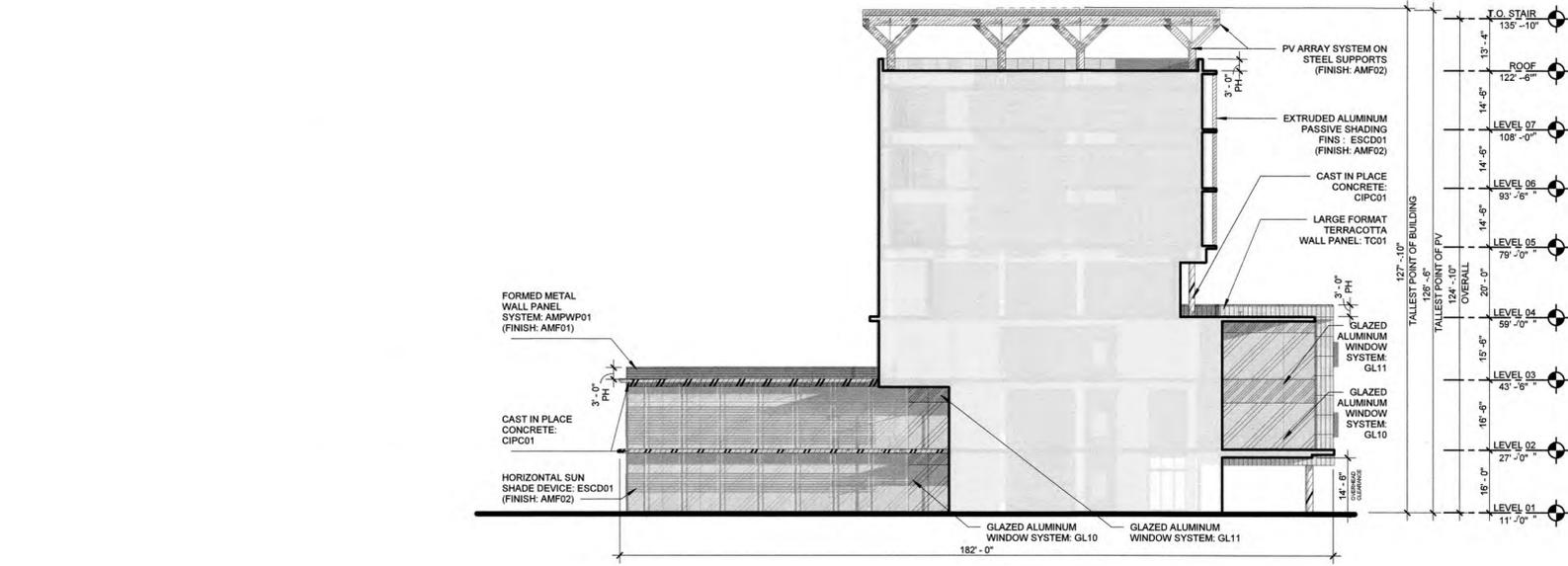
BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

OVERALL BUILDING ELEVATIONS

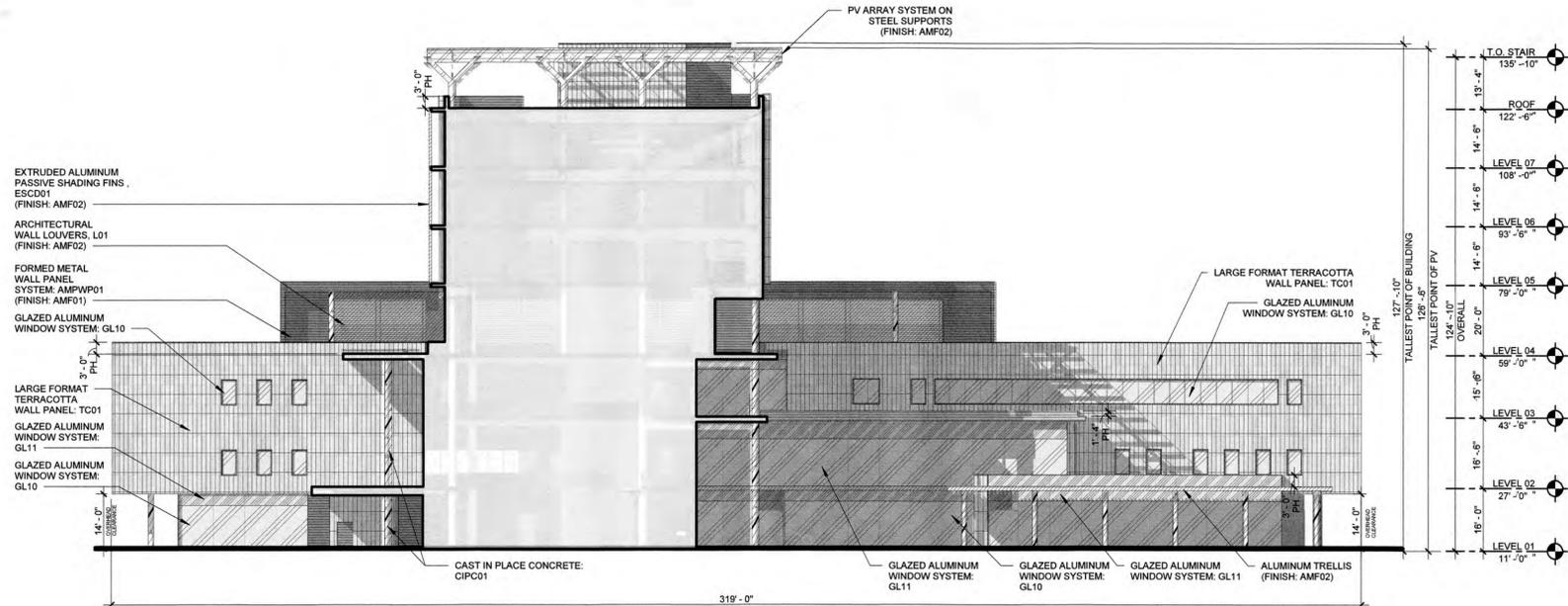
DATE: **04/08/2024**

DRAWING NO.: **CR5.02**

PROJECT NO.: **25203.000**



02 COURTYARD ELEVATION - EAST
3/64" = 1'-0"



01 COURTYARD ELEVATION - WEST
3/64" = 1'-0"

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS			
	GL10: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING		GL14: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL11: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING		GL15: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL12: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
	GL13: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		

GLAZING SYSTEMS			
TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2 1/2" X 1 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO T01	TYPE 02: CURTAINWALL - LOBBY MANUFACTURER: TBD HIGH SPAN NON-SUPPORTED SIZE: 2 1/2" X 1 1/2" FINISH COLOR: AMF02 LOCATION: TYPICAL PUNCHED OPENING, ADJACENT TO T01	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TYPICAL TERRACES, L3	TYPE 04: GLASS TERRACES MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3

METAL FINISHES		FORMED METAL WALL PANEL	
	AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC21990X LOCATION: FACADE, MECHANICAL SCREEN WALL L47, COPING, LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS		AMPWP01: MANUFACTURER: DRG-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47
	AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4350 LOCATION: MULLIONS, SHADOW BOX, LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS		AMPWP02: MANUFACTURER: DRG-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS
	AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTH/SOUTH FACADE		AMPWP03: MANUFACTURER: DRG-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL
	AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC10948 LOCATION: TRIM, EDGE, AND FRAME DETAILS ON BUILDING FACADE, SHADOW BOX FACIA		AMP02: MANUFACTURER: SUBJECT TO COMPLIANCE STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE
	AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: WORK) NATURAL WICKERS MALT LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA		
	AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAYHTE) LOCATION: PATIENT TOWER WEST FACADE		

METAL MESHES	
	W01: WIRE MESH MANUFACTURER: GRID METAL FABRICS STYLE NAME: OMEGA 1530 PC COLOR/FINISH: SS SIZE: REFERENCED DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE

ARCHITECTURAL WALL LOUVERS	
	L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-5 GROUP STYLE NAME: DCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER

TERRACOTTA WALL PANELS	
	T01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SILDIAN GROUP TYPE: LONGTON LARGE FORMAT PANELS STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: A. CRème AND B. CHAMPAGNE LOCATION: HOSPITAL AND CEP

ARCHITECTURAL PRECAST PANELS	
	PC01: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR T01
	PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE
	CIP01: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD COLOR/TEXTURE: REF. PCI REF. COLORS/FINISHES: 100 SF 3.0 MIN PER ACI 308.1 CLASS 1 TRAFFIC COATING TO BE APPLIED TO TOP SURFACE IF REQUIRED.

ARTIFICIAL PLANT WALL PANELS	
	PWP01: PLANT WALL PANELS MANUFACTURER: TBD LOCATION: GARAGE EAST FACADE
GENERAL NOTES	
ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS	
GLAZING GENERAL NOTES: 1. GRAY GASKETS 2. GRAY STRUCTURAL SILICONE JOINT 3. GRAY WEATHER-SEAL 4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL	
PRECAST CONCRETE GENERAL NOTES: 1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRG & IFRG BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS	
CAST IN PLACE CONCRETE GENERAL NOTES: 1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT ASTM C150 FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BE WEIGHT FERRIC OXIDE (FE2O3). T01 ALTERNATE #1 PC01/PC02 PH - INDICATES PARAPET HEIGHT	

LEAVE BLANK (FOR CITY USE ONLY)

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



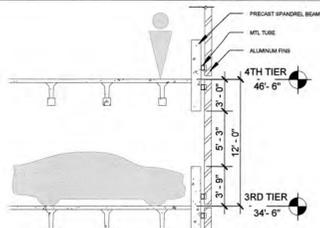
BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

COURTYARD ELEVATIONS

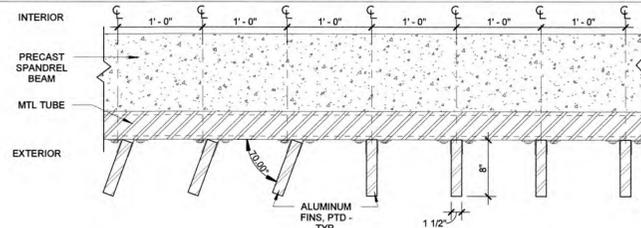
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DRAWING NO.: **CR5.03**

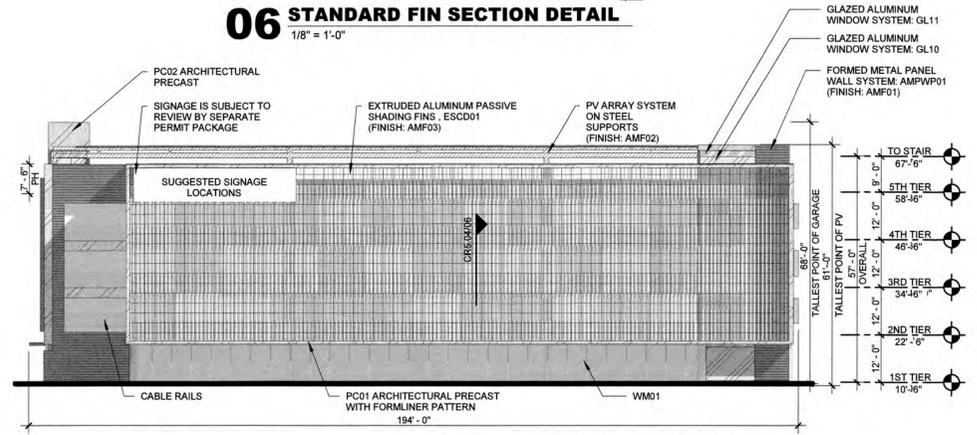
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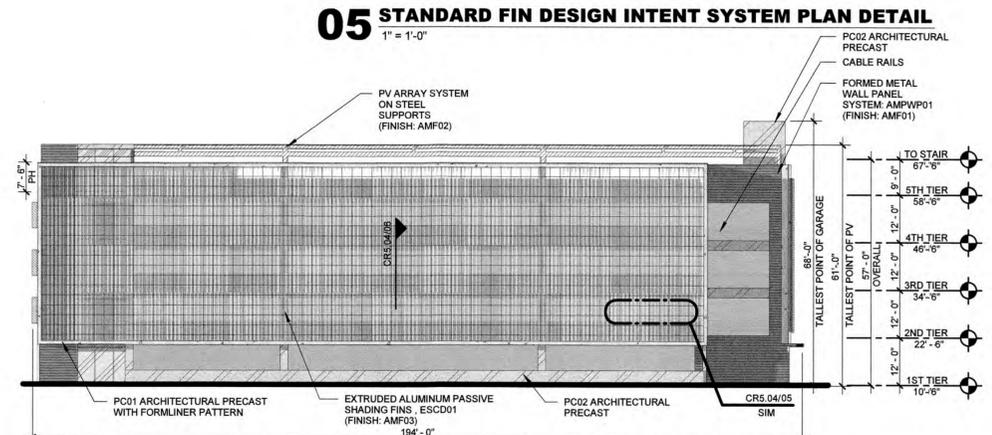
06 STANDARD FIN SECTION DETAIL
1/8" = 1'-0"



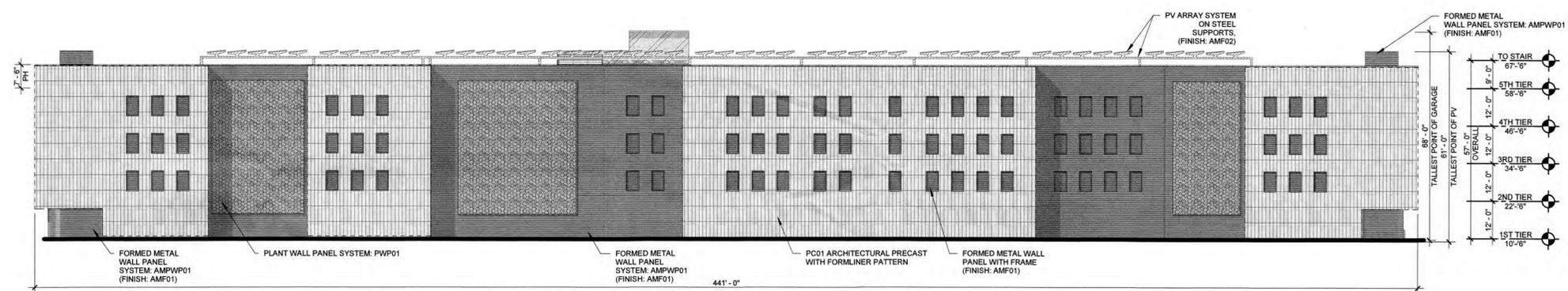
05 STANDARD FIN DESIGN INTENT SYSTEM PLAN DETAIL
1" = 1'-0"



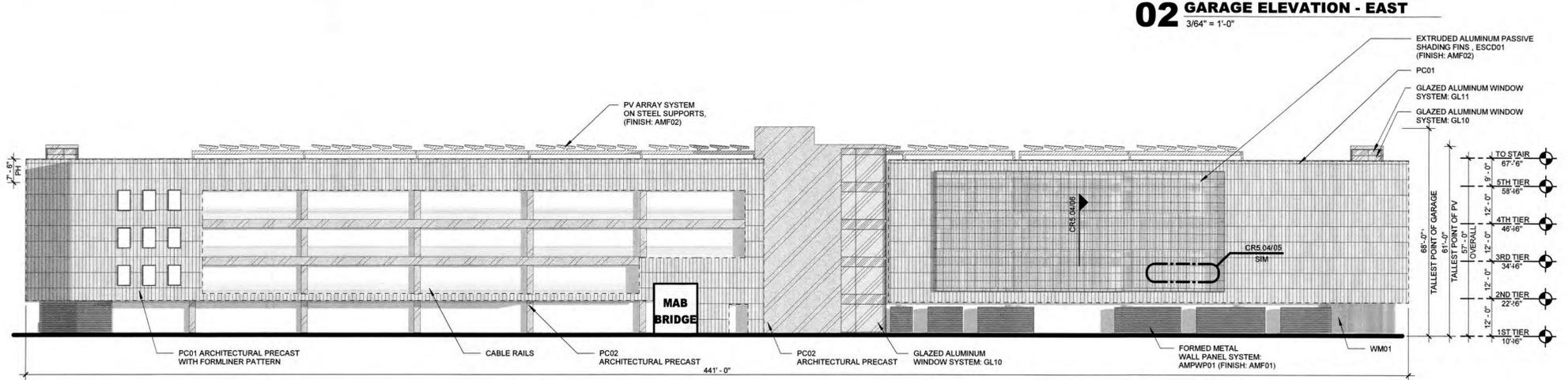
04 GARAGE ELEVATION - SOUTH
3/64" = 1'-0"



03 GARAGE ELEVATION - NORTH
3/64" = 1'-0"



02 GARAGE ELEVATION - EAST
3/64" = 1'-0"



01 GARAGE ELEVATION - WEST
3/64" = 1'-0"

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS

	GL11: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL16: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL12: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER/PUNCHED OPENING		GL15: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
	GL13: 1 5/8" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		GL14: 1" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
	GL18: 1 5/8" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SNR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER		

GLAZING SYSTEMS

TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2' X 1' 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01	TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD SIZE: 2' X 1' 1/2" FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH ELEVATION SPANNING L1 AND L2, SOUTH ELEVATION SPANNING L1, L2 AND L3.	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: VARIOUS	TYPE 04: GLASS TERRACES MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE
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METAL FINISHES

	AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC1990L LOCATION: FACADE, MECHANICAL SCREEN WALL, L47, COPING, LOUVERS, BREAK METAL, EXTERIOR SOFFITS, DOORS		AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4390 LOCATION: MILLIONS, SHADOW BOX LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINIS
	AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTH/SOUTH FACADE		AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TRIM, EDGE, AND FRAME DETAILS ON BUILDING FACADE, SHADOW BOX FACIA
	AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: VIOLET NATURAL WOODER MALT) LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA		AMF06: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE

FORMED METAL WALL PANEL

	AMPWP01: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47		AMPWP02: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS
	AMPWP03: MANUFACTURER: DRI-DESIGN STYLE NAME: PAINTED ALUMINUM (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ACCENT METAL PANEL		AMPWP04: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE

METAL MESHES

	MM01: WIRE MESH MANUFACTURER: GND METAL FABRICS STYLE NAME: OMEGA 1500 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE
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ARCHITECTURAL WALL LOUVERS

	L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-3 GROUP STYLE NAME: DCH-5704 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER
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TERRACOTTA WALL PANELS

	TC01: (SEE BELOW FOR PC01 ALTERNATE) MANUFACTURER: SILDAN GROUP TYPE: LONGSTON LARGE FORMAT PANELS STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES COLOR: A, CREAMS AND S, CHAMPAGNE LOCATION: HOSPITAL AND CEP
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ARCHITECTURAL PRECAST PANELS

	PC01: ARCHITECTURAL PRECAST CONCRETE MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR TC01
	PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: STYLE VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLINER COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE
	PC03: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: DUAL LAFARGE HOLDUM COLOR/TEXTURE: REF. PC1 REF COLORS/FINISHES: 100 SF 3.0 MIN PER ACI 201 CLASS 1 TRAFFIC COATING TO BE APPLIED TO TOP SURFACE IF REQUIRED

ARTIFICIAL PLANT WALL PANELS

	PWP01: PLANT WALL PANELS MANUFACTURER: TBD COLOR/FINISH: GREEN (11/17/20) LOCATION: GARAGE EAST FACADE
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GENERAL NOTES

ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS

GLAZING GENERAL NOTES:

- GRAY GASKETS
- GRAY STRUCTURAL SILICONE JOINT
- GRAY WEATHER-SEAL
- 1/2" MILL SPACER WITH GRAY SILICONE SEAL

PRECAST CONCRETE GENERAL NOTES:

1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE SPRIG & WIPS BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS.

CAST-IN PLACE CONCRETE GENERAL NOTES:

1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT ASTM C150, FOR TYPE 1 PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BY WEIGHT FERRIC OXIDE (FE2O3).

TC01 ALTERNATE #1 PC01/PC02
PH - INDICATES PARAPET HEIGHT

LEAVE BLANK (FOR CITY USE ONLY)

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

GARAGE ELEVATIONS

SEAL: [Signature]

DATE: **04/08/2024**

DRAWING NO. **CR5.04**

PROJECT NO. **25203.000**

PROPOSED EXTERIOR MATERIAL SELECTION SUMMARY

GLAZING DESIGNATIONS

 GL10: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SXX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING	 GL14: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
 GL11: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SXX 6227 (#2 SURFACE) LOW IRON LOCATION: TOWER PUNCHED OPENING	 GL15: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR LOCATION: PODIUM
 GL12: 1 5/16" INSULATING - LAMINATED VISION GLASS UNIT GLAZING TYPE: GUARDIAN SXR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER	 GL16: 1/2" TEMPERED AND LAMINATED VISION GLASS UNIT GLAZING TYPE: LOW IRON GUARDIAN ULTRACLEAR OR SIMILAR LOCATION: TERRACES
 GL13: 1 5/16" INSULATING - LAMINATED SHADOW BOX GLASS UNIT GLAZING TYPE: GUARDIAN SXR 43 (#2 SURFACE) VERTICAL WHITE FRIT - SENTRYGLASS EXPRESSIONS (#3 SURFACE) LOW IRON LOCATION: TOWER	

GLAZING SYSTEMS

TYPE 01: PUNCHED OPENINGS MANUFACTURER: TBD SIZE: 2 1/2" X 7 1/2" FINISH COLOR: AMF02 LOCATION: SINGLE PUNCHED OPENING, ADJACENT TO TC01	TYPE 02: CURTAINWALL - LOBBY HIGH SPAN NON-SUPPORTED MANUFACTURER: TBD FINISH COLOR: AMF02 LOCATION: LOBBY, NORTH ELEVATION SPANNING L1 AND L2 SOUTH ELEVATION SPANNING L1, L2 AND L3	TYPE 03: CURTAINWALL - TYP. MANUFACTURER: TBD SIZE: 2 1/2" X 7 1/2" FINISH COLOR: AMF02 LOCATION: TYPICAL. DIFFERENT SYSTEM TYPES NOTED ON THE ELEVATIONS.	TYPE 04: GLASS TERRACES MANUFACTURER: TBD SIZE: TBD FINISH COLOR: AMF02 LOCATION: TERRACES, L3 TERRACE
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METAL FINISHES

AMF01: MANUFACTURER: PPG DURANAR XL TYPE: ORGANIC COATING - KYNAR 3 COAT COATING COLOR: MEDIUM GRAY UC1995XL LOCATION: FACADE, MECHANICAL SCREEN WALL, L47 COPING, LOUVERS, BREAK METAL EXTERIOR SOFFITS, DOORS	AMF02: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: BONE WHITE UC4330 LOCATION: MULLIONS, SHADOW BOX LOUVERS, L3 TERRACE, PV STRUCTURE, SHADING FINS
AMF03: MANUFACTURER: ALCOA TYPE: BRUSHED NATURAL ALUMINUM COATING COLOR: CLEAR LOCATION: GARAGE NORTHSOUTH FACADE	AMF04: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: DOVE GRAY UC10948 LOCATION: TRIM, EDGE, AND FRAME DETAILS ON BUILDING FACADE, SHADOW BOX FASCIA
AMF05: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO MATCH ADJACENT PRECAST (SAMPLE: IVORY (NATURAL WICKER MALT)) LOCATION: TRIM, EDGE, COPINGS AT TERRACOTTA	AMF07: MANUFACTURER: PPG DURANAR TYPE: ORGANIC COATING - KYNAR 2 COAT COATING COLOR: TO CUSTOM COLOR (SAMPLE: GRAPHITE) LOCATION: PATIENT TOWER WEST FACADE

FORMED METAL WALL PANEL

AMF01: MANUFACTURER: DR-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: L1 FACADE, MECHANICAL SCREEN WALL AT L47	AMF02: MANUFACTURER: DR-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS ORIENTATION: HORIZONTAL LOCATION: VARIOUS
AMF03: MANUFACTURER: DR-DESIGN STYLE NAME: PAINTED ALUMINUM COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: ADJACENT METAL PANEL	AMF04: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS STYLE NAME: FORMED METAL PANEL (L-SHAPE) COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: GARAGE

METAL MESHES

MM01: WIRE MESH MANUFACTURER: GKO METAL FABRICS STYLE NAME: OMEGA 1530 PC COLOR/FINISH: SS SIZE: REFERENCE DRAWINGS FOR DIMENSIONS AND PROJECTIONS LOCATION: GARAGE

ARCHITECTURAL WALL LOUVERS

L01: ARCHITECTURAL WALL LOUVER MANUFACTURER: C-S GROUP STYLE NAME: DCH-S104 COLOR/FINISH: INDICATED ON ELEVATIONS LOCATION: L4 PRIMARY FACADE, CEP LOUVER
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PASSIVE SHADING DEVICE

ESCD01: EXTRUDED ALUMINUM PASSIVE SHADING FINS OUTRIGGER: 12" T.C. VERTICAL OR VERTICAL FIN FITTING: TBD COLOR/FINISH: AMF02/TBD

ARCHITECTURAL PRECAST PANELS

ARCHITECTURAL PRECAST CONCRETE	PC01: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE: VARIETY: FLAT, WIDE GROOVES AND DEEP GROOVES ON FORMLUMER COLOR: BUFF WHITE LOCATION: GARAGE AND ALTERNATE#1 FOR TC01
	PC02: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD STYLE NAME: TEXTURED COLOR: BUFF GRAY / TEXTURE: SANDBLAST LIGHT LOCATION: GARAGE
	PC03: MANUFACTURER: SUBJECT TO COMPLIANCE WITH REQUIREMENTS. PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDES, THE FOLLOWING: TBD COLOR/FINISH: GREEN IVY/TBD LOCATION: GARAGE EAST FACADE

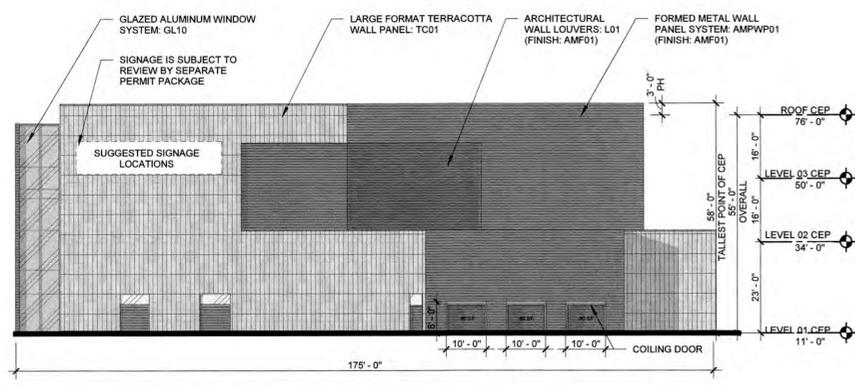
GENERAL NOTES

ALL EXTERIOR MATERIAL SYSTEMS WILL MEET MIAMI-DADE COUNTY NOTICE OF APPROVALS AND FLORIDA PRODUCT APPROVALS

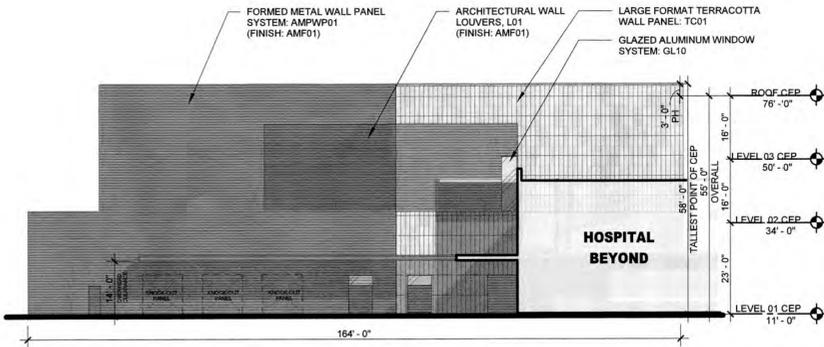
GLAZING GENERAL NOTES:
1. GRAY GASKETS
2. GRAY STRUCTURAL SILICONE JOINT
3. GRAY WEATHER-SEAL
4. 1/2" MILL SPACER WITH GRAY SILICONE SEAL

PRECAST CONCRETE GENERAL NOTES:
1. PRECAST CONCRETE ENCOMPASSES MATERIALS THAT COULD ALSO INCLUDE GFRC & UHPC BASED ON PRICING AND PERFORMANCE DATA, & ANALYSIS THROUGH DESIGN PROCESS.

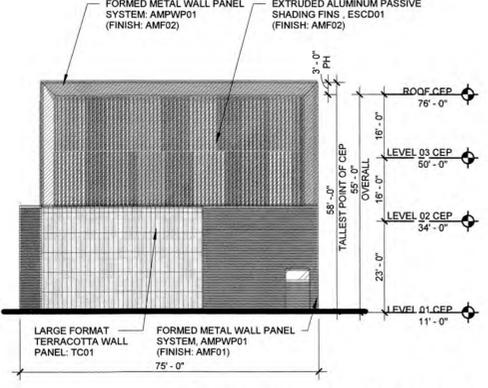
CAST-IN PLACE CONCRETE GENERAL NOTES:
1. CEMENT SHALL BE WHITE PORTLAND CEMENT CONFORMING TO THE REQUIREMENT OF THE STANDARD SPECIFICATION FOR PORTLAND CEMENT, ASTM C150, FOR TYPE I PORTLAND CEMENT THAT SHALL CONTAIN NO MORE THAN 50% BY WEIGHT FERROUS OXIDE (FE2O3).
TC01 ALTERNATE #1 PC01/PC02
PH - INDICATES PARAPET HEIGHT



03 CEP ELEVATION - NORTH
3/64" = 1'-0"



02 CEP ELEVATION - SOUTH
3/64" = 1'-0"



01 CEP ELEVATION - WEST
3/64" = 1'-0"

SCALE:	3/64" = 1'-0"		
DESIGNED BY:	HKS		
DRAWN BY:	HKS		
CHECKED BY:	HKS		
NO.	REVISION	DATE	BY



BAPTIST HEALTH SUNRISE HOSPITAL
12401 WEST OAKLAND PARK BOULEVARD
SUNRISE, FLORIDA

CEP ELEVATIONS

SEAL: [Signature]

DATE: **04/08/2024**

DRAWING NO. **CR5.05**

PROJECT NO. **25203.000**

JUL 19 2024

RECEIVED

BAPTIST HEALTH SUNRISE HOSPITAL
PHOTOGRAPHS OF EACH COMPASS DIRECTION





NORTH



SOUTH



EAST



WEST