

#### STAFF REPORT

SUNSET STRIP SQUARE (SITE PLAN)

#### Summary

This is an application for Site Plan approval for an approximate three (3) acre property, located at 1577 Sunset Strip, as shown on the location map. The applicant is proposing to construct a single-family residential development on the subject site. The property is currently zoned RM-10 (Low Medium Multifamily Residential District) and designated Low (5) Residential land use on the City's Future Land Use Map. The Site Plan requires City Commission approval per Section 16-31 of the Land Development Code (LDC).

#### **General Information**

Prior to 2017, a place of public assembly existed on the now vacant site. The site is currently surrounded by detached, single-family dwelling units zoned RS-5 (Low-Density Single-Family Residential District).

The applicant has submitted and received prior approvals for a Rezoning from CF (Community Facilities District) to RM-10 (Low Medium Multifamily Residential District), a new Plat, and a Development Agreement for this site.

#### **Project Description**

The Site Plan application consists of twenty-nine (29), two-story, single-family dwelling units within an approximate three (3) acre parcel. The development will include a mix of three and four-bedroom units, with either two-and-a-half or three-and-a-half bathrooms, rear loaded one or two-car garages and covered front porches. The dwellings will range from 1,471 square feet to 1,871 square feet. In addition, there will be several color scheme options for each unit consisting of white and pastel colors as well as three (3) different elevation options.

The property will be surrounded by dense landscaping as well as a six-foot (6) perimeter fence. A new brick-paved entry road from Sunset Strip into the development will terminate at the property's central community green. This community green area will include a pool area, cabana and tot lot connecting to the development's homes via an internal pedestrian path system.

In addition, the existing median opening will be relocated to align with the proposed project's access point to facilitate the full-access opening on to Sunset Strip – allowing

a left-turn into the development (from northbound traffic), as well as a left-turn out of the development.

A public art element will be provided within the southeast corner of the property, along Sunset Strip, and will be maintained by the developer. The City of Sunrise will assist the developer with the art selection which cannot be less than \$15,000 installed, but not to exceed \$20,000. The developer is also constructing a new eleven-foot (11) wide multiuse path adjacent to Sunset Strip along the proposed development. The existing bike lane along southbound Sunset Strip will transition into the multi-use path adjacent to this development.

Staff notes the applicant has previously committed to restrict the homes in the proposed project to provide for affordable housing as detailed below:

- Restrict 25% of the total homes, specifically seven (7) homes, for households earning between eighty percent 80% and 100% of the median income per a 30year deed restriction;
- Restrict 25% of the total homes, specifically seven (7) homes, for households earning between 100% and 140% of the median income per a 30-year deed restriction;
- Restrict 40% of the total homes, specifically twelve (12) homes, for households earning between 100% and 140% of the median income per a 15-year deed restriction; and
- The remaining three (3) homes will not be restricted, but homes will be affordable for households earning between 100% and 140% of the median income.

Based upon the commitment to provide affordable housing within this development, the applicant has requested the following design waivers per the City of Sunrise Land Development Code (LDC) Subsection 16-71(l)(2):

Section	Provision	Required	Provided	Justification
16-71 (g)	Height	25' max	28'	This is needed to comply with the code requirement for a roof pitch of (5:12) and to provide 9' high ceilings and to lift the home above grade to accommodate the front porch. The height is consistent with the Site Plan and definition of height in LDR section 16-277: Height of building: The vertical distance from the established grade at the center of the front of the building to the highest point of the roof surface for a flat roof, to the deck line for a mansard roof and the roof peak, or ridge for gable, hip and gambrel roofs. Height shall exclude chimneys, cupolas, architectural

Section	Provision	Required	Provided	Justification
				treatments, elevator shafts, stair towers, any other structures not intended for occupancy, and the like. The established grade, unless otherwise indicated in this instance, shall mean the level of the crown of the street serving the building.
16-71 (j)(2)	Front Yard	25' min	2.0'	Rear loaded garages + increased common green space. Porches not greater than 7' in depth allowed to encroach into yard area. Note: The 2.0' is measured from the porch to the property line.
16-71 (j)(3)	Side Yard	10' each side	0' on one side and 10' on the other side.	The requirement is inconsistent with ZLL homes which will have a 0' setback on one side and 10' on the other side.
16-71 (j)(5)	Rear Yard	20' min	4'	Homes are all alley loaded, so the rear of the home is adjacent to the drive and all homes have side yard patios. A larger rear yard therefore has little benefit. Increasing the rear yards would result in either a reduction of the perimeter buffer or the central green, or both.
16-71 (j)(7)	Distance between building and circulation aisle	20' min	4'	Homes are all alley loaded., therefore driveways to a front-loaded garage are not provided. On street parking is provided for guest parking needs. This along with HOA restrictions forces the use of garages to park vehicles rather than as storage.
16-71 (j)(7)	Corner lot side street setback	20' min side street setback	10'	The only "side street" is an internal, private access drive so there is technically no waiver required, however this is included to prevent any contrary interpretation.
16-71 (d) (1)	Lot Size	50' x 100' min	32' x 65'	All homes within the community have rear loaded garages and either front on the central green or face the public right-of way. The community design reduces the amount of land in private ownership in exchange for increased common green space.
16-71 (k)(2)	Perimeter Wall	8' Masonry Wall	A 42" high fence is provided along Sunset Strip	The provided fence + landscape is equally effective. A wall results in a greater long term maintenance burden. Project is designed in accordance with best practice new urbanist design principles and the East Sunrise Plan with garages in the rear and front porches. A wide berm is inconsistent with best

Section	Provision	Required	Provided	Justification
				practice infill design principles. Sunset Strip has a wide (100') ROW with a median and only one lane of traffic in each direction. Homes with landscaped front yards face Sunset Strip. A 42" high fence is provided along Sunset Strip which serves to define the private and public realms.
16-169 (a)(1)d.	Bermed Landscape Strip & Perimeter Wall	25' wide landscaped berm and 8' masonry wall, lower, mid and upper level landscaping, 1 tree per 25'	0' wide landscaped area and 42" high fence, lower, mid and upper level landscaping and 1 tree per 25. Move trees along Sunset Strip to adjacent ROW.	Project is designed in accordance with best practice new urbanist design principles and the East Sunrise Plan with garages in the rear and front porches. A wide berm is inconsistent with best practice infill design principles. Sunset Strip has a wide (100') ROW to be increased to 103' via a 3' ROW dedication being required as part of the platting process, with a median and only one lane of traffic in each direction. Homes with landscaped front yards face Sunset Strip. A 42" high fence is provided along Sunset Strip which serves to define the private and public realms.
16-169 (b)(1)	Perimeter Landscaping & Perimeter Wall	20' wide landscape buffer with 6' masonry wall	5.5' minimum landscaped area along the north boundary, 6.2' landscaped area along the west boundary, 6.3' wide landscaped area along the south boundary and a 6' vinyl coated chain link fence along all boundaries, which will be obscured by the Clusia hedge and other landscaping.	Project is designed in accordance with new urbanist design principles and the East Sunrise Plan, with garages in the rear and front porches. All but 2 homes are over 35' away from the property line and separated by an alley and 5' of landscaping. The other 2 homes, located at the NE and SE corners of the site, have a side yard relationship and are over 10' from the common property lines. Slats are being provided in the fence in the NW and SW corners of the site to block oncoming headlights.

Section	Provision	Required	Provided	Justification
16-71 (j)(1)	Trafficway setback	50'	2.5'	Rear loaded garages + increased common green space. Note: The 2.5' is measured from the porch to the property line.
16-142 (b)(1)(a)	Parallel Parking Space dimensions if counted toward required parking	10' x 20'	8.5' x 22'	Provides for easier maneuvering in and out of spaces and more green space around site perimeter and central green. A GMC Yukon measures 6.75' wide x 17.5' deep.
16-142 (b)(1)(d)	Parallel parking spaces count toward parking requirements	Parallel parking spaces cannot count toward minimum requirement	Parallel parking spaces may count toward minimum requirement	58 spaces are required by code and 58 are provided on the site on lots. The development agreement requires approximately 80 total spaces to be provided. In addition to the 58 spaces provided on lots, another 18 onsite parallel spaces and 6 parallel parking spaces in the adjacent ROW are provided, for a total of 82 spaces.
16-169 (d)(1)	Pedestrian Zone Width	Greater of 10' or 50% of height	2.5'	The 2.5' along Sunset Strip is measured from the front porch. It is actually 5.5', as a 3' ROW dedication was required by the County. That extra space will be landscaped; it is all green. It should be noted that there is another 19' between the property line and the curb.
16-142 (b)(2)	Drive Aisle Width	24'	20'	Allows adequate circulation, slows traffic and allows more green areas.
16-71 (j) (6)	Building Separation	10'	9'	Allows more flexibility in siting of individual homes to make side yards more useable where they contain patios. The 9' occurs in only one location where two zero sides are adjacent to one another.

#### **Staff Evaluation**

Staff has reviewed the Site Plan and find it consistent with the Land Development Code and the Development Agreement subject to conditions.

#### Staff Recommendation to the Planning and Zoning Board, November 2, 2023

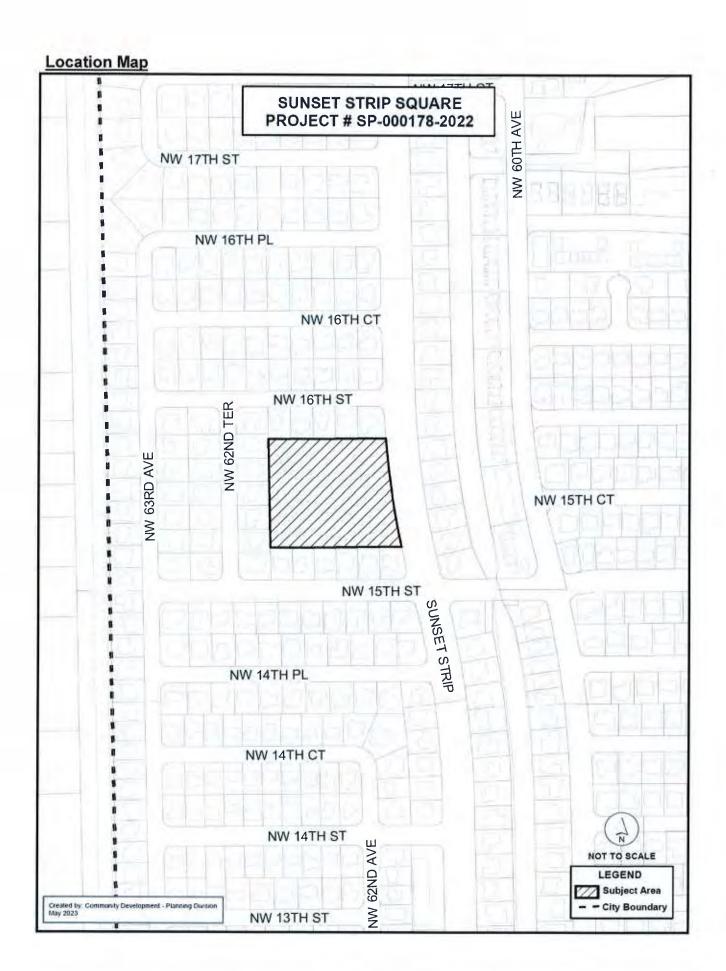
This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval subject to the following conditions:

1. Prior to final Site Plan approval, the applicant shall receive Plat approval from the Broward County Commission.

- 2. The developer and/or Home Owners Association is required to maintain the landscaping and irrigation along the eastern property line provided within the Sunset Strip Square right-of-way.
- 3. Developer shall be required to comply with all conditions set forth in the Development Agreement approved via City of Sunrise Resolution No. 23-132 and provide evidence of compliance including but not limited to the following:
  - a. A landscaped public space with an art sculpture in the general vicinity of the location depicted on Exhibit B. The City shall assist the Developer with the selection of a public art sculpture constructed of low-maintenance materials. The selected public art shall be in the amount not less than \$15,000 installed but not to exceed \$20,000. The Developer shall be responsible for the installation of the art pad, lighting, and associated improvements related to the public art display. The maintenance of the art sculpture and associated improvements related to the public art display are the responsibility of the Developer.
  - b. The perimeter hedge shall be maintained at 6-foot in height to obscure the perimeter fence along the north, south, and west property lines.
  - c. An Affordable Housing Declaration of Restrictive Covenants consistent with that approved in the Development Agreement shall be recorded in the Public Records of Broward County, Florida prior to the issuance of any building permits for the Project. Prior to the closing of each affordable housing unit, the Developer shall record a Notice of Designation of Affordable Housing Unit consistent with that approved in the Development Agreement to identify which of the above covenants applies to that home. For the three (3) homes that are not affordable housing units, the Developer shall record a release from the Declaration of Restrictive Covenants prior to the closing of such home.
  - d. Prior to the conveyance of any homes, Developer shall establish a Homeowners' Association ("HOA") which shall require the HOA to be maintained in perpetuity, unless the City agrees to terminate. The HOA documents shall at minimum provide for the maintenance of common areas.
- 4. Prior to final Site Plan approval through the Community Development Department, the applicant shall correct the appropriate sheets in the Site Plan set and address the outstanding comments of the Development Review Committee.

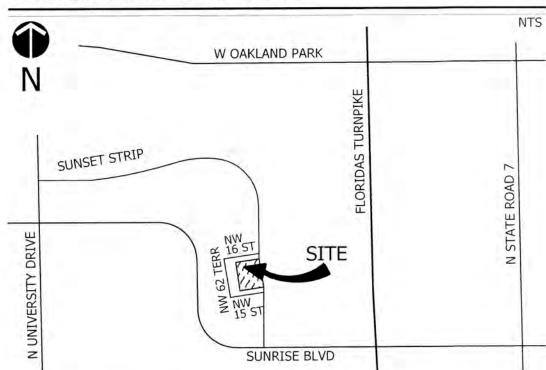
Planner: Matthue Goldstein

File Number: SP-000178-2022



# SUNSET STRIP SQUARE

# LOCATION MAP



SECTION: 35, TOWNSHIP: 49 SOUTH, RANGE: 41 EAST FLOOD ZONE: X BFE: 7'-0" **ELEVATION DATUM: NAVD 88** 

THIS SITE PLAN SET IS APPROVED PURSUANT TO SECTION 16-31 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH FLORIDA BUILDING CODE. ANY CHANGE TO DETAILS SHOWN, TO SATISFY THE REQUIREMENTS OF FLORIDA BUILDING CODE, SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE CITY OF SUNRISE LAND DEVELOPMENT CODE.

# PROJECT TEAM

#### APPLICANT:

200 CONGRESS PARK DRIVE, SUITE 201 CONTACT: TIM HERNANDEZ

#### LANDSCAPE ARCHITECT/PLANNER:

COTLEUR & HEARING, INC. 1934 COMMERCE LANE, SUITE 1 JUPITER, FL 33458 561.747.6336 CONTACT: DON HEARING

#### ENGINEER:

CRAVEN THOMPSON & ASSOCIATES INC 3563 NW 53RD STREET FORT LAUDERDALE, FL 33309 954.739.6400 CONTACT: GARY TENN

## ARCHITECT:

300 AVE. OF CHAMPIONS, SUITE 260 PALM BEACH GARDENS, FL 33418 561.296.2494 CONTACT: SCOTT DISHER

#### SURVEYOR:

ENGENUITY GOUP, INC 1280 NORTH CONGRESS AVENUE, SUITE 101 WEST PALM BEACH, FL 33409 561.655.1151 CONTACT: JUSTICE SADZAUCHI

# LOCATION MAP WITH AERIAL



# AERIAL MAP



# LEGAL DESCRIPTION

A PORTION OF TRACTS 25 AND 26 IN THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 35, TOWNSHIP 49 SOUTH, RANGE 41 EAST OF FLORIDA FRUITLANDS COMPANY SUBDIVISION NO. 1, AS RECORDED IN PLAT BOOK 2, PAGE 17 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LYING AND BEING IN BROWARD COUNTY, FLORIDA, AND BEING MORE

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT 25; THENCE RUN NORTH 89°54'33" EAST, ALONG THE SOUTH LINE OF SAID TRACT 25 FOR 500.05 FEET; THENCE RUN NORTH OF THE CENTER POINT OF SAID CURVE; THENCE RUN SOUTH 89°54'33" WEST, PARALLEL TO THE SOUTH LINE OF SAID TRACT 25 FOR 408.87 FEET TO THE POINT OF BEGINNING.

CONTAINING 2.999 ACRES MORE OR LESS.

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City of Sunriso Community Development Department

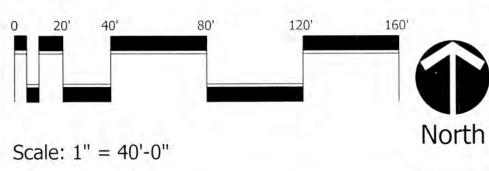
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Cotleur& 1934 Commerce Lane · Suite 1 · Jupiter · Florida · 33458

Landscape Architects | Land Planners | Environmental Consultant

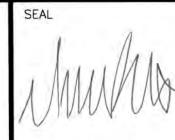
www.cotleurhearing.com

DEH 21-1005 02-23-22 02-24-23 JOB NUMBER 09-28-23



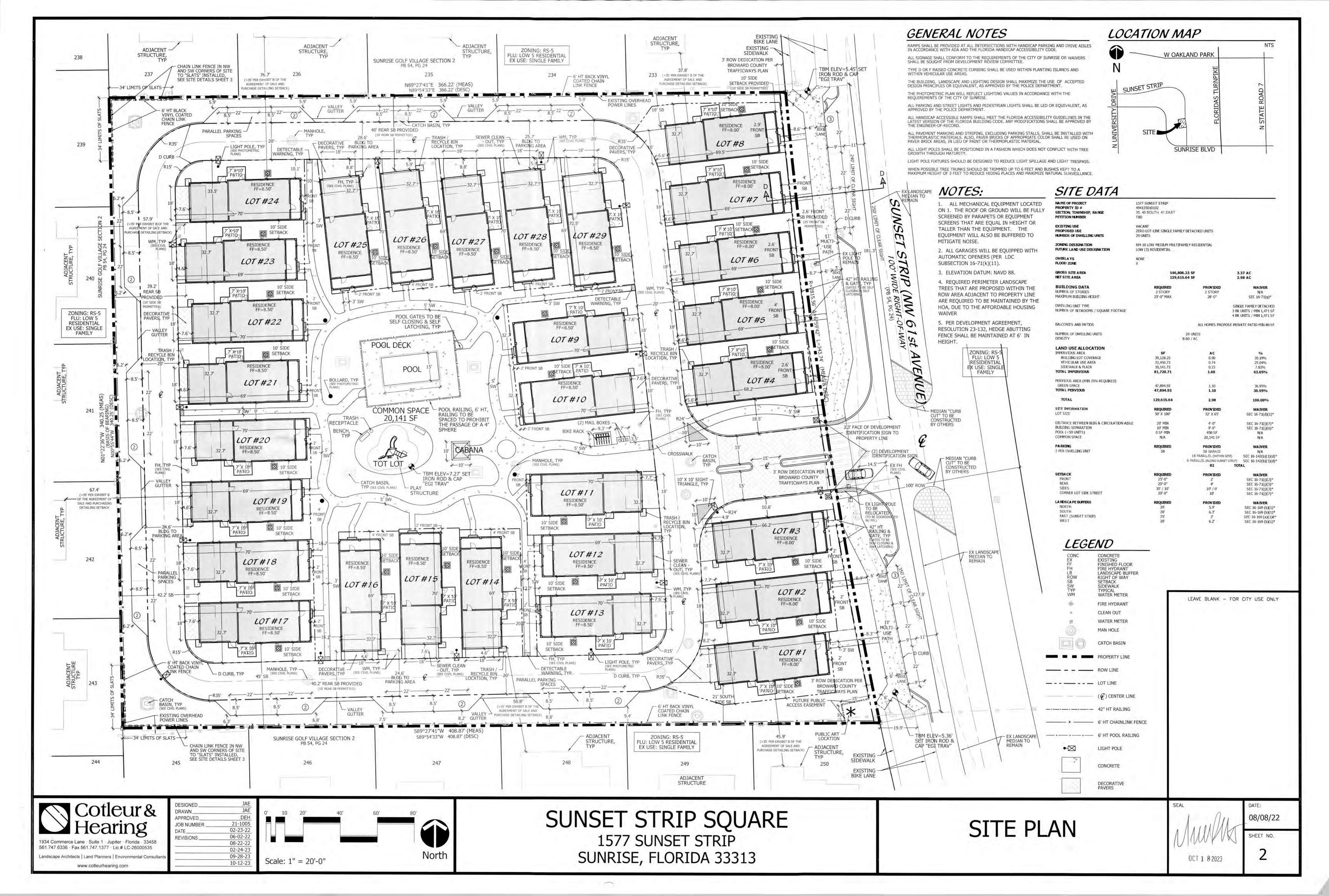
SUNSET STRIP SQUARE 1577 SUNSET STRIP SUNRISE, FLORIDA 33313

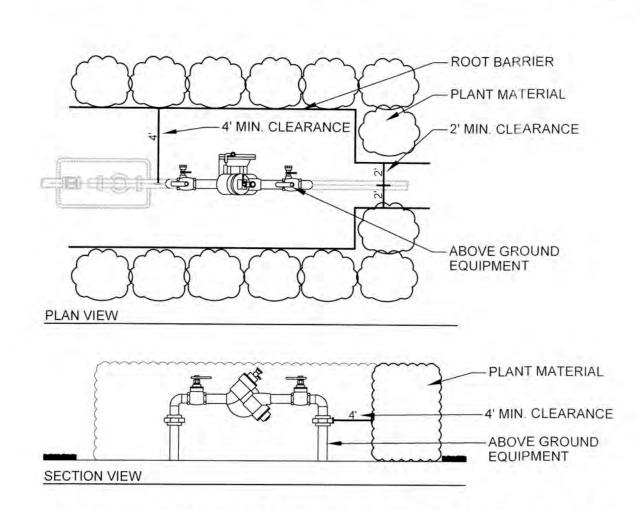
COVER PAGE



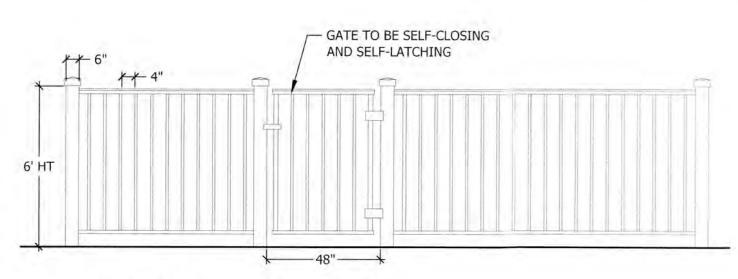
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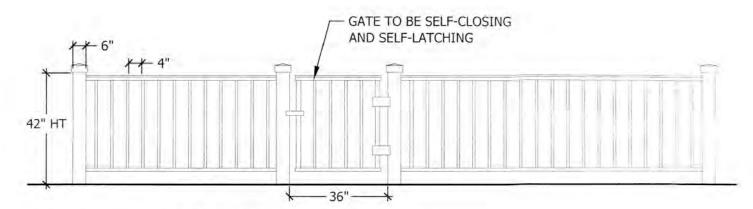




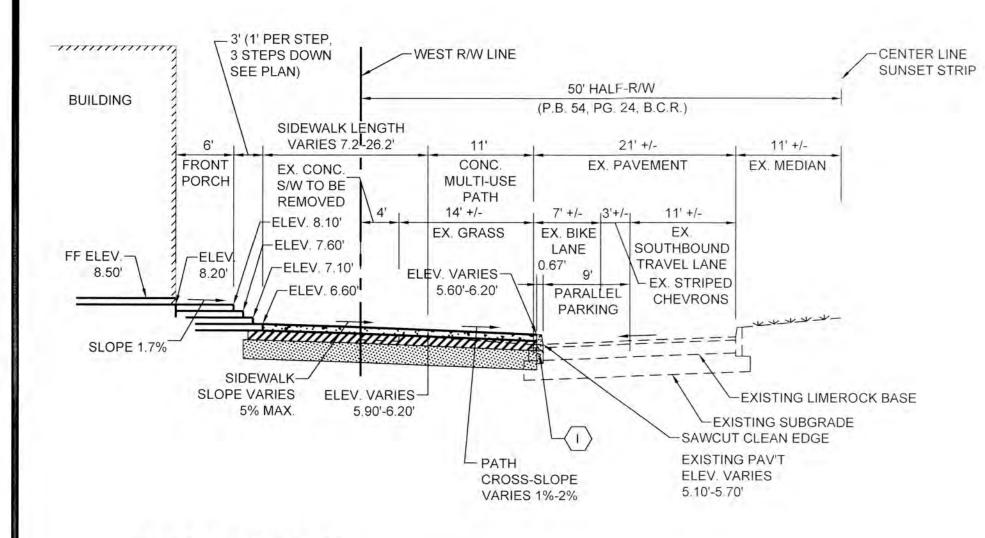
# ABOVE GROUND BACKFLOW PLANTING DETAILS\*



## POOL RAILING DETAIL\* 6' HT POWDER COATED BLACK ALUMINUM



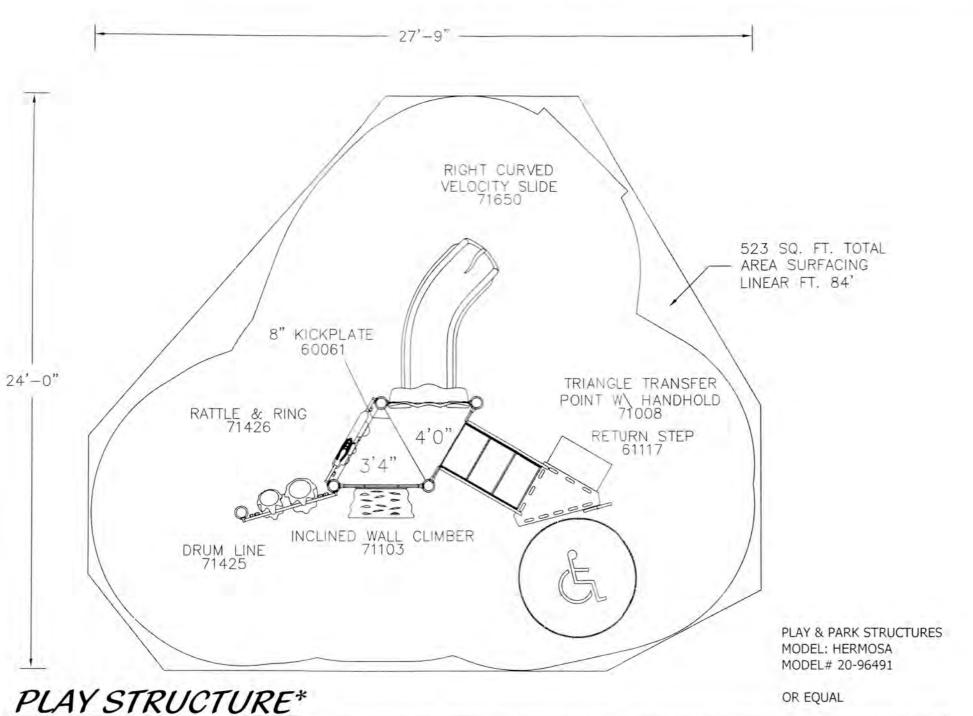
42" HT RAILING DETAIL\* 42" HT POWDER COATED BLACK ALUMINUM

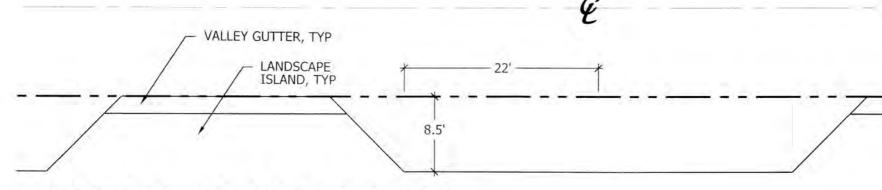




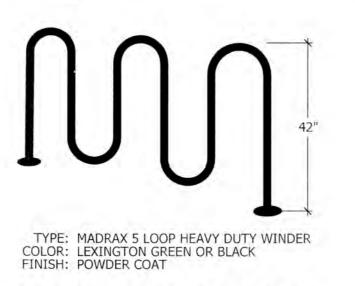


6' HT CHAIN LINK FENCE DETAIL\*

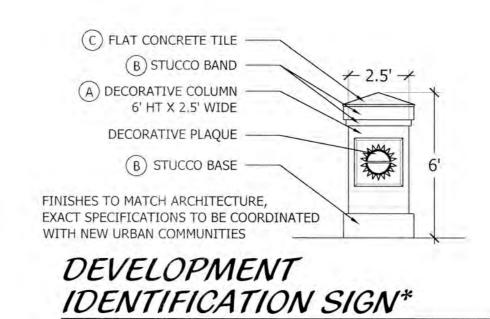


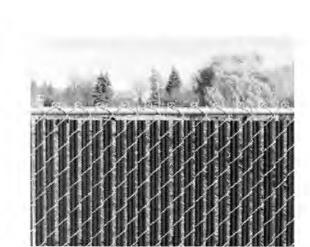


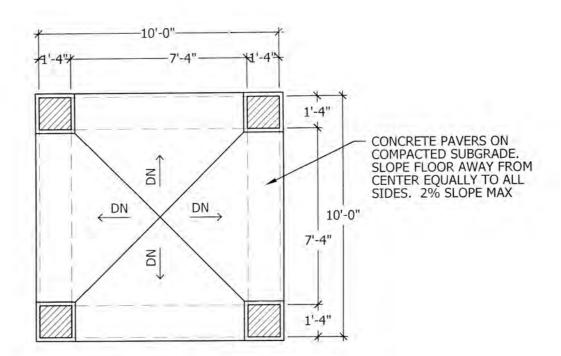
PARALLEL PARKING DETAIL\*



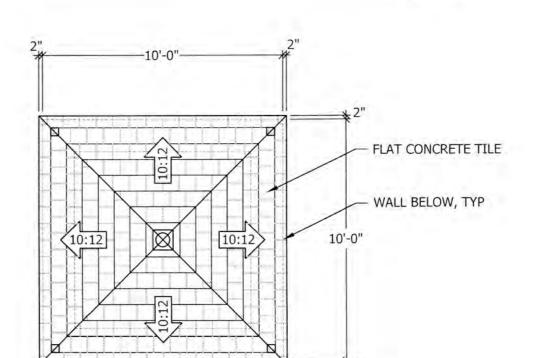
BIKE RACK DETAIL\*



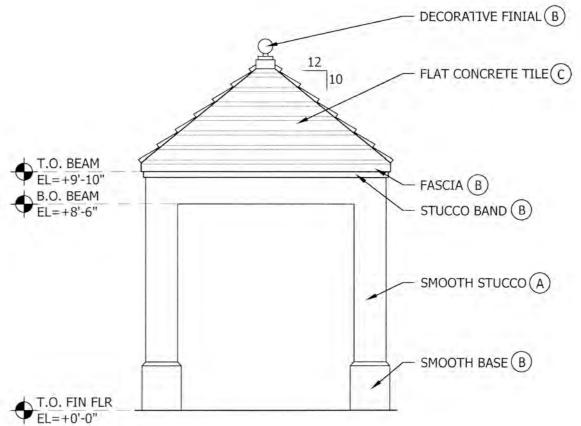




# CABANA FLOOR PLAN\*



CABANA ROOF PLAN\*



CABANA ELEVATION\*

1/4" = 1-0"

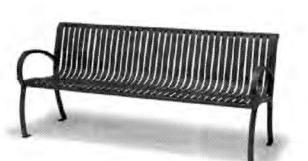
# PAINT SCHEDULE\* (DEVELOPMENT IDENTIFICATION SIGN AND CABANA)

AREA LEGEND	AREA	MANUFACTURER & #	PAINT COLOR
A	BODY	SW 7008	ALABASTER
B	TRIM	SW 7757	HIGH REFLECTIVE WHITE
(c)	ROOF TILES	MONIER	MIST GRAY

MODEL #: WBB1353173 MPN #: 3316SAN-U

Cluster Box Unit, 16 A Size Doors, Type III, Sandstone, USPS Access

 $MAILBOX(2)^*$ 



WABASH VALLEY BENCH COLOR: POWDER COATED HAZELNUT W/ GRANITE LEGS SLAT PATTERN, 6' LENGTH

**BENCH\*** 



WABASH VALLEY TRASH RECEPTACLE PRODUCT LINE: URBANSCAPE COLLECTION: WOODRIDGE COLOR: POWDER COATED HAZELNUT W/ GRANITE LID

OR EQUAL

TRASH RECEPTACLE\*

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\*THIS IS NOT A CITY OF SUNRISE DETAIL

Cotleur& 561.747.6336 · Fax 561.747.1377 · Lic.# LC-26000535

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SECTION D-D\*

DRAWN\_ APPROVED\_ 21-1005 02-23-22 02-24-23 JOB NUMBER REVISIONS\_ 09-13-23 10-12-23

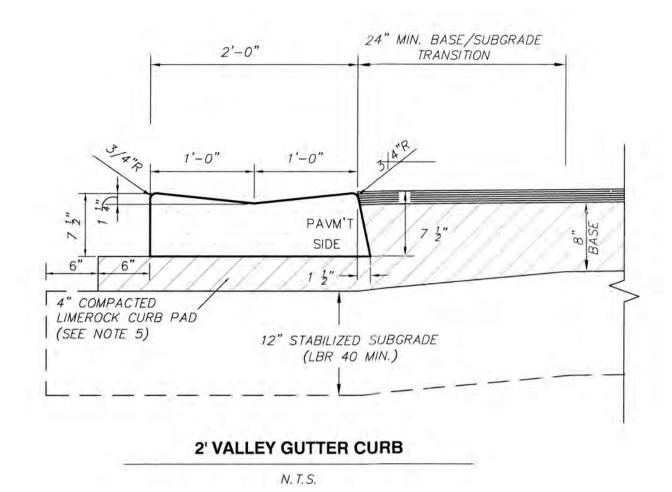
SUNSET STRIP SQUARE 1577 SUNSET STRIP SUNRISE, FLORIDA 33313

SITE DETAILS



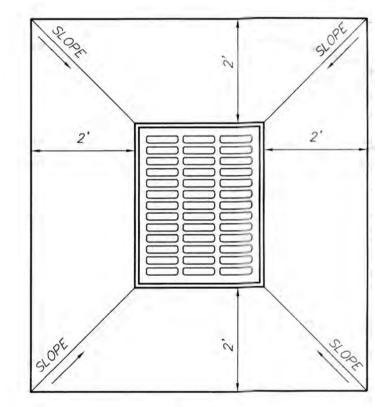
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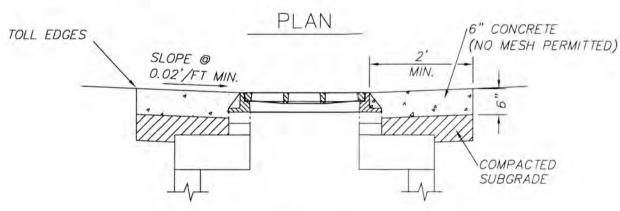
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- 1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
- 2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
- 3. FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
- 4. SEE PAVEMENT MINIMUM PAVEMENT DESIGN SECTION FOR COMPACTION REQUIREMENTS.
- 5. COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.



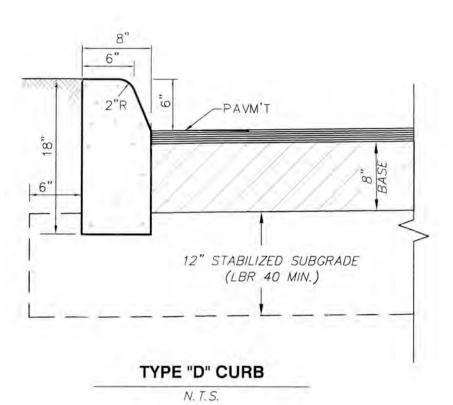




SECTION

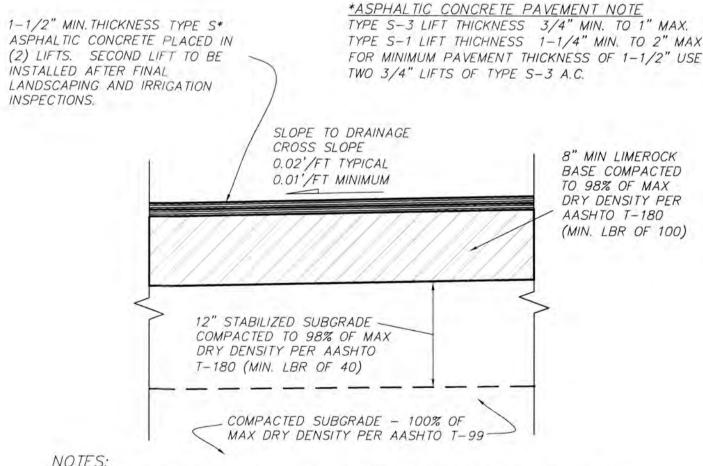
- 1. CONSTRUCT 2' WIDE (MIN.) APRON AROUND INLET (4 SIDES).
- 2. APRON AROUND CATCH BASIN SHALL BE 6" THICK CONCRETE ON COMPACTED SUBGRADE.
- 3. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
- 4. SLOPE OF APRON SHALL MATCH EXISTING GROUND SLOPE OR 2% MINIMUM.
- 5. PROVIDE LIGHT BROOM FINISH ON CONCRETE SURFACE AND TOOL ALL EXPOSED EDGES.

CATCH BASIN APRON DETAIL, NOT TO SCALE



- 1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
- 2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
- 3. TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES CITY TRENCH INSPECTION AND APPROVAL. EXTRUDED CURB MUST BE PLACED WITHIN 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

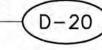


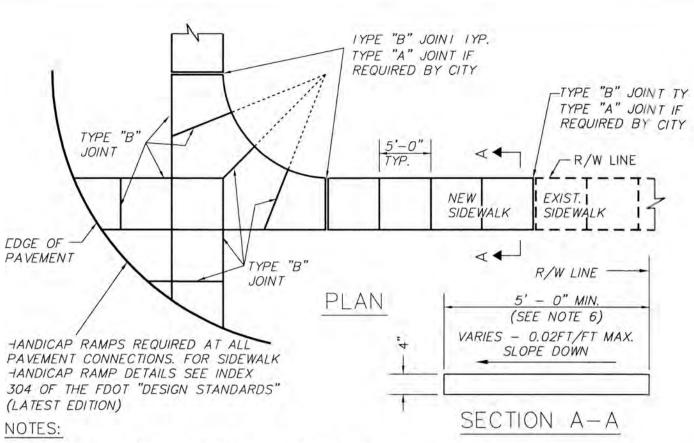


1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMEROCK BASE. AREAS BELOW DESIGN GRADE MAY BE CORRECTED BY PLACEMENT OF ADDITIONAL LIMEROCK MATERIAL. AREAS ABOVE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO LIMEROCK PLACEMENT.

- 2. LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE PLACED IN EQUAL LIFTS NOT EXCEEDING 6".
- 3. PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMEROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
- 4. TACK COAT SHALL BE PLACED AS REQUIRED ON EXISTING ASPHALT SURFACES BEFORE APPLICATION OF AN OVERBUILD LAYER AND TO NEW SURFACES BETWEEN LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
- 5. FINAL PAVEMENT LIFT CANNOT BE PLACED UNTIL ALL PROJECT LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS INSTALLED AND APPROVED.

ASPHALTIC CONCRETE PAVEMENT DETAIL MINOR ROADWAYS AND PARKING LOTS NOT TO SCALE





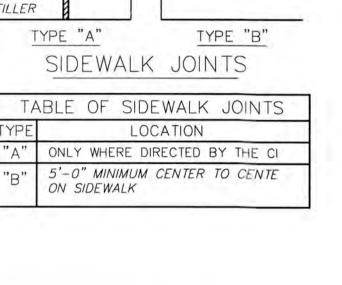
FOR NEW SIDEWALK LOCATIONS SUBGRADE BELOW SIDEWALK SHALL BE A MIN. L.B.R. – 40 COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T—180. TOOLED

CONCRETE TO BE 3,000 P.S.I.@ 28 DAYS ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED

IN NEW SIDEWALK. THE USE OF WIRE MESH REINFORCEMENT IN

SIDEWALK WILL NOT BE PERMITTED

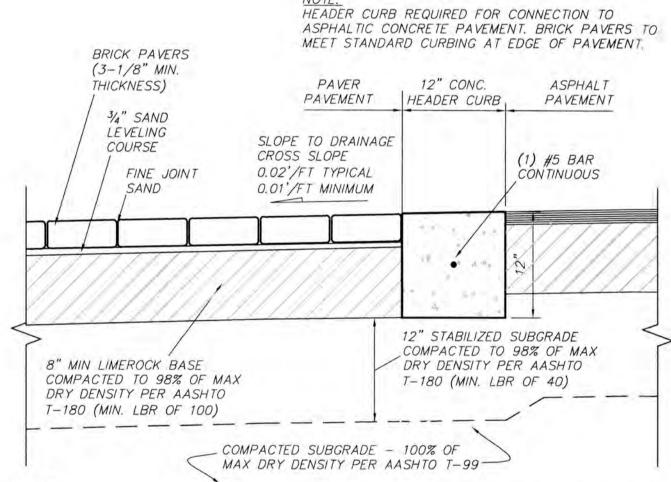
- SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02'/FT (2.0%).
- ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEHICULAR CROSSING AREAS WHERE THE SIDEWALK SHALL BE
- MINIMUM WIDTH OF SIDEWALK PLACED AT BACK OF
- FOR TYPE "A" EXPANSION JOINTS PRE-MOULDED EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED ONLY IF APPROVED BY THE ENGINEERING DIVISION AND SHALL BE SEALED WITH APPROVED FLEXIBLE RUBBERIZED CAULK.
- SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.





EDGE

CAULK -



1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF CONCRETE PAVER SYSTEM. ALL AREAS FOUND TO BE ABOVE OR BELOW THE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO PAVER CONSTRUCTION.

- 2. LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE INSTALLED IN EQUAL LIFTS NOT EXCEEDING 6".
- 3. BASE PRIME COAT WILL NOT BE REQUIRED FOR BRICK PAVER BASE.
- 4. SHOP DRAWING AND SUBMITTALS REQUIRED FOR THE PROPOSED PAVER MODULES, PAVER PATTERN, LEVELING SAND AND JOINT SAND MATERIALS. PAVERS SHALL BE LAID LEVEL TO ALL ADJACENT PAVERS AND TO THE FINISH GRADE WITH A TOLERANCE OF 1/4".
- 5. PAVER PAVEMENT SHALL BE PROTECTED FROM ALL TRAFFIC UNTIL COMPLETED AND APPROVED FOR USE BY THE CITY ENGINEERING DIVISION INSPECTOR.
- 6. USE OF BRICK PAVER PAVEMENT WILL REQUIRE APPROVAL BY THE CITY. APPROVAL SHALL INCLUDE LOCATION, COLOR AND PAVER PATTERN.

MINOR ROADWAYS AND PARKING LOTS

LEAVE BLANK - FOR CITY USE ONLY

**BRICK PAVER PAVEMENT DETAIL** NOT TO SCALE

561.747.6336 · Fax 561.747.1377 · Lic.# LC-26000535 Landscape Architects | Land Planners | Environmental Consultan

www.cotleurhearing.com

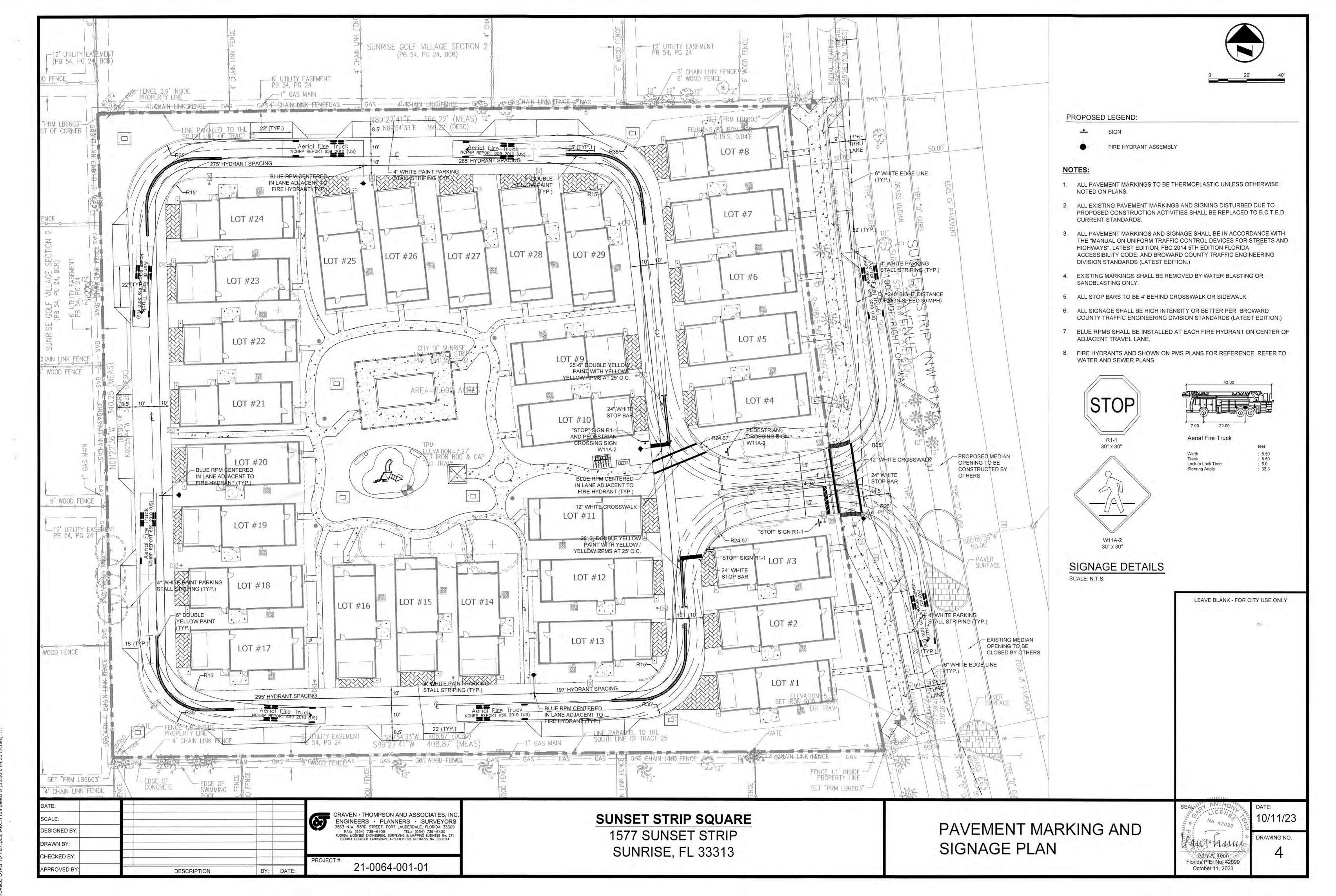
DRAWN\_ APPROVED\_ JOB NUMBER DATE\_\_\_ REVISIONS\_

SUNSET STRIP SQUARE 1577 SUNSET STRIP SUNRISE, FLORIDA 33313

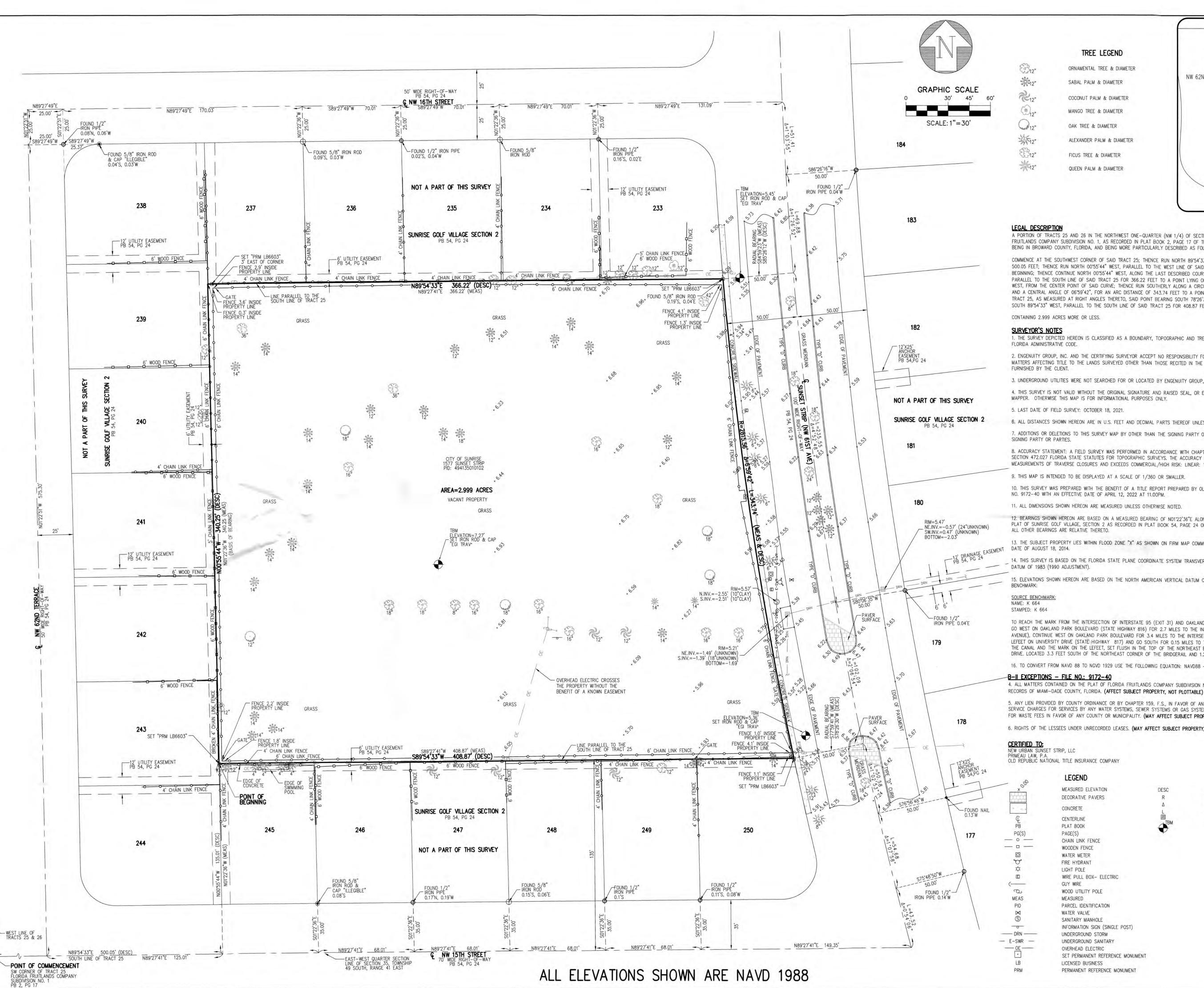
SITE DETAILS



DATE: 02/23/22 SHEET NO.



tafileU2\Eng\Projects\2U21\21-U064-U01-U1 Sunset Strp\Drawings\21-U064-U01-U1 PMS.dwg, PMS-1, 1U/11/2U23 4 Iovack, DWG To PDF.pc3, ARCH full bleed D (36.00 x 24.00 Inches), 1:1



NW 19TH ST NW 62ND TERRACE -NW 14TH PL NW 14TH CT ≥ NW 14TH ST NW 12TH CT W SUNRISE BLVD

LOCATION MAP

A PORTION OF TRACTS 25 AND 26 IN THE NORTHWEST ONE-QUARTER (NW 1/4) OF SECTION 35, TOWNSHIP 49 SOUTH, RANGE 41 EAST OF FLORIDA FRUITLANDS COMPANY SUBDIVISION NO. 1, AS RECORDED IN PLAT BOOK 2, PAGE 17 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA, LYING AND BEING IN BROWARD COUNTY, FLORIDA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF SAID TRACT 25; THENCE RUN NORTH 89'54'33" EAST, ALONG THE SOUTH LINE OF SAID TRACT 25 FOR 500.05 FEET; THENCE RUN NORTH 00'55'44" WEST, PARALLEL TO THE WEST LINE OF SAID TRACTS 25 AND 26 FOR 135.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 00'55'44" WEST, ALONG THE LAST DESCRIBED COURSE FOR 340.25 FEET; THENCE RUN NORTH 89'54'33" EAST, PARALLEL TO THE SOUTH LINE OF SAID TRACT 25 FOR 366.22 FEET TO A POINT LYING ON A CIRCULAR CURVE, SAID POINT BEARING SOUTH 85'26'12" WEST, FROM THE CENTER POINT OF SAID CURVE; THENCE RUN SOUTHERLY ALONG A CIRCULAR CURVE TO THE LEFT, HAVING A RADIUS OF 2815.56 FEET AND A CENTRAL ANGLE OF 06'59'42", FOR AN ARC DISTANCE OF 343.74 FEET TO A POINT THAT IS 135 FEET NORTH OF THE SOUTH LINE OF SAID TRACT 25, AS MEASURED AT RIGHT ANGLES THERETO, SAID POINT BEARING SOUTH 78'26'30" WEST OF THE CENTER POINT OF SAID CURVE; THENCE RUN SOUTH 89'54'33" WEST, PARALLEL TO THE SOUTH LINE OF SAID TRACT 25 FOR 408.87 FEET TO THE POINT OF BEGINNING.

1. THE SURVEY DEPICTED HEREON IS CLASSIFIED AS A BOUNDARY, TOPOGRAPHIC AND TREE SURVEY AND IS IN COMPLIANCE WITH CHAPTER 5J-17

2. ENGENUITY GROUP, INC. AND THE CERTIFYING SURVEYOR ACCEPT NO RESPONSIBILITY FOR RIGHT-OF-WAYS, EASEMENTS RESTRICTIONS OR OTHER MATTERS AFFECTING TITLE TO THE LANDS SURVEYED OTHER THAN THOSE RECITED IN THE CURRENT DEED AND/OR OTHER INSTRUMENT OF RECORD

3. UNDERGROUND UTILITIES WERE NOT SEARCHED FOR OR LOCATED BY ENGENUITY GROUP, INC.

4. THIS SURVEY IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL, OR ELECTRONIC SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER. OTHERWISE THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY.

6. ALL DISTANCES SHOWN HEREON ARE IN U.S. FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED.

7. ADDITIONS OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE

8. ACCURACY STATEMENT: A FIELD SURVEY WAS PERFORMED IN ACCORDANCE WITH CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO

SECTION 472.027 FLORIDA STATE STATUTES FOR TOPOGRAPHIC SURVEYS. THE ACCURACY OF CONTROL DATA WAS VERIFIED BY REDUNDANT MEASUREMENTS OF TRAVERSE CLOSURES AND EXCEEDS COMMERCIAL/HIGH RISK: LINEAR: 1 FOOT IN 10,000 FEET.

9. THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1/360 OR SMALLER.

10. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY UNDER FILE NO. 9172-40 WITH AN EFFECTIVE DATE OF APRIL 12, 2022 AT 11.00PM.

11. ALL DIMENSIONS SHOWN HEREON ARE MEASURED UNLESS OTHERWISE NOTED.

12. BEARINGS SHOWN HEREON ARE BASED ON A MEASURED BEARING OF NO1'22'36"E ALONG THE EASTERLY LINE OF LOTS 238 THROUGH 244, FROM THE PLAT OF SUNRISE GOLF VILLAGE, SECTION 2 AS RECORDED IN PLAT BOOK 54, PAGE 24 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA AND

13. THE SUBJECT PROPERTY LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FIRM MAP COMMUNITY PANEL NUMBER 12011C 0363H, WITH AN EFFECTIVE

14. THIS SURVEY IS BASED ON THE FLORIDA STATE PLANE COORDINATE SYSTEM TRANSVERSE MERCATOR, FLORIDA EAST ZONE 901, NORTH AMERICAN

15. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988) AND REFERENCE THE FOLLOWING

ELEVATION= 9.48' NAVD 88

TO REACH THE MARK FROM THE INTERSECTION OF INTERSTATE 95 (EXIT 31) AND OAKLAND PARK BOULEVARD (STATE HIGHWAY 816) IN OAKLAND PARK, GO WEST ON OAKLAND PARK BOULEVARD (STATE HIGHWAY 816) FOR 2.7 MILES TO THE INTERSECTION OF STATE HIGHWAY 7 (U.S. HIGHWAY 441, 40TH AVENUE), CONTINUE WEST ON OAKLAND PARK BOULEVARD FOR 3.4 MILES TO THE INTERSECTION OF UNIVERSITY DRIVE (STATE HIGHWAY 817), TURN LEFEET ON UNIVERSITY DRIVE (STATE HIGHWAY 817) AND GO SOUTH FOR 0.15 MILES TO THE NORTHEAST END OF BRIDGE NUMBER 860163 SPANNING THE CANAL AND THE MARK ON THE LEFEET, SET FLUSH IN THE TOP OF THE NORTHEAST BRIDGE ABUTMENT 2.0 FEET BELOW THE LEVEL OF UNIVERSITY DRIVE. LOCATED 3.3 FEET SOUTH OF THE NORTHEAST CORNER OF THE BRIDGERAIL AND 1.2 FEET NORTH OF THE SOUTHEAST CORNER OF THE ABUTMENT

16. TO CONVERT FROM NAVD 88 TO NGVD 1929 USE THE FOLLOWING EQUATION: NAVD88 + 1.58 = NGVD1929

4. ALL MATTERS CONTAINED ON THE PLAT OF FLORIDA FRUITLANDS COMPANY SUBDIVISION NO. 1, AS RECORDED IN PLAT BOOK 2, PAGE 17, PUBLIC

5. ANY LIEN PROVIDED BY COUNTY ORDINANCE OR BY CHAPTER 159, F.S., IN FAVOR OF ANY CITY, TOWN, VILLAGE OR PORT AUTHORITY, FOR UNPAID SERVICE CHARGES FOR SERVICES BY ANY WATER SYSTEMS, SEWER SYSTEMS OR GAS SYSTEMS SERVING THE LAND DESCRIBED HEREIN; AND ANY LIEN FOR WASTE FEES IN FAVOR OF ANY COUNTY OR MUNICIPALITY. (MAY AFFECT SUBJECT PROPERTY, NOT PLOTTABLE)

6. RIGHTS OF THE LESSEES UNDER UNRECORDED LEASES. (MAY AFFECT SUBJECT PROPERTY, NOT PLOTTABLE)

PROFESSIONAL SURVEYOR AND MAPPER

STATE OF FLORIDA LICENSE NO. 4938

STATE OF FLORIDA LB#6603

DESCRIPTION

RADIUS DELTA

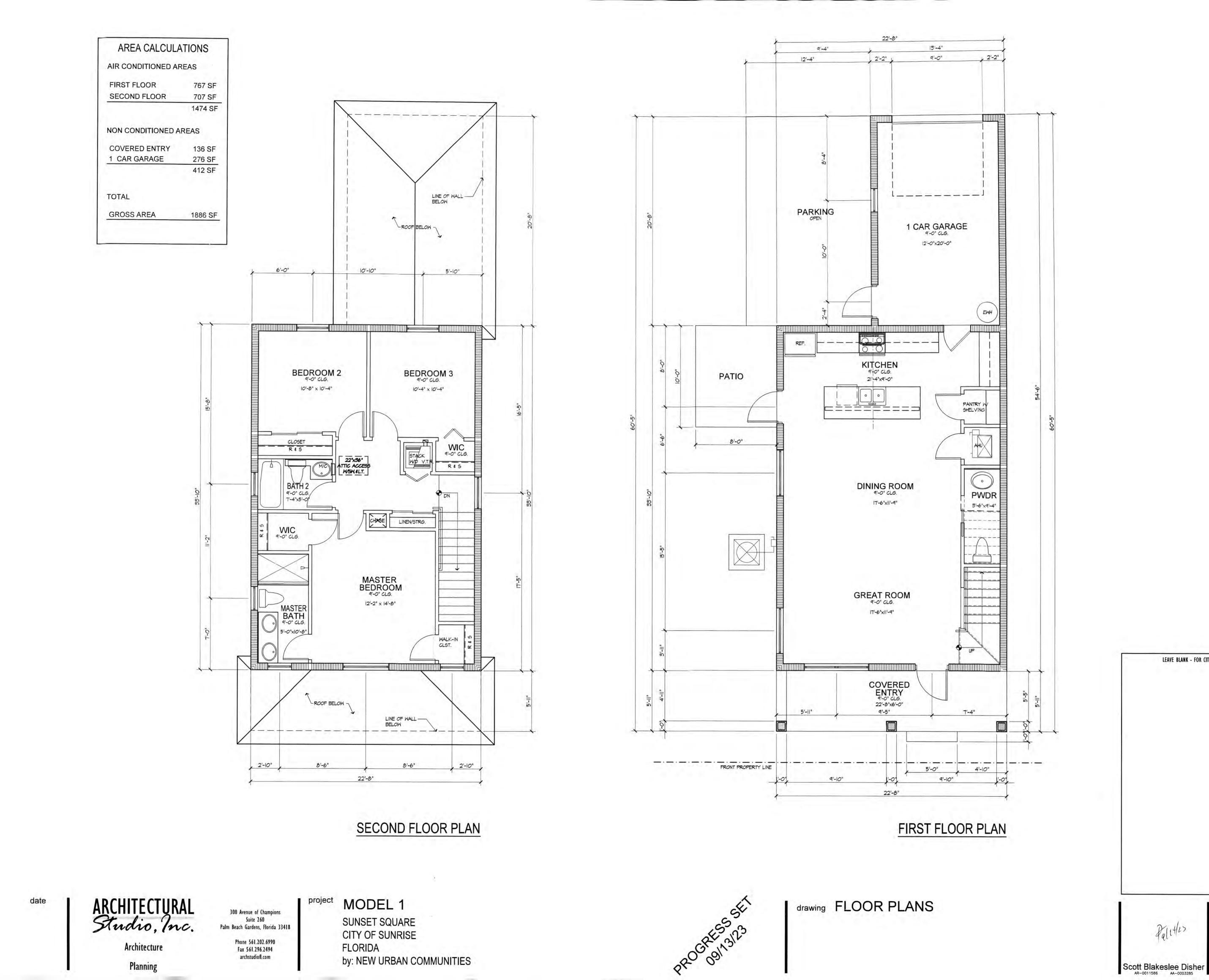
LENGTH

CATCH BASIN

TEMPORARY BENCHMARK

SUNI SET

19010.12



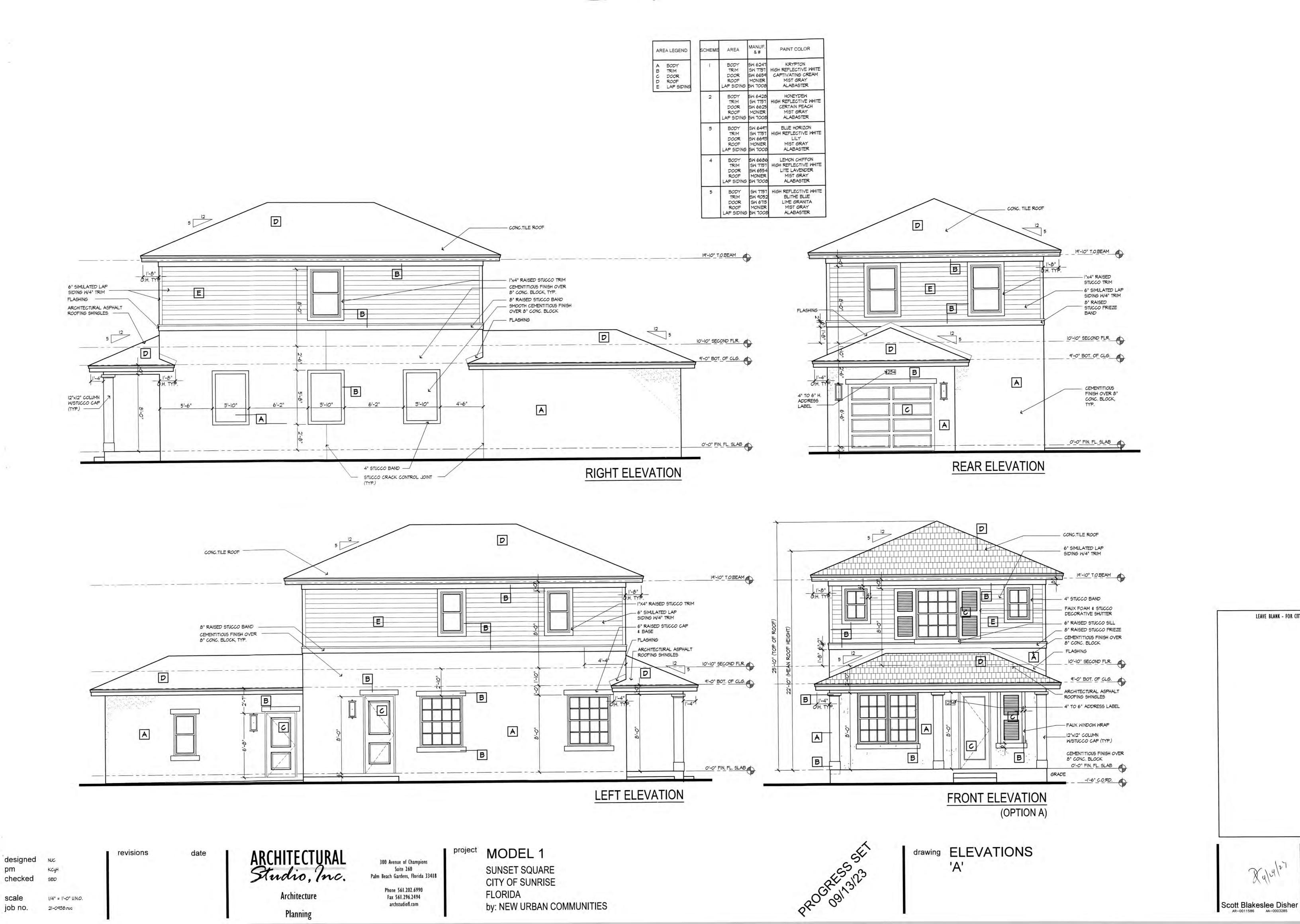
revisions

checked

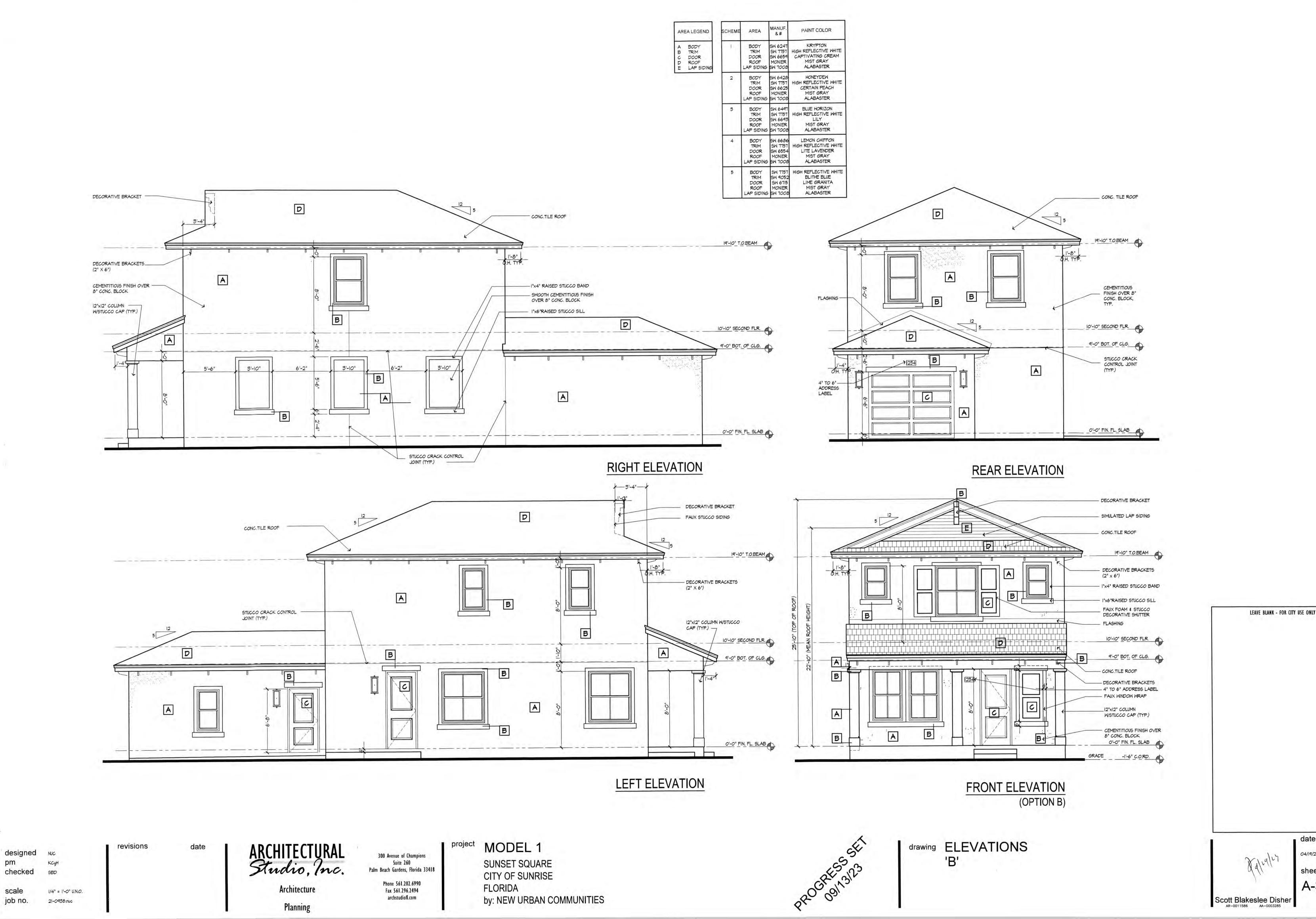
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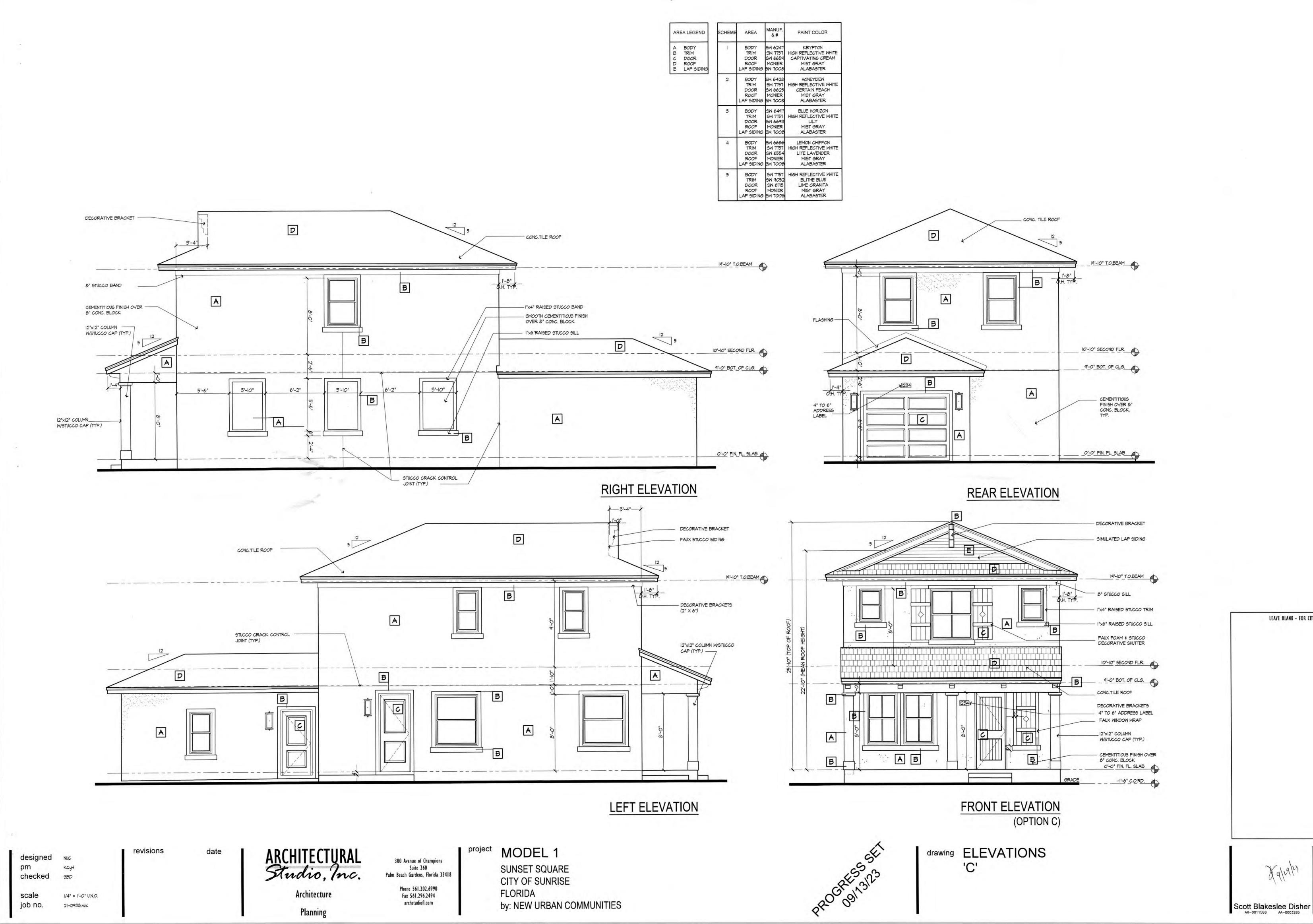
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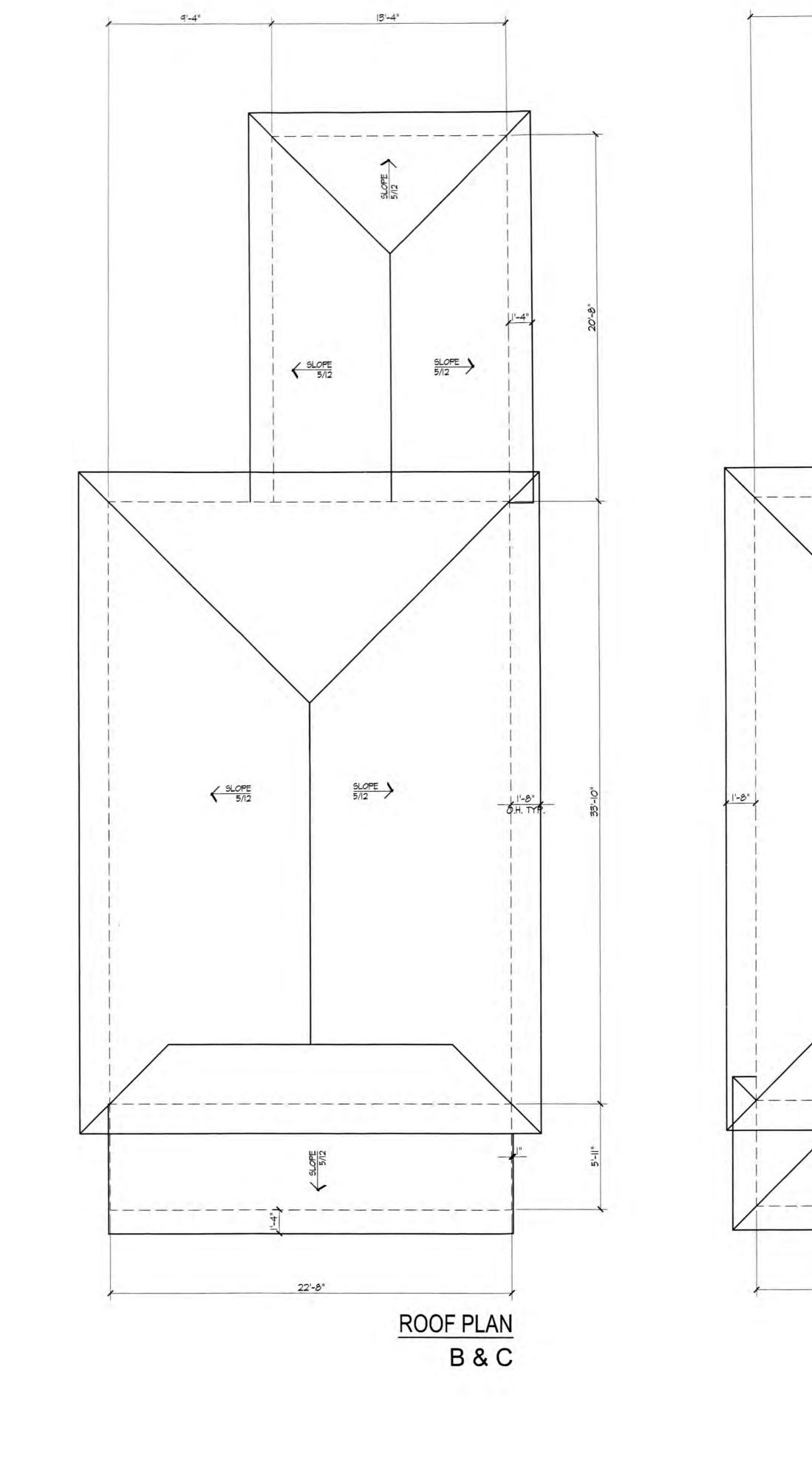


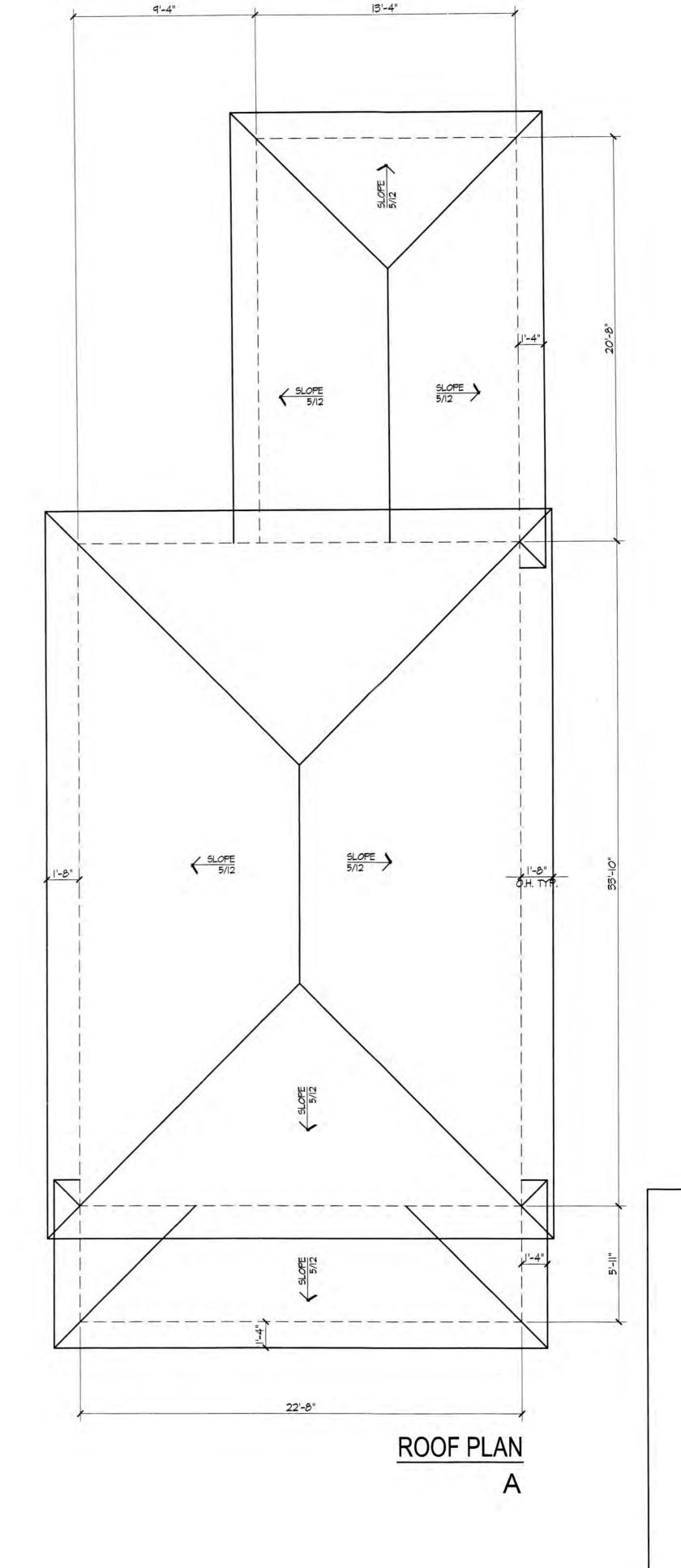
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04/19/23

sheet

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LEAVE BLANK - FOR CITY USE ONLY

checked 1/4" = 1'-0" U.N.O. 21-0938.nuc

revisions

ARCHITECTURAL Studio, Inc. Architecture

**Planning** 

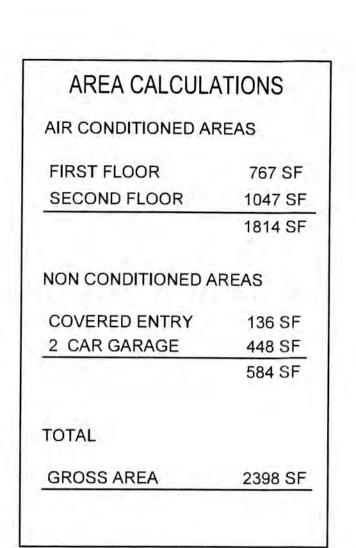
300 Avenue of Champions Suite 260 Palm Beach Gardens, Florida 33418 Phone 561.202.6990 Fax 561.296.2494 archstudiofl.com

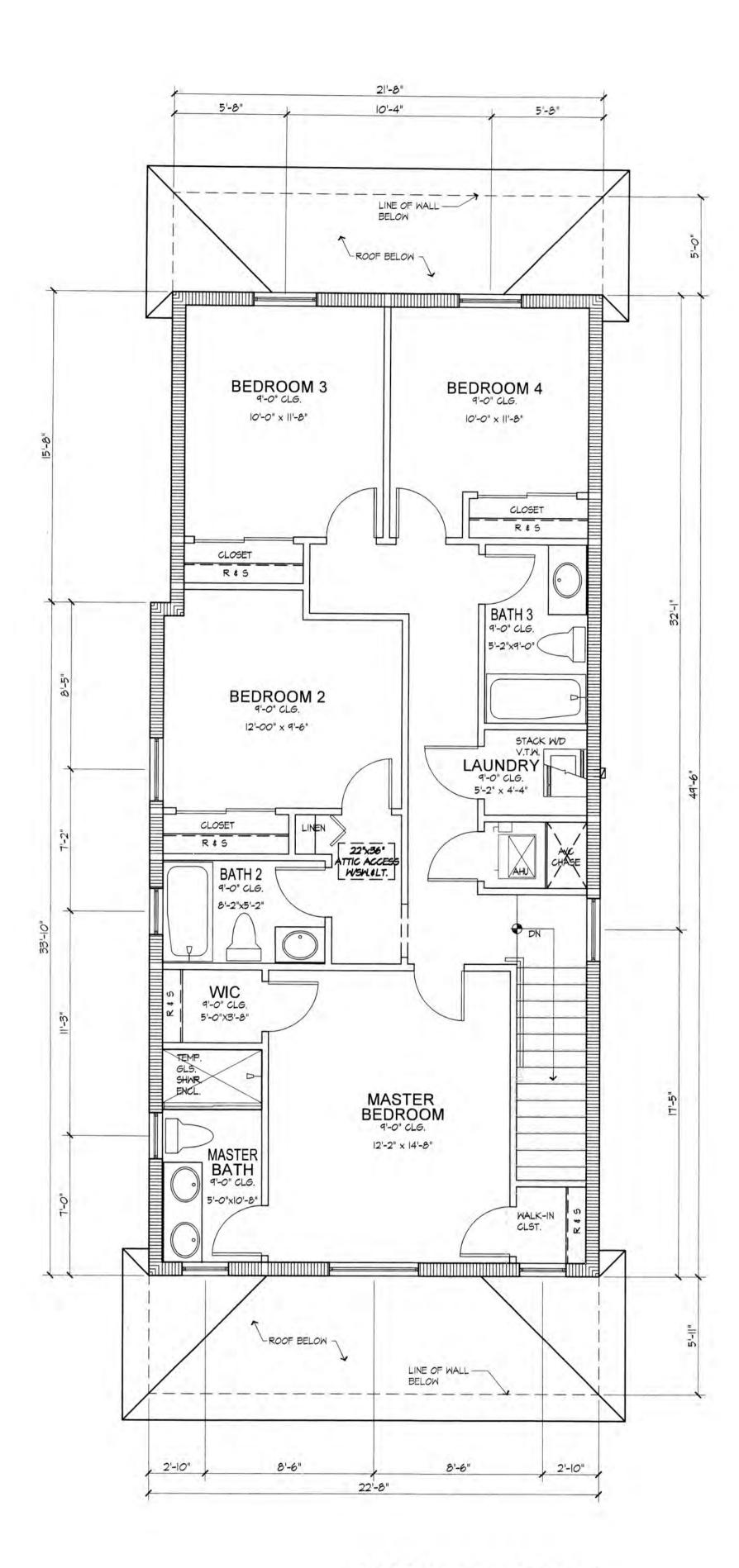
MODEL 1 SUNSET SQUARE CITY OF SUNRISE FLORIDA by: NEW URBAN COMMUNITIES PROGRESS SET

drawing ROOF PLANS



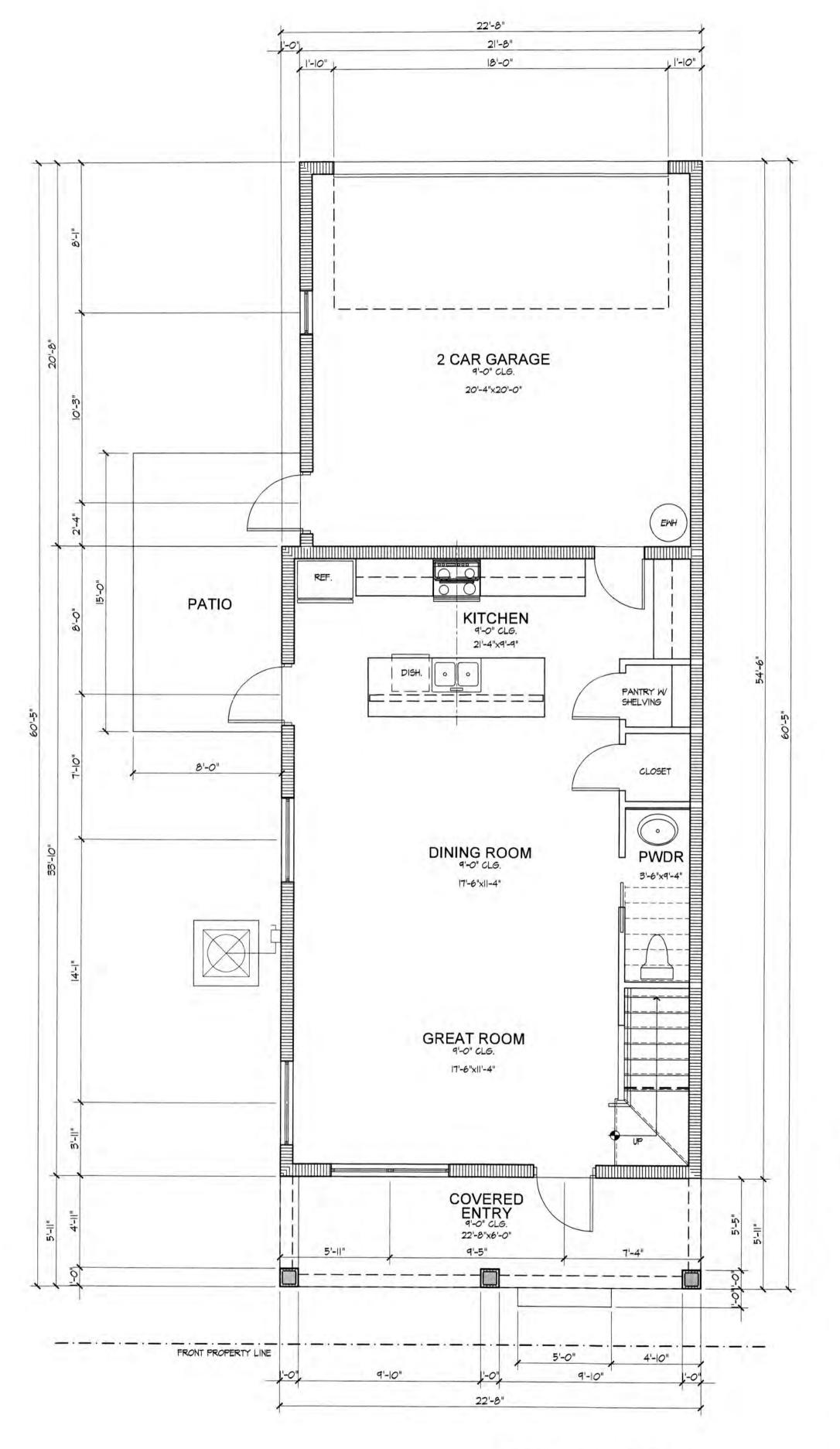
Scott Blakeslee Disher





SECOND FLOOR PLAN

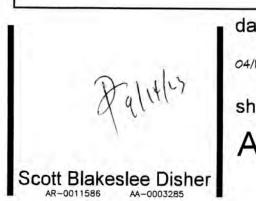




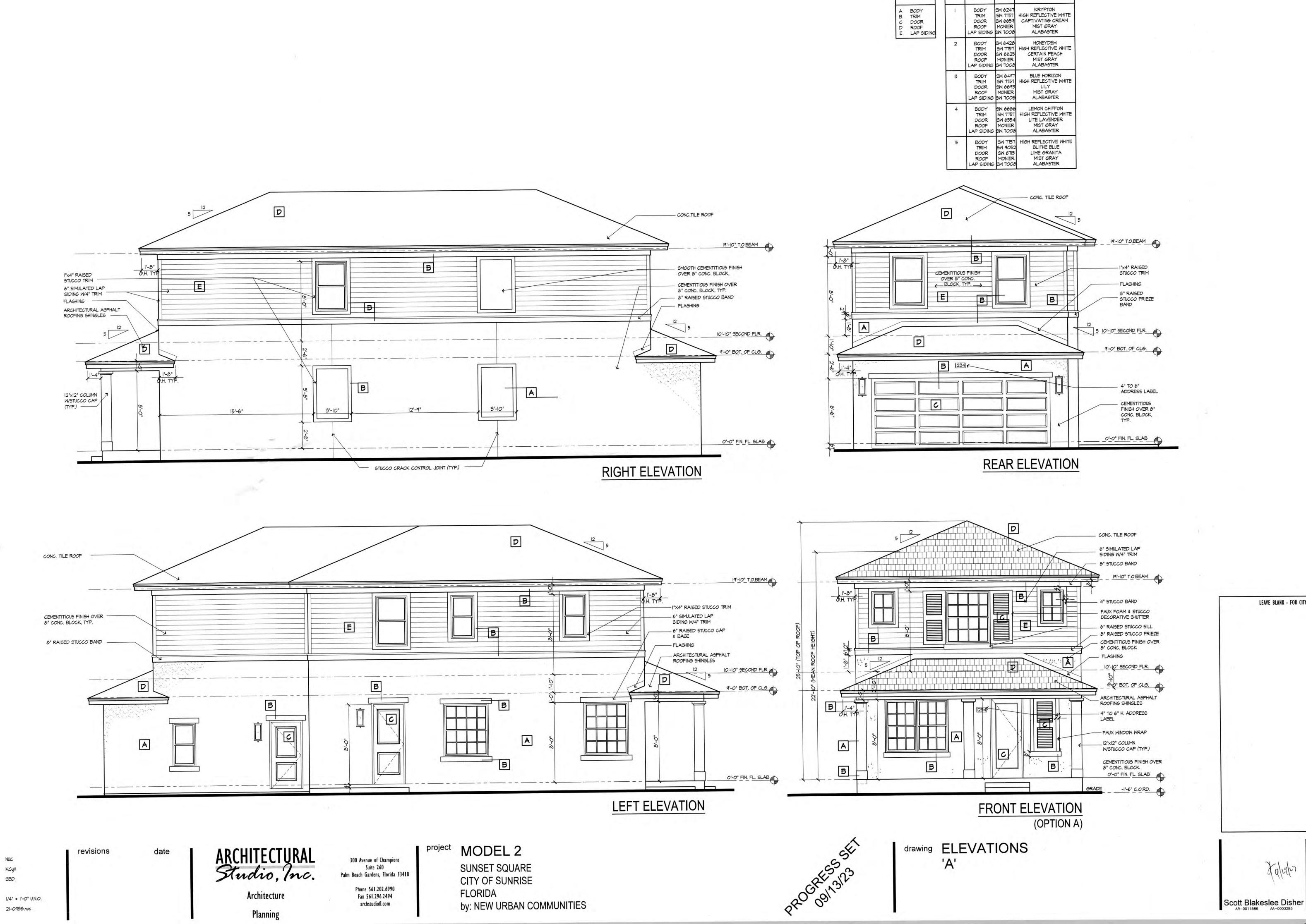
FIRST FLOOR PLAN

PROGRESS SET

drawing FLOOR PLANS



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designed

checked

job no.

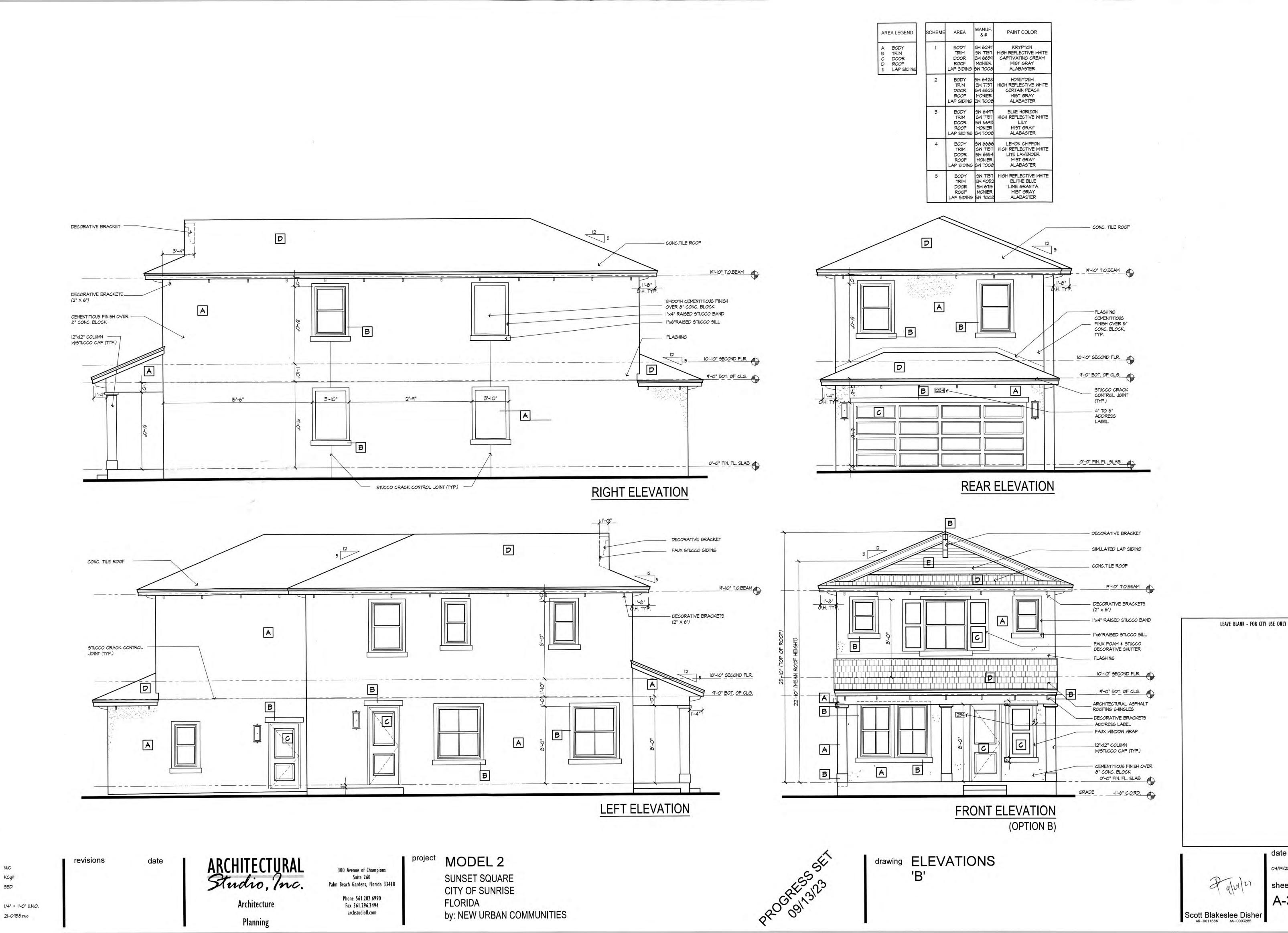
PAINT COLOR

LEAVE BLANK - FOR CITY USE ONLY

AREA

SCHEME

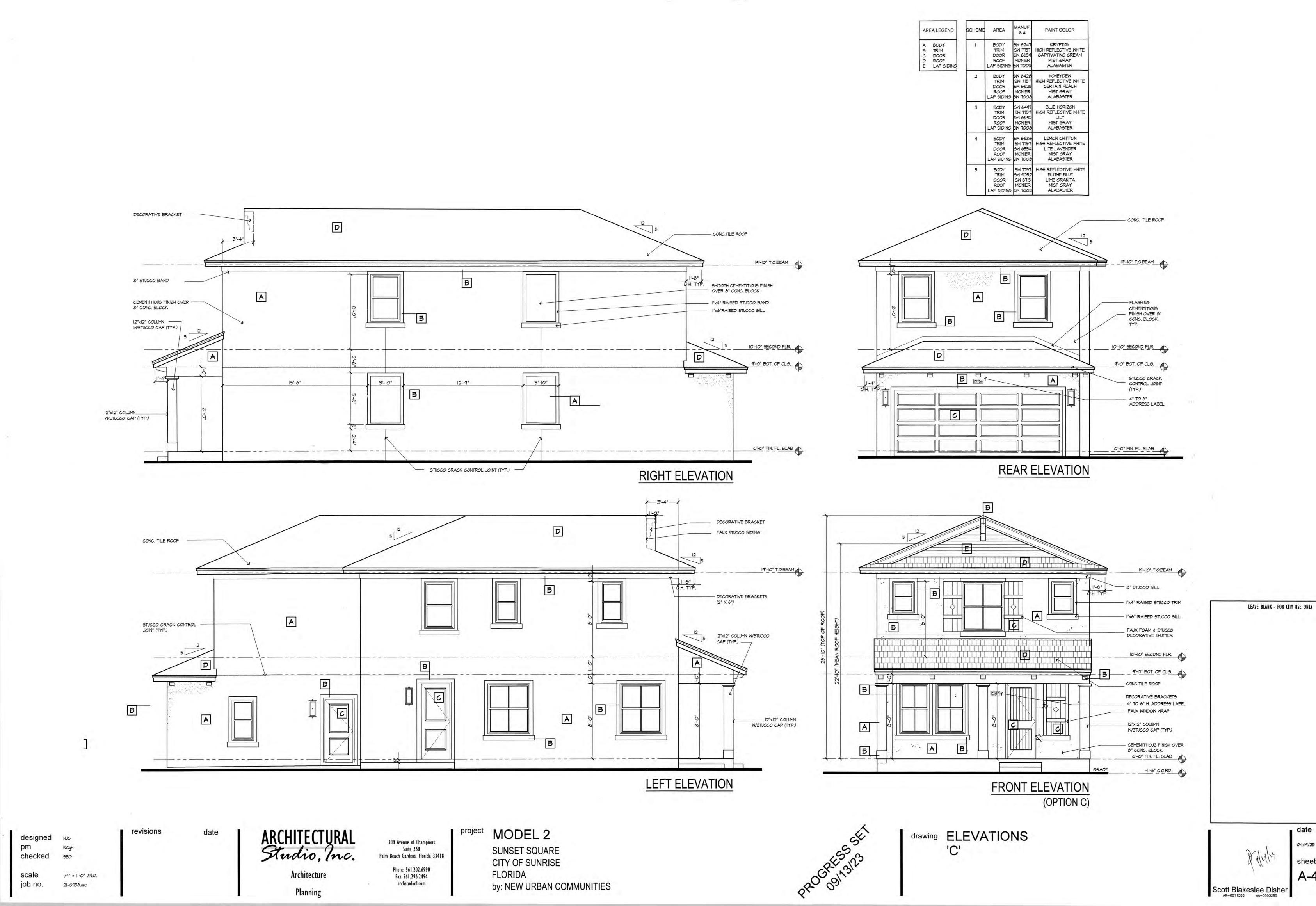
AREA LEGEND

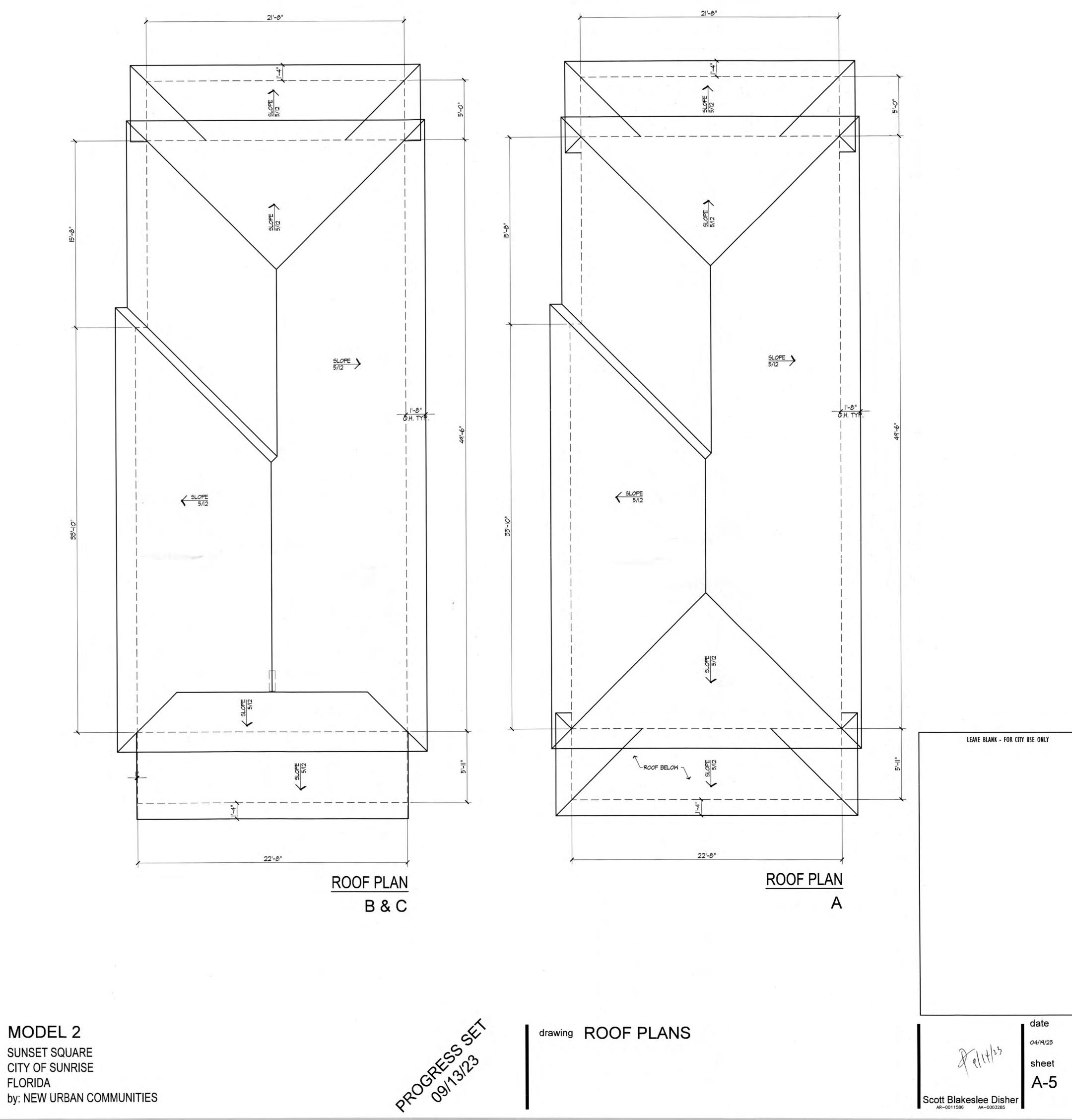


checked

job no.

04/19/23 Scott Blakeslee Disher





1/4" = 1'-0" U.N.O. 21-0938.nuc

ARCHITECTURAL Studio, Inc.

**Planning** 

Phone 561.202.6990 Fax 561.296.2494 archstudiofl.com Architecture

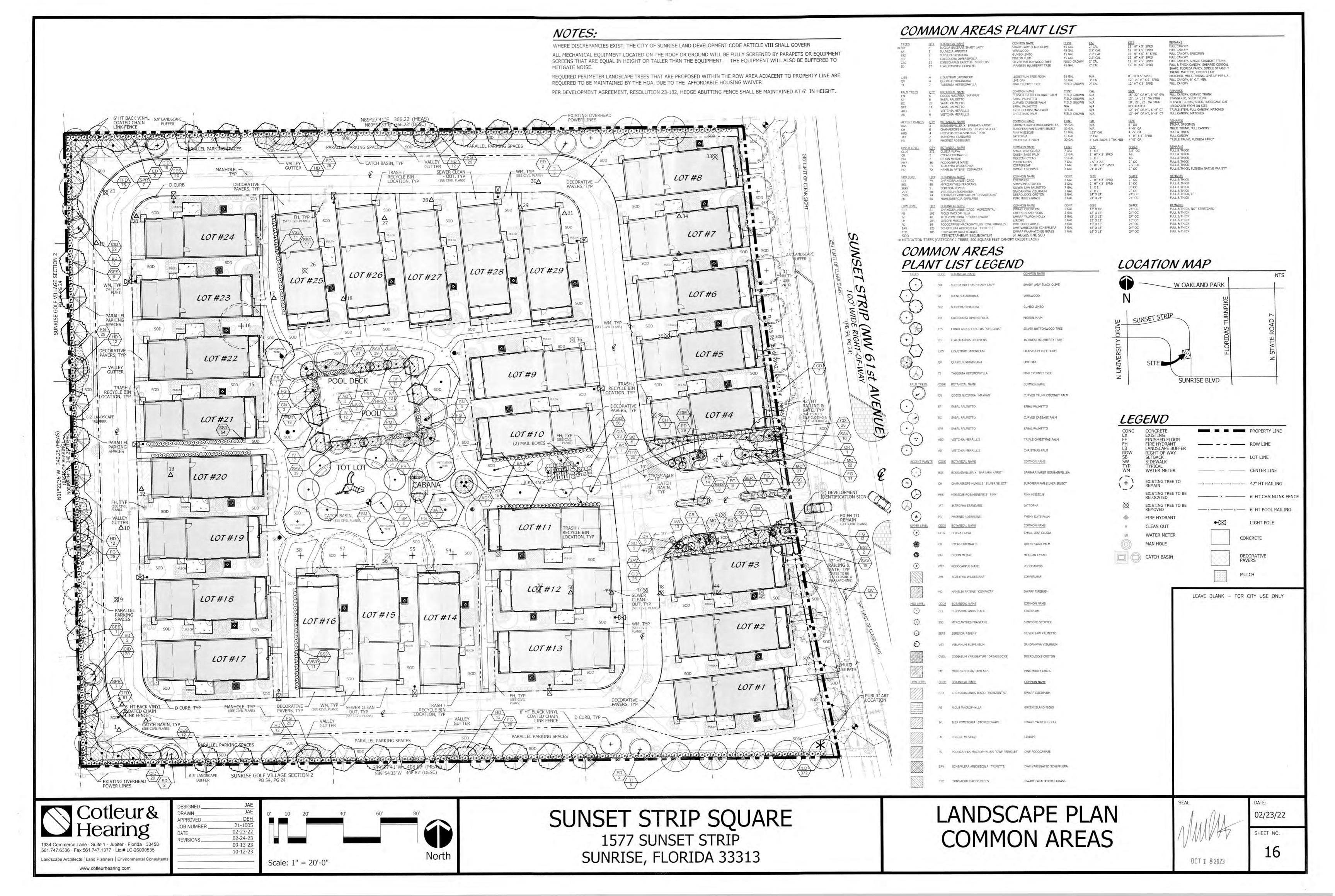
300 Avenue of Champions Suite 260 Palm Beach Gardens, Florida 33418

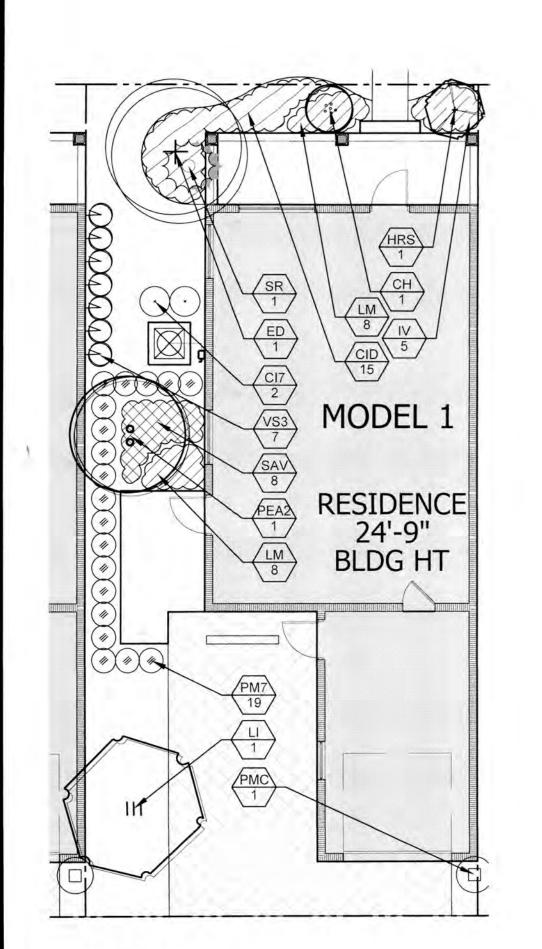
SUNSET SQUARE CITY OF SUNRISE

FLORIDA by: NEW URBAN COMMUNITIES



Scott Blakeslee Disher







# 

MODEL 1 PALM TREE LANDSCAPE

# MODEL 1 - SHADE TREE LANDSCAPE PLANT LIST

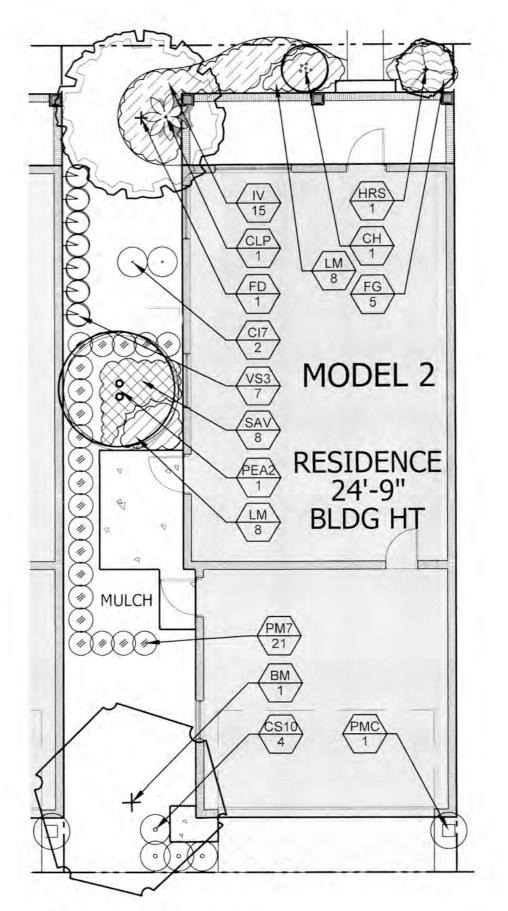
TREES ED	QTY 1	BOTANICAL NAME ELAEOCARPUS DECIPIENS	COMMON NAME JAPANESE BLUEBERRY TREE	CONT 45 GAL	CAL 2" CAL	SIZE 12' HT X 6' SPRD	REMARKS FULL & THICK CANOPY, SHEARED CONICA
u	1	LAGERSTROEMIA IND `MUSKOGEE`/`TUSKEGEE`	CRAPE MYRTLE	30 GAL	1.5" CAL	12' HT X 5' SPRD	SHAPE. FLORIDA FANCY. SINGLE STRAIGH TRUNK. MATCHED, CHERRY LAKE MULTI, LIMB UP 5°, CHERRY LAKE NURSE
PEA2	1	PTYCHOSPERMA ELEGANS	DOUBLE ALEXANDER PALM	FIELD GROWN	NA	14'-16' OA, 8' CT MIN	FULL CANOPY, DOUBLE TRUNK
ACCENT PLANTS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE 4 -5 OA	REMARKS
CH	1	CHAMAEROPS HUMILIS 'SILVER SELECT'	EUROPEAN FAN SILVER SELECT	30 GAL	N/A	4 -5 OA	MULTI TRUNK, FULL CANOPY
HRS	1	HIBISCUS ROSA-SINENSIS 'PINK'	PINK HIBISCUS	15 GAL	1.25" CAL	4 -5 OA	FULL & THICK
MID LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
VS3	7	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL	2' X 2'	2 OC	FULL & THICK
UPPER LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE 3" X 2"	SPACE	REMARKS
CI7	2	CHRYSOBALANUS ICACO	COCOPLUM	7 GAL		2.5" OC	FULL & THICK
PM7	19	PODOCARPUS MAKII	PODOCARPUS	7 GAL	2.5 X 2.5	2, OC	FULL & THICK
PMC	1	PODOCARPUS MAKII	PODOCARPUS COLUMN	7-10 GAL	4' X 2'	AS	FULL & THICK, MATCHED
SR	1	STRELITZIA REGINAE	ORANGE BIRD OF PARADISE	7 GAL	2.5' X 2'	AS	FULL & THICK, FLORIDA FANCY
LOW LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
CID	15	CHRYSOBALANUS ICACO 'HORIZONTAL'	DWARF COCOPLUM	3 GAL	12" X 18"	24" OC	FULL & THICK, NOT STRETCHED
IV	5	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	3 GAL	12" X 12"	24" OC	FULL & THICK
LM	16	LIRIOPE MUSCARI	LIRIOPE	3 GAL	12" X 12"	18" CC	FULL & THICK
SAV	8	SCHEFFLERA ARBORICOLA 'TRINETTE'	DWF VARIEGATED SCHEFFLERA	3 GAL	18" X 18"	24" OC	FULL & THICK

## MODEL 1 - PALM TREE LANDSCAPE PLANT LIST

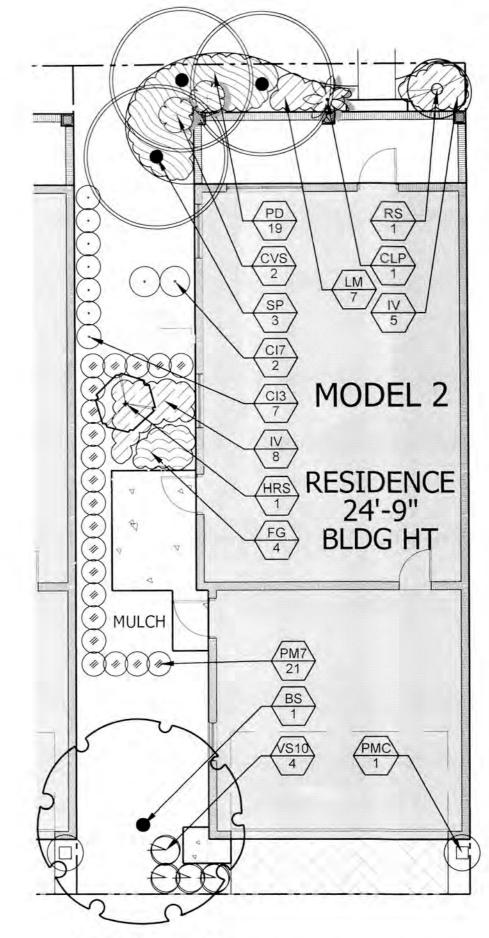
TREES ED	QTY 1	BOTANICAL NAME ELAEOCARPUS DECIPIENS	COMMON NAME JAPANESE BLUEBERRY TREE	CONT 45 GAL	CAL 2" CAL	SIZE 12' HT X 6' SPRD	REMARKS FULL & THICK CANOPY, SHEARED CONICAL SHAPE. FLORIDA FANCY. SINGLE STRAIGHT TRUNK, MATCHED, CHERRY LAKE
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
SP	3	SABAL PALMETTO	SABAL PALMETTO	FIELD GROWN	N/A	12', 14', 16' OA STGG	STAGGERED, SLICK TRUNK
ACCENT PLANTS	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
HRS	1	HIBISCUS ROSA-SINENSIS 'PINK'	PINK HIBISCUS	15 GAL	1.25" CAL	4'-5' OA	FULL & THICK
RS	1	RADERMACHERA X KUNMING	KUNMING DWF TREE JASMINE	45 GAL	1.5" CAL	5' OA STANDARD	FULL CANOPY
MID LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
CI3	7	CHRYSOBALANUS ICACO	COCOPLUM	3 GAL	2' HT X 2' SPRD	2 OC	FULL & THICK
UPPER LEVEL CI7 CVZ PM7 PMC SR	QTY 2 2 19 1	BOTANICAL NAME CHRYSOBALANUS ICACO CODIAEUM VARIEGATUM 'ZANZIBAR' PODOCARPUS MAKII PODOCARPUS MAKII STRELITZIA REGINAE	COMMON NAME COCOPLUM ZANZIBAR CROTON PODOCARPUS PODOCARPUS COLUMN ORANGE BIRD OF PARADISE	CONT 7 GAL 7 GAL 7 GAL 7-10 GAL 7 GAL	SIZE 3' X 2' 2.5' X 2.5' 2.5' X 2.5' 4' X 2' 2.5' X 2	SPACE 2.5° OC AS 2° OC AS AS	REMARKS FULL & THICK FULL & THICK FULL & THICK FULL & THICK FULL & THICK, MATCHED FULL & THICK, FLORIDA FANCY
LOW LEVEL	<u>QTY</u>	BOTANICAL NAME	COMMON NAME	CONT	<u>SIZE</u>	<u>SPACE</u>	REMARKS FULL & THICK FULL & THICK FULL & THICK
FG	23	FICUS MACROPHYLLA	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" OC	
IV	12	ILEX VOMITORIA `STOKES DWARF'	DWARF YAUPON HOLLY	3 GAL	12" X 12"	24" OC	
LM	8	LIRIOPE MUSCARI	LIRIOPE	3 GAL	12" X 12"	18" OC	

# TYPICAL MODELS PLANT LIST LEGEND





MODEL 2 SHADE TREE LANDSCAPE



LOCATION MAP

SUNSET STRIP

W OAKLAND PARK

SUNRISE BLVD

MODEL 2
PALM TREE LANDSCAPE

SCALE: 1/8" = 1'-0

# MODEL 2 - SHADE TREE LANDSCAPE PLANT LIST

TREES BM FD PEA2	<u>QTY</u> 1 1	BOTANICAL NAME BUCIDA BUCERAS 'SHADY LADY' FILICIUM DECIPIENS PTYCHOSPERMA ELEGANS	COMMON NAME SHADY LADY BLACK OLIVE JAPANESE FERN TREE DOUBLE ALEXANDER PALM	CONT 45 GAL 30 GAL FIELD GROWN	CAL 2" CAL 2" CAL NA	SIZE 12` HT X 5' SPRD 8`-10` HT X 6` SPRD 14'-16` OA, 8` CT MIN	REMARKS FULL CANOPY FULL CANOPY, MATCHED FULL CANOPY, DOUBLE TRUNK
	1	4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4 4		W-255 - 2002-2017			4 - 5 - 5 - 5 - 5 - 5 - 5 - 5 - 5 - 5 -
ACCENT PLANTS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
CH	1	CHAMAEROPS HUMILIS 'SILVER SELECT'	EUROPEAN FAN SILVER SELECT	30 GAL	N/A	4'-5' OA	MULTI TRUNK, FULL CANOPY
HRS	1	HIBISCUS ROSA-SINENSIS 'PINK'	PINK HIBISCUS	15 GAL	1.25" CAL	4*-5* CA	FULL & THICK
MID LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
VS3	7	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	3 GAL	2' X 2'	2' OC	FULL & THICK
UPPER LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
CI7	2	CHRYSOBALANUS ICACO	COCOPLUM	7 GAL	SIZE 3 X 2	2.5 OC	FULL & THICK
CS10	4	CONOCARPUS ERECTUS 'SERICEUS	SILVER BUTTONWOOD	10 GAL	4' HT X 2.5' SPRD	2.5' OC	FULL & THICK
CLP	1	CRINUM AUGUSTUM	QUEEN EMMA CRINUM LILY	15 GAL	3' X 3'	AS	FULL & THICK, SINGLE TRUNK
PM7	21	PODOCARPUS MAKII	PODOCARPUS	7 GAL	2.5' X 2.5'	2' OC	FULL & THICK
PMC	1	PODOCARPUS MAKII	PODOCARPUS COLUMN	7-10 GAL	4' X 2'	AS	FULL & THICK, MATCHED
LOW LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
FG	5	FICUS MACROPHYLLA	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" OC	FULL & THICK
IV	15	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	3 GAL	12" X 12"	24" OC	FULL & THICK
LM	16	LIRIOPE MUSCARI	LIRIOPE	3 GAL	12" × 12"	18" OC	FULL & THICK
						24" OC	

#### MODEL 2 - PALM TREE LANDSCAPE PLANT LIST

TREES BS	QTY	BOTANICAL NAME BURSERA SIMARUBA	COMMON NAME GUMBO LIMBO	CONT 45 GAL	CAL 2.5" CAL	SIZE 12` HT X 6` SPRD	REMARKS FULL CANOPY
65	1	BURSERA SIMAKUBA	GUMBO LIMBO	45 GAL	Z.5 CAL	12 HIX 6 SPKD	FULL CANOPY
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
SP	3	SABAL PALMETTO	SABAL PALMETTO	FIELD GROWN	CAL N/A	SIZE 12', 14', 16' OA STGG	STAGGERED, SLICK TRUNK
ACCENT PLANTS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE 4`-5` OA	REMARKS
HRS	1	HIBISCUS ROSA-SINENSIS 'PINK'	PINK HIBISCUS	15 GAL	1.25" CAL	4`-5` OA	FULL & THICK
RS	1	RADERMACHERA X KUNMING	KUNMING DWF TREE JASMINE	45 GAL	1.5" CAL	5` OA STANDARD	FULL CANOPY
MID LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT 3 GAL	SIZE 2' HT X 2' SPRD	SPACE	REMARKS
CI3	7	CHRYSOBALANUS ICACO	COCOPLUM	3 GAL	2' HT X 2' SPRD	2' OC	FULL & THICK
UPPER LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE 3' X 2'	SPACE	REMARKS
C17	2	CHRYSOBALANUS ICACO	COCOPLUM	7 GAL	3' X 2'	2.5` OC	FULL & THICK
CLP	1	CRINUM AUGUSTUM	QUEEN EMMA CRINUM LILY	15 GAL	3, X3,	AS	FULL & THICK, SINGLE TRUNI
PM7	21	PODOCARPUS MAKII	PODOCARPUS	7 GAL	2.5' X 2.5'	2 OC	FULL & THICK
PMC	1	PODOCARPUS MAKII	PODOCARPUS COLUMN	7-10 GAL	4' X 2'	AS	FULL & THICK, MATCHED
VS10	4	VIBURNUM SUSPENSUM	SANDANKWA VIBURNUM	10 GAL	4' HT X 2.5' SPRD	2.5° OC	FULL & THICK
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE 18" X 18"	SPACE	REMARKS
CVS	2	CODIAEUM VARIEGATUM 'STOP LIGHT'	STOP LIGHT CROTON	3 GAL	18" X 18"	24" OC	FULL & THICK
LOW LEVEL	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE	SPACE	REMARKS
FG	4	FICUS MACROPHYLLA	GREEN ISLAND FICUS	3 GAL	12" X 12"	24" OC	FULL & THICK
IV	13	ILEX VOMITORIA 'STOKES DWARF'	DWARF YAUPON HOLLY	3 GAL	12" X 12"	24" OC	FULL & THICK
LM	7	LIRIOPE MUSCARI	LIRIOPE	3 GAL	12" X 12"	18" OC	FULL & THICK
PD	19	PODOCARPUS MACROPHYLLUS 'DWF PRINGLES'	DWF PODOCARPUS	3 GAL	15" X 15"	24" OC	FULL & THICK

Cotleur & Hearing

1934 Commerce Lane · Suite 1 · Jupiter · Florida · 33458
561.747.6336 · Fax 561.747.1377 · Lic.# LC-26000535

DESIGNED JAE

DRAWN JAE

APPROVED DEH

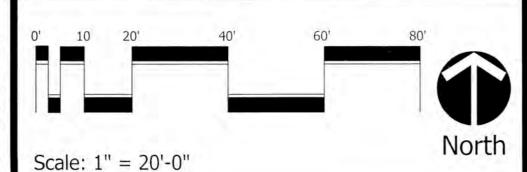
JOB NUMBER 21-1005

DATE 02-23-22

REVISIONS 02-24-23

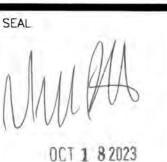
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10-12-23



SUNSET STRIP SQUARE
1577 SUNSET STRIP
SUNRISE, FLORIDA 33313

LANDSCAPE PLAN TYPICALS



LEAVE BLANK - FOR CITY USE ONLY

DATE: 02/23/22 SHEET NO.

17

## LANDSCAPE NOTES

ALL PLANT MATERIAL SHALL BE FLORIDA NUMBER 1 OR BETTER AS DEFINED BY THE DIVISION OF PLANT INDUSTRY 'FLORIDA GRADES AND STANDARDS' LATEST EDITION.

ALL LANDSCAPE SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SUNRISE LAND DEVELOPMENT REGULATIONS. WHERE DISCREPANCIES EXIST, THE CITY OF SUNRISE LAND DEVELOPMENT CODE ARTICLE VIII SHALL GOVERN.

VEGETATION REMOVAL PERMITS ARE REQUIRED PRIOR TO REMOVING, CLEARING OR STRIPPING ANY VEGETATION FROM THE PROPERTY. AT THE TIME OF BUILDING PERMIT, THE APPLICANT SHALL EXECUTE HOLD HARMLESS AGREEMENTS WITH ALL APPLICABLE UTILITIES FOR

THE LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS AND/ OR CHANGES WITHOUT THE AUTHORIZATION OF THE CITY OF SUNRISE, THE OWNER AND THE LANDSCAPE ARCHITECT.

THE LANDSCAPE CONTRACTOR SHALL REVIEW THE PROJECT DRAINAGE AND UTILITY PLANS PRIOR TO CONSTRUCTION AND AVOID AL CONFLICTS. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS.

THE CONTRACTOR SHALL COORDINATE THE PLANTING AND TRIMMING OF STREET TREES TO ENSURE FULL VISIBILITY TO TRAFFIC CONTROL AND

TREES SHALL BE POSITIONED TO AVOID CONFLICTS WITH SIGNAGE AND SITE LIGHTING. LARGER TREES WILL BE PROVIDED AT INTERSECTIONS ALL VEGETATION SHALL BE SELECTED AND POSITIONED SO THAT IT DOES NOT PRESENT OBSTRUCTIONS TO THE LINE OF SIGHT AT

ALL ABOVE GROUND UTILITIES I.E. TRANSFORMERS, SWITCH BOXES, AC CONDENSERS AND ALIKE SHALL BE FULLY SCREENED FROM VIEW ON THREE SIDES WITH LANDSCAPING. THE LANDSCAPING SHALL TO THE TALLEST POINT OF SAID EQUIPMENT AT TIME OF PLANTING. ALL TREES SHALL BE LOCATED WITHIN A MULCH PLANTING BED WITH A MINIMUM OF TWO (2) FEET OF CLEARANCE TO THE EDGE OF THE BED. SOD AND IRRIGATION SHALL BE INSTALLED IN ANY ADJACENT RIGHT OF WAY BETWEEN THE SIDEWALK AND THE CURB

ALL SOD SHALL BE STENOTAPHRUM SECONDATUS FLORITAM-PALMETTO (ST. AUGUSTINE SOD). TREES WITHIN PLANTING ISLANDS LESS THAN FIVE (5) FEET IN WIDTH SHALL BE LOCATED TO AVOID CONFLICTS WITH THE OVERHANG OF

TREES AT ENTRANCE WAYS AND WITHIN SIGHT TRIANGLES SHALL BE TRIMMED IN SUCH A FASHION TO MINIMIZE SITE VISIBILITY CONFLICTS CLEAR VISIBILITY SHALL BE MAINTAINED BETWEEN 30 INCHES AND 7 FEET. TEN FOOT BY THIRTY FOOT SIGHT VISIBILITY TRIANGLES SHALL BE PROVIDED AT THE INTERSECTIONS WITH THE PUBLIC RIGHT OF WAY. EARTH BERMS SHALL NOT EXCEED A 3:1 SLOPE 4:1 SLOPES OR GREATER ARE PREFERABLE.

ALL TREES PLANTED UNDER OR ADJACENT TO FPL POWER LINES WILL COMPLY WITH THE FPL RIGHT TREE IN THE RIGHT PLACE GUIDELINES (REV

PERIMETER TREES AT THE TIME OF PLANTING SHALL BE SPACED IN A WAY THAT COMPLEMENTS. THE SPACING OF ANY EXISTING TREES ON ADJACENT DEVELOPED AREAS. L LANDSCAPE ISLANDS AND BEDS SHALL BE FREE FROM SHELL ROCK AND CONSTRUCTION DEBRIS, EXCAVATED TO A DEPTH OF 30 INCHES OR

O CLEAN NATIVE SOILS AND FILLED WITH THE SPECIFIED BACKFILL MIXTURE. L LANDSCAPE ISLANDS SHALL INCORPORATE THE INSTALLATION OF MOUNDING OF NATIVE SOILS A MINIMUM OF SIX INCHES (6") ABOVE THE

19.5" 'BIO BARRIER' ROOT BARRIER SHALL BE PROVIDED FOR SHADE TREES PLANTED WITHIN SIX (6') FEET OF PUBLIC CURBS, SIDEWALKS OR PUBLIC RIGHT OF WAYS. ALL ROOT BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURES RECOMMENDATIONS. THE TOTAL LENGTH OF THE ROOT BARRIERS SHALL BE 20' ADJACENT TO THE SIDEWALK AND 20' ADJACENT TO THE CURB. ALL AREAS SHALL BE FULLY IRRIGATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SUNRISE. THE IRRIGATION WATER SOURCE

SHALL BE WELL WATER FOR COMMON AREAS AND POTABLE WATER AROUND THE BUILDING FOUNDATION, CATCH BASINS AND DRAINAGE SHALL NOT BE LOCATED WITH IN REQUIRED PERIMETER BUFFERS OR PRESERVE AREAS.

THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE 100% OVERLAP COVERAGE TO ALL LANDSCAPE AND SOD AREAS. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN SENSOR/CUT OFF SWITCH IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS. EXISTING TREES AND VEGETATION TO REMAIN SHALL BE STAKED AND BARRICADED PRIOR TO ANY LAND CLEARING. TREES TO BE RELOCATED

SHALL BE ROOT PRUNED AND PROTECTED DURING CONSTRUCTION. ALL TREES PROPOSED TO BE PRESERVED ON SITE SHALL BE PROTECTED IN ACCORDANCE WITH CITY OF SUNRISE CODE. PRIOR TO THE ISSUANCE

ANY AREA DESIGNATED WITH EXISTING VEGETATION TO REMAIN THAT IS DISTURBED DURING CONSTRUCTION WILL BE RESTORED WITH NATIVE

EXISTING TREES PRESERVED OR RELOCATED ON SITE SHALL BE PRUNED ACCORDING TO ANSI A300 STANDARDS OR BY AN ISA CERTIFIED ALL EXISTING LANDSCAPING AND TREES TO REMAIN SHALL BE BARRICADED WITH ORANGE CONSTRUCTION BARRICADE. THE BARRICADE SHALL

BE INSTALLED AT THE DRIP LINE OF THE TREE/PALM OR AT THE EDGE OF THE SHRUB MASS. BARRICADES SHALL REMAIN IN PLACE THROUGHOUT EXISTING, SUITABLE NATIVE VEGETATION LOCATED WITHIN THE PROPOSED DEVELOPMENT AREAS SHALL BE RELOCATED TO SUPPLEMENT TH

LANDSCAPING. NATIVE VEGETATION SHALL BE RELOCATED BY TREE SPADE OR CRANE. PRIOR TO THE CLEARING OF THE SITE THE APPLICANT SHALL IDENTIFY ALL NATIVE VEGETATION TO BE RELOCATED. RELOCATION METHODOLOGY: EXISTING NATIVE VEGETATION DETERMINED TO BE SUITABLE FOR RELOCATION SHALL BE RELOCATED TO TARGET

REPLACEMENT GENERAL NOTES

S0.00 Invasive storm damage

\$2,920.00 Poor structure storm damage

2,050.00 Storm damage, power in

1,020 00 Co-canopy, sparse follage, storm cama-

Co-canopy, poor structure

Co-canopy storm damage, co-dom inc

30% \$510.00 Poor structure co-canopy

\$2,560,00 Severe co-dom \$3,760,00 Decay in leader

RELOCATION METHODOLOGY: EXISTING NATIVE VEGETATION DETERMINED TO BE SUITABLE FOR RELOCATION SHALL BE RELOCATED TO TARGE AREAS USING HYDROLOGIC TREE SPADES. THE SIZE OF SPADE SHALL VARY FROM 90" TO 45" DEPENDING ON THE SIZE AND TYPE OF VEGETATION TO BE MOVED. THE APPLICANT SHALL IDENTIFY PRIOR TO THE CLEARING OF THE SITE ALL EXISTING NATIVE VEGETATION TO BE RELOCATED. FOLLOWING RELOCATION, VEGETATION SHALL BE WATERED DAILY FOR A PERIOD NOT LESS THAN 90 DAYS AFTER WHICH IT SHALL BE WATERED ON AN AS NEED BASIS TO INSURE SURVIVAL. AT A MINIMUM THE APPLICANT SHALL INSURE 60% SURVIVAL FOR ALL RELOCATED.

EXISTING TREE DATA CHART

Sabal palmett

Sabal palmett Sabal palmet

Sabal palmetto

Sabal palmetto

Sabal palmett

Sabal palmett

Sabal palmett

Sabal palmetto

Sabal palmett

Sabal palmett

m |Ficus microcar

Sabal palmet

Sabal palmet

Sabai palmetto

lous microcarp

Quercus laurifolia

Bucida buceras

Jacaranda mimosifo

Querous virginiar

Bismarckia nobili

Bucida bucera

Bucida buceras

Bucida bucera Bucida buceras

MITIGATION CHART

Quercus virginiai

BOTANICAL NAME

Quercus laurifolia

Jacaranda mimosifolia

Bucida buceras

Sabal palmetto

Sabal palmetto

Swietenia mahag

Quercus virginiar

Sabal pain

Mahogany

Sabal pain

Sabal palm

Sabal pain Ficus nitida / Sabal pa

Sabal palm

Sabal pain

Jacaranda

Black olive

Laurei oak

Quercus virginia

## LANDSCAPE SPECIFICATIONS

LANDSCAPE CONTRACT WORK INCLUDES, BUT IS NOT LIMITED TO, SOIL PREPARATION, FINE OR FINISH GRADING, FURNISHING EXCAVATE PIT AS PER PLANTING DETAILS. AND INSTALLING PLANT MATERIAL, WATERING, STAKING, GUYING AND MULCHING. PLANT SIZE AND QUALITY

PLANT SPECIES AND SIZES SHALL CONFORM TO THOSE INDICATED ON THE DRAWINGS, NOMENCLATURE SHALL CONFORM TO STANDARD PLANT NAMES, 1942 EDITION. ALL NURSERY STOCK SHALL BE IN ACCORDANCE WITH GRADES AND STANDARDS FOR NURSERY PLANTS PARTS I & II, LATEST EDITION PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, UNLESS SPECIFIED OTHERWISE. ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS ALL PLANTS SHALL BE FLORIDA GRADE NUMBER 1 OR BETTER AS DETERMINED BY THE FLORIDA DIVISION OF PLANT INDUSTRY.

ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS OF GOOD QUALITY AND BE IN A HEALTHY GROWING

AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER.

STANDARD PLANTING MIXTURE SHALL BE ONE (1) PART RECYCLED ORGANIC MATERIAL ADDED TO THREE (3) PARTS EXISTING

ARCHITECT TO BE UNSUITABLE FOR PLANTING, IE. ROAD BASE, PAVEMENT, ETC. REPLACEMENT SOIL MIX SHALL CONTAIN 60% SAND AND 40% MUCK. SAND SHALL BE 100% CLEAN NATIVE SAND SCREENED TO 1/4" AND MUCK SHALL BE 100% CLEAN ORGANIC NATIVE MUCK SCREENED TO 1/2". ALL SOIL SHALL BE MIXED PRIOR TO DELIVERY ON SITE,

MULCH SHALL BE SHREDDED MELALEUCA, EUCALYPTUS OR GRADE "A" RECYCLED. ALL MULCH IS TO BE APPLIED TO A DEPTH OF 3", EXCEPT AS OTHERWISE NOTED.

FERTILIZER IN BACKFILL MIXTURE FOR ALL PLANTS SHALL CONSIST OF MILORGANITE ACTIVATED SLUDGE MIXED WITH THE BACKFILL AT A RATE OF NOT LESS THAN 50 LBS. PER CUBIC YARD. ERTILIZER FOR TREES AND SHRUBS MAY BE TABLET FORM OR GRANULAR. GRANULAR FERTILIZER SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING. THIS FERTILIZER SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPENED BAGS, EACH BEARING THE MANUFACTURER'S STATEMENT OF ANALYSIS, AND SHALL MEET THE FOLLOWING REQUIREMENTS: 16% NITROGEN, 7% PHOSPHORUS, 12% POTASSIUM, PLUS IRON. TABLET FERTILIZER (AGRIFORM OR EQUAL) IN 21 GRAM

SIZE SHALL MEET THE FOLLOWING REQUIREMENTS: 20% NITROGEN, 10% PHOSPHORUS AND 5% POTASŠIUM FERTILIZER WILL BE APPLIED AT THE FOLLOWING RATES:

PLANT SIZE AGRIFORM TABLETS (21 GRAM) 3 LBS./1" CALIPER 2 PER 1" CALIPER

"FLORIDA EAST COAST PALM SPECIAL" SHALL BE APPLIED TO ALL PALMS AT INSTALLATION AT A RATE OF 🗤 LB. PER INCH OF TRUNK UNLESS OTHERWISE SPECIFIED.

FIELD GROWN TREES AND PALMS PREVIOUSLY ROOT PRUNED SHALL OBTAIN A ROOT BALL WITH SUFFICIENT ROOTS FOR CONTINUED GROWTH WITHOUT RESULTING SHOCK. CONTRACTOR SHALL NOT MARK OR SCAR TRUNK IN ANY FASHION.

PLANTS SHALL BE WATERED AS NECESSARY OR WITHIN 24 HOURS AFTER NOTIFICATION BY THE LANDSCAPE ARCHITECT. THE LOCATIONS OF PLANTS, AS SHOWN IN THESE PLANS, ARE APPROXIMATE. THE FINAL LOCATIONS MAY BE ADJUSTED TO CCOMMODATE UNFORESEEN FIELD CONDITIONS. MAJOR ADJUSTMENTS TO THE LAYOUT ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT.

ALL PLASTIC FABRIC SHALL BE REMOVED FROM PLANT MATERIAL AT TIME OF INSTALLATION.

ALL TREES MUST BE STAKED AS SHOWN ON THE PLANTING DETAILS WITHIN 24 HOURS OF PLANTING. STAKES TO REMAIN FOR A MINIMUM OF 9 MONTHS, BUT NO LONGER THAN 18 MONTHS. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND REMOVAL OF THE STAKES.

ALL TREES MUST BE PRUNED AS PER LANDSCAPE ARCHITECT'S DIRECTION. SABAL PALMS MAY BE HURRICANE CUT. ALL SHRUBS, TREES AND GROUND COVER WILL HAVE IMPROVED SOIL AS PER PLANTING SOIL NOTES. THE SOILS SHALL BE PLACED IN THE HOLE DURING PLANTING. TOP DRESSING ONLY IS NOT ACCEPTABLE.

DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL TREES SHALL BE SPIKED IN UTILIZING WATER AND A TREE THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS, INCLUDING UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO

PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED THE LANDSCAPE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR DEBRIS CAUSED BY HIS CREWS DURING THE PERFORMANCE OF THE WORK. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROMPTLY REMOVE ALL WASTE MATERIALS, DEBRIS, UNUSED PLANT MATERIAL, EMPTY PLANT CONTAINERS AND ALL EQUIPMENT FROM THE PROJECT SITE.

UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND REQUEST A FINAL INSPECTION. ANY ITEMS THAT ARE JUDGED INCOMPLETE OR UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE CORRECTED BY THE LANDSCAPE CONTRACTOR WITHIN 14 DAYS. L LABOR AND MATERIAL FOR SOIL AMENDMENTS AND FERTILIZER THAT IS REQUIRED TO INSURE THE SUCCESSFUL ESTABLISHMENT AND SURVIVAL OF THE PROPOSED VEGETATION, AS WELL AS ALL THE COST FOR THE REMOVAL OF UNSUITABLE OR EXCESS BACKFILL MATERIAL, SHALL BE INCLUDED IN THE CONTRACTOR'S BID TO PERFORM THE WORK

#### 2. PLANTING TREES

BACKFILL AROUND BALL WITH STANDARD PLANTING MIXTURE AND SLIGHTLY COMPACT, WATER THOROUGHLY AS LAYERS ARE PLACED TO ELIMINATE VOIDS AND AIR POCKETS. BUILD A 6" HIGH BERM OF STANDARD PLANTING MIXTURE BEYOND EDGE OF EXCAVATION. APPLY 3" (AFTER SETTLEMENT) OF MULCH EXCEPT WITHIN 6" OF TRUNK. PRUNE TREE TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE

THAN 15% OF BRANCHES. DO NOT PRUNE BACK TERMINAL LEADER. GUY AND STAKE TREE IN ACCORDANCE WIT THE STAKING DETAILS IMMEDIATELY AFTER PLANTING.

#### 3. PLANTING SHRUBS

LAYOUT SHRUBS TO CREATE A CONTINUOUS SMOOTH FRONT LINE AND FILL IN BEHIND.

EXCAVATE PIT OR TRENCH TO 1-1/2 TIMES THE DIAMETER OF THE BALLS OR CONTAINERS OR 1'-0" WIDER THAN THE SPREAD OF ROOTS FOR POSITIONING AT PROPER HEIGHT. BACKFILL AROUND PLANTS WITH STANDARD PLANTING MIXTURE, COMPACTED TO ELIMINATE VOIDS AND AIR POCKETS. FORM GRADE SLIGHTLY DISHED AND BERMED AT EDGES OF EXCAVATION, APPLY 3" OF MULCH EXCEPT WITHIN 3" OF STEMS.

PRUNE SHRUBS TO REMOVE DAMAGED BRANCHES, IMPROVE NATURAL SHAPE AND THIN OUT STRUCTURE. DO NOT REMOVE MORE THAN 15% OF BRANCHES.

#### 4. PLANTING GROUND COVER LOOSEN SUBGRADE TO DEPTH OF 4" IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED AND SPREAD SMOOTH.

SPACE PLANTS AS OTHERWISE INDICATED. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS. COMPACT BACKFILLTO ELIMINATE VOIDS AND LEAVE GRADE SLIGHTLY DISHED AT EACH PLANT. WATER THOROUGHLY, APPLY 3" OF

MULCH OVER ENTIRE PLANTING BED, LIFTING PLANT FOLIAGE ABOVE MULCH. DURING PERIODS OF HOT SUN AND/OR WIND AT TIME OF PLANTING, PROVIDE PROTECTIVE COVER FOR SEVERAL DAYS OR AS

#### 5. PLANTING LAWNS

SODDING: SOD TYPE SPECIFIED ON PLANT LIST SHALL BE MACHINE STRIPPED NOT MORE THAN 24 HOURS PRIOR TO LAYING. LOOSEN SUBGRADE TO DEPTH OF 4" AND GRADE WITH TOPSOIL EITHER PROVIDED ON SITE OR IMPORTED STANDARD PLANTING MIX TO FINISH DESIGN ELEVATIONS. ROLL PREPARED LAWN SURFACE. WATER THOROUGHLY, BUT DO NOT CREATE

FERTILIZE SOIL AT THE RATE OF APPROXIMATELY 10 LBS. PER 1,000 S.F. SPREAD FERTILIZER OVER THE AREA TO RECEIVE GRASS BY USING AN APPROVED DISTRIBUTION DEVICE CALIBRATED TO DISTRIBUTE THE APPROPRIATE QUANTITY. DO NOT FERTILIZE WHEN WIND VELOCITY EXCEEDS 15 M.P.H. THOROUGHLY MIX FERTILIZER INTO THE TOP 2" OF TOPSOIL. AY SOD STRIPS WITH TIGHT JOINTS, DO NOT OVERLAP, STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES. WORK SIFTED STANDARD PLANTING MIXTURE INTO MINOR CRACKS BETWEEN PIECES OF SOD AND REMOVE EXCESS SOIL DEPOSITS FROM SODDED AREAS. SOD ON SLOPES GREATER THAN 3:1 SHALL BE STAKED IN PLACE. ROLL OR STAMP LIGHTLY AND WATER THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING.

#### 6. MISCELLANEOUS LANDSCAPE WORK\* \*CITY OF SUNRISE APPROVAL IS REQUIRED

MAINTAIN LANDSCAPE WORK UNTIL FINAL ACCEPTANCE IS ISSUED BY THE OWNER'S REPRESENTATIVE. INCLUDE WATERING, WEEDING, CULTIVATING, RESTORATION OF GRADE, MOWING AND TRIMMING GRASS, PRUNING TREES AND SHRUBS PROTECTION FROM INSECTS AND DISEASES, FERTILIZING AND SIMILAR OPERATIONS AS NEEDED TO INSURE NORMAL GROWTH AND GOOD HEALTH FOR LIVE PLANT MATERIAL. PLANT MATERIAL SUBSTITUTION

NO SUBSTITUTION OF PLANT MATERIAL, TYPE OR SIZES WILL BE PERMITTED WITHOUT AUTHORIZATION FROM THE

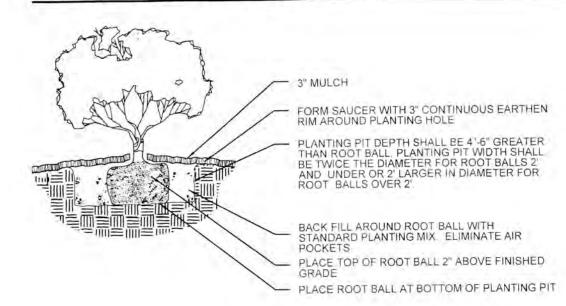
PLANTING BED PREPARATION ALL PLANTING BEDS SHALL BE PROPERLY PREPARED PRIOR TO THE COMMENCEMENT OF ANY PLANTING, PLANTING AREAS INCLUDING LAWNS SHALL BE FREE OF ALL WEEDS AND NUISANCE VEGETATION. IF TORPEDO GRASS (PANICUM REPENS) IS PRESENT OR ENCOUNTERED DURING PLANTING, THE LANDSCAPE CONTRACTOR SHALL STOP ALL PLANTING UNTIL IT CAN BE DEMONSTRATED THAT IT HAS BEEN COMPLETELY REMOVED OR ERADICATED. THERE SHALL BE NO EXCEPTIONS TO THIS

ALL LANDSCAPE ISLANDS AND BEDS WILL BE FREE OF SHELL ROCK AND CONSTRUCTION DEBRIS AND WILL BE EXCAVATED TO A DEPTH OF 30 INCHES OR TO CLEAN, NATIVE SOIL AND FILLED WITH THE SPECIFIED REPLACEMENT SOIL. LANDSCAPE WARRANT

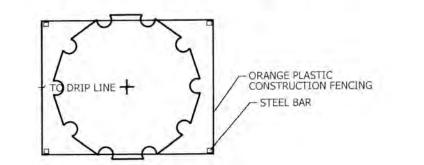
MAINTAINING PLANTS UP TO THE CONDITIONAL ACCEPTANCE PERIOD, UNLESS A WRITTEN AGREEMENT WITH THE LANDSCAPE ARCHITECT PROVIDES FOR A DIFFERENT ARRANGEMENT.

THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF SIX (6) MONTHS FROM THE DATE OF CONDITIONAL ACCEPTANCE IN WRITING FROM THE LANDSCAPE ARCHITECT. AT THE TIME OF CONDITIONAL ACCEPTANCE, THI X (6) MONTH PERIOD SHALL COMMENCE. ANY MATERIALS WHICH HAVE DIED OR DECLINED TO THE POINT WHERE THEY NO LONGER MEET FLORIDA #1 CONDITION DURING THIS PERIOD SHALL BE PROMPTLY REPLACED WITH SPECIMENS THAT MEET THE MINIMUM REQUIREMENTS CALLED FOR ON THE DRAWINGS. THE LANDSCAPE CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR THE DEATH OR DAMAGE RESULTING FROM ACTS OF GOD SUCH AS LIGHTNING, VANDALISM, AND AUTOMOBILES OR FROM NEGLIGENCE BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND OTHERWISE

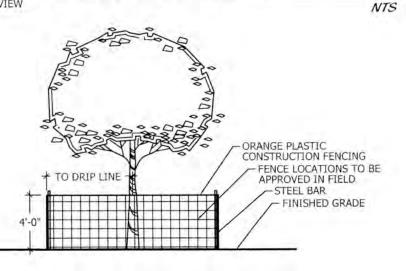
## PLANTING DETAILS



#### SHRUB/GROUNDCOVER PLANTING DETAIL



#### TREE PROTECTION DETAIL



MIN. ROOTBALL SIZE

FOR RELOCATED

CANOPY TREES PALMS

DIAMETER

32"

42"

54"

68"

72"

76"

80"

84"

OF BALL

DEPTH

OF BALL

32"

34"

36"

39"

42"

45"

48"

TREE PROTECTION DETAIL

DBH

4" - 6"

6" - 8"

8" - 10"

10" - 12"

12" - 14"

14" - 16"

16" - 18" 18" - 20"

POINTS OF CONTACT WITH TREE PLACE 3 (DOUBLE STRANDS) 12 GAUGE GALVANIZED , SPACED EQUAL DISTANCE AROUND TREE ABOVE FIRST LATERAL BRANCH PLACE SAFETY FLAGS ON GUY WIRES

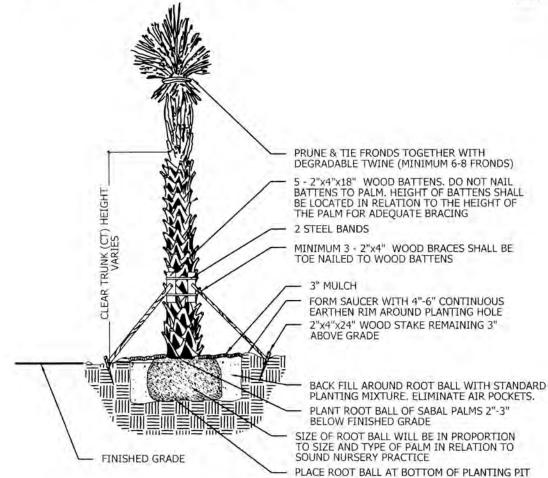
- TWIST WIRES TO ADJUST TENSION ON GUY WIRE REMOVE BURLAP FROM TOP 1/3 OF ROOTBALL IF

- 3" MULCH FORM SAUCER WITH 4"-6" CONTINUOUS EARTHEN RIM AROUND PLANTING HOLE - 2"x4"x24" WOOD STAKE DRIVEN 3" BELOW GRADE

PLANTING PIT DEPTH SHALL EQUAL DEPTH OF ROOT BALL PLUS 6" FOR SETTING LAYER OF COMPACTED STANDARD PLANTING MIXTURE. PLANTING PIT WIDTH SHALL BE TWICE THE DIAMETER OF ROOT BALL BACK FILL AROUND ROOT BALL WITH STANDARD PLANTING MIXTURE. ELIMINATE AIR POCKETS. PLANT TOP OF ROOT BALL SLIGHTLY PLACE ROOT BALL AT BOTTOM OF PLANTING PIT

#### LARGE TREE PLANTING DETAIL

NTS



#### PALM PLANTING DETAIL

# TREE RELOCATION NOTES

ALL RELOCATED TREES SHALL BE WATERED DAILY FOR A PERIOD OF NOT LES THAN 90 DAYS, AFTER WHICH THEY SHALL BE WATERED ON AN AS-NEEDED BASIS TO ENSURE HEALTHY ESTABLISHMENT. ANY TREES THAT DIE MST BE REPLACED WITH A NEW TREE OF LIKE SIZE AND TYPE

. UNLESS RELOCATED WITH A TREE SPADE, ALL ROOT BALLS MUST BE WRAPPED OR SECURED TO PRESERVE THE INTEGRITY OF THE ROOT BALL DURING TRANSPORT. ACCEPTABLE METHODS ARE BURLAP OR LENOMESH, SECURED WITH TWINE FOR PIN NAILS AND PLASTIC STRETCH WRAP. ANY NON-BIODEGRADABLE MATERIALS, SUCH AS LENOMESH AND PLASTIC STRETCH WRAP MUST BE 100% REMOVED PRIOR TO PLANTING. WIRE BASKETS, WHICH

ONE YEAR ESTABLISHMENT PERIOD, PRUNE ALL TREES IN ACCORDANCE WITH ANSI A3000 STANDARDS AND TO RÉMOVE ALL DEAD WOOD OR DEAD FRONDS.

ARE NOT TRULY BIODEGRABLE, DO ALLOW ROOTS TO CONTINUE TO GROW AND ARE AN EXCEPTION TO THIS RULE. IMMEDIATELY AFTER PLANTING AND THEN AGAIN, PRIOR TO THE END OF THE

ALL TRIMMING SHALL BE COMPLETED BY AN ISA CERTIFIED ARBORIST.

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# LANDSCAPE DATA

LANDSCAPE ADJACENT	TO ROW		REQ	PROV
1 TREE PER 25'	EAST	343.74	14	14
LANDSCAPE ADJACENT	TO MULTI-FAMILY			
1 TREE PER 25'	SOUTH	408.87	17	17
	WEST	340.25	14	14
	NORTH	366.22	15	15
SPECIMEN TREES				

#### SECTION 16-165 (d)(1)

NO ONE SPECIES OF TREE MAY CONSTITUTE MORE THAN THIRTY (30) PERCENT OF TREES OR PALMS PALMS AND TREES PROVIDED: 234 x 30% = 70 GREATEST QUANTITY OF SAME SPECIES = SILVER BUTTONWOOD (32)

SLOW GROWING NATIVE AND NON-NATIVE TREES WITH MATURE HEIGHT OF LESS THAN TWENTY FIVE (25) FEET MAY CONSTITUTE UP TO TWENTY-FIVE (25) PERCENT OF THE TREES OR PALMS REQUIRED  $234 \times 25\% = 59$ SLOW GROWING TREES / MATURE HT LESS THAN 25' PROVIDED = 69

TREES NOT COVERED IN SUBSECTION 16-165(D)(2) SHALL HAVE MATURE CROWN OF GREATER THAN TWENTY FIVE (25) FEET, TRUNKS MAINTAINED OVER SIX (6) FEET OF CLEAR WOOD: CROWN GREATER THAN 25'/TRUNKS 6' CLEAR WOOD PROVIDED = 30 (BLACK OLIVE, VERAWOOD, GUMBO LIMBO, LIVE OAK)

TREES ALONG PUBLIC RIGHT-OF-WAY REQURIE DEPARTMENT APPROVAL SO CHARACTER OF PUBLIC STREET CAN BE MAINTAINED: LIVE OAKS AND PIGEON PLUMS PROVIDED

#### SPECIMEN TREES USED TO DEFINE ENTRIES AND CIRCULATION

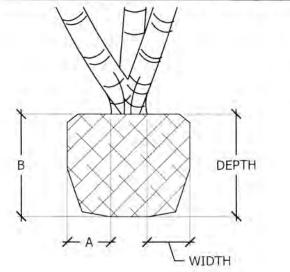
SPECIMEN GUMBO LIMBOS / BOUGAINVILLEA USED TO DEFINE ENTRANCE REQUIREMENT MET NO ONE (1) SPCIES OF SHRUB OR HEDGE SHALL CONSTITUTE MORE THAN TWENTY-FIVE (25) PERCENT OF

MID-LEVEL LANDSCAPING: 590 x 25% = 148 GREATEST QUANTITY OF SAME SPECIES = COCOPLUM (79

(SILVER BUTTONWOOD, LIGUSTRUM, PIGEON PLUM, JAPANESE BLUEBERRY)

CHOILTO TOS(I)	300	11116	TVL		1401	
	REQ	PRO	REQ	PRO	REQ	PI
% LENGTH TO BE MID-LEVEL	205	135*	171	118*	184	12
% OF MID-LEVEL TO BE LOWER LEVEL	103	118	85	140	92	1
% OF MID-LEVEL TO BE UPPER LEVEL	21	24	18	24	19	7
LUSIA @ 7 GAL, 3' HT X 2' SPRD, 2.5' OC	USED TO	FULFILL TH	IS SECTIO	N		

# MEASURING WIDTH & DEPTH OF A ROOT BALL



# MIN. ROOTBALL SIZE FOR RELOCATED PALMS

OVERALL HEIGHT OF PALM	WIDTH OF BALL* (A)	DEPTH OF BALL* (B)
<15 FT.	10"	24"
15 - 25 FT.	12"	30"
26 - 30 FT.	16"	36"
>30 FT.	20"	42"

\* WIDTH SHALL BE A PARTIAL RADIUS MEASURED FROM THE BASE OF THE TRUNK IN SINGLE TRUNKED PALMS, OR FROM THE BASE OF THE STEM FARTHEST FROM THE CENTER OF THE CLUSTER IN CLUSTERING PALMS TO THE EDGE OF THE BALL. SEE DETAIL ABOVE

# MIN. REQUIREMENTS FOR ROOT PRUNING

MINIMUM SIZE REQUIRING ROOT PRUNING
NOT REQUIRED
OVER 8" DBH

RELOCATED BUT IS ONLY REQUIRED ON TREE SIZES AS NOTE ABOVE. THE TREE TYPES ABOVE MIST BE ROOT PRUNED A MINIMUM OF 8 WEEKS PRIOR TO DIGGING (12 WEEKS IS RECOMMENDED). ROOT PRUNING IN 2 STEPS IS PREFERRED BUT NOT REQUIRED. PRUNE THE FIRST HALF OF THE ROOT AREA A MINIMUM OF 4 WEEKS BEFORE THE SECOND HALF. ROOT PRUNING IS REQUIRED EXCEPT WHEN A TREE SPADE IS USED.

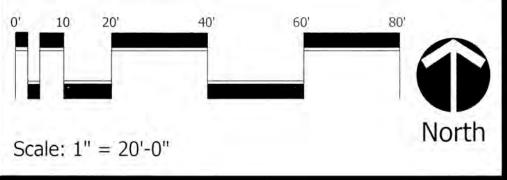
# Cotleur & 561.747.6336 · Fax 561.747.1377 · Lic.# LC-26000535 Landscape Architects | Land Planners | Environmental Consulta

www.cotleurhearing.com

Black olive Bucida buceras
TOTAL CANOPY SF REPLACEMENT REQUIRED

REPLACEMENT TREES (SEE COMMON AREAS PLANTILIS

APPROVED\_ JOB NUMBER 21-100 02-23-DATE\_ 02-24-2 REVISIONS\_ 09-13-2



SPECIMEN

MITIGATE

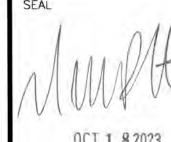
REMAIN REMAIN

REMOVE

SUNSET STRIP SQUARE 1577 SUNSET STRIP SUNRISE, FLORIDA 33313

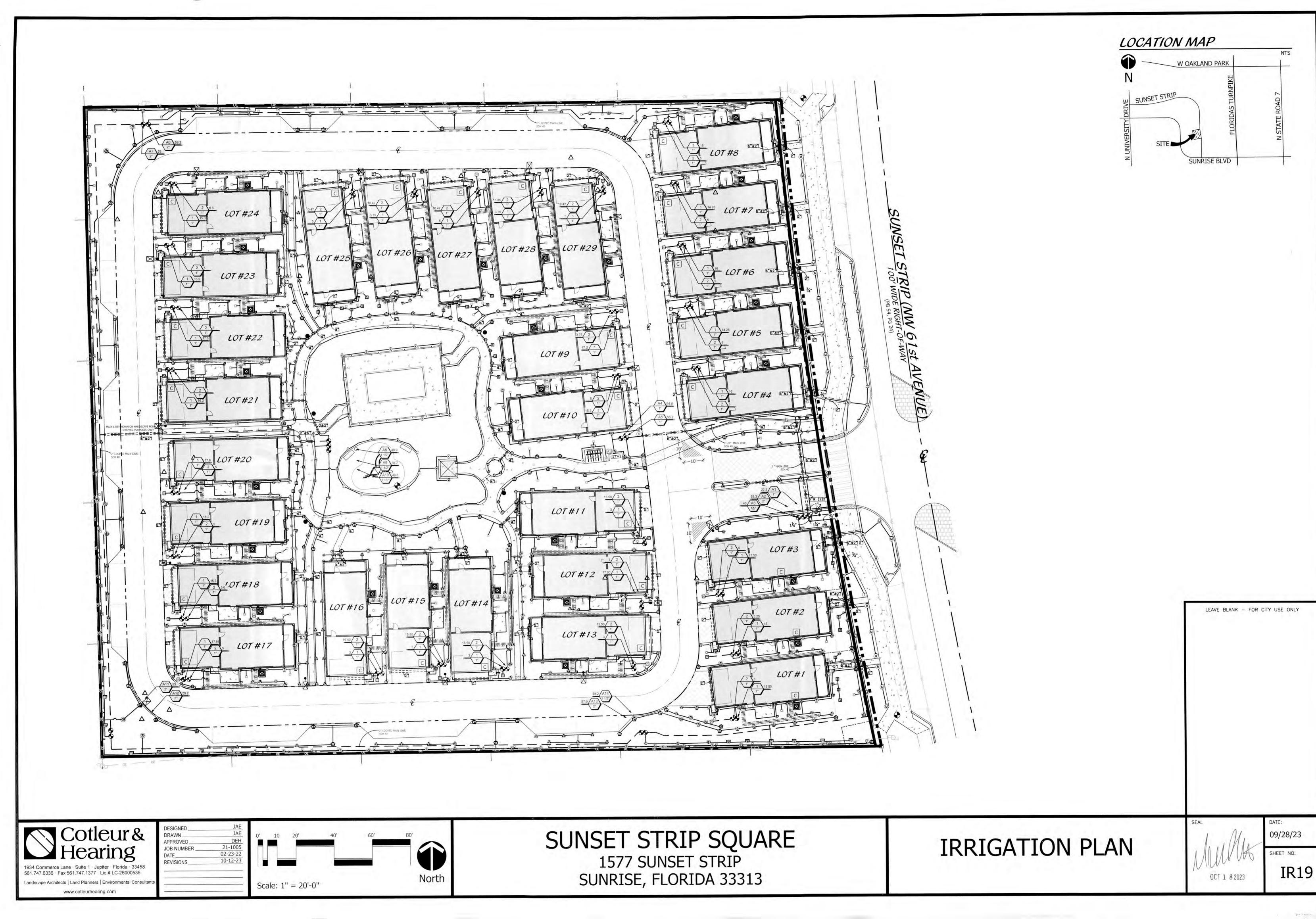
REQUIREMENT MET

LANDSCAPE PLAN **DETAILS** 



OCT 1 8 2023

02/23/22



# IRRIGATION NOTES A. EXTENT:

Includes furnishing all labor, materials and equipment for the proper installation of the irrigation system. The work includes, but is not limited to the following: (1) Trenching and Backfill; (2) Automatically Controlled Irrigation System; (3) Test All Systems and Make Operative; (4) "As-Built" Drawings.

#### B. GENERAL:

- 1. Permits and Fees: Obtain all permits and pay required fees to any governmental agency having jurisdiction over the work. Inspections required by local ordinances during the course of construction shall be arranged as required. On completion of work, satisfactory evidence shall be furnished to the Tenant's construction representative to show that all work has been installed in accordance with the ordinances and code requirements.
- 2. Approval: Wherever the terms "approve" or "approved" are used in the specifications, they shall mean the approval of the tenant's construction representative in writing.
- 3. Before any work is started, a conference shall be held between the contractor and the Tenant's construction representative concerning the work under this
- 4. Coordination: Coordinate and cooperate with other contractors to enable the work to proceed as rapidly and efficiently as possible.
- Inspection of Site:
- a. Contractor shall acquaint himself with all site conditions. Submission of his proposal shall be considered evidence that the examination has been conducted. Should utilities not shown on the plans be found during excavations, Contractor shall promptly notify the Tenant's construction representative for instructions as to further action. Failure to do so will make contractor liable for any and all damage thereto arising from his operations subsequent to discovery to such utilities not shown in plans. b. Contractor shall make necessary adjustments in the layout as may be required to connect to existing stubouts, should such stubs not be located exactly as shown, and as may be required to work around existing work at no increase in cost to the Tenant's construction representative.
- 6. Protection of Existing Plants and Site Conditions: The Contractor shall take necessary precautions to protect site conditions to remain. Should damage be incurred, this Contractor shall repair the damage to its original condition at his own
- 7. The owner reserves the right to substitute, add, or delete any material or work as the work progresses. Adjustments to the contract price shall be negotiated if deemed necessary by the Owner on a per diem basis.
- 8. The Owner reserves the right to reject material or work which does not conform to the Contract Documents. Rejected work shall be removed or corrected at the
- 9. Work Schedule: Within 10 days after award of the Contract, the contractor shall submit to the Owner a work schedule.
- 10. "As-Built" Irrigation Drawings: Prepare an "As-Built" drawing on a blueprint which shall show deviations from the bid documents made during construction affecting the main line pipe, controller locations, sleeves, remote control valves and quick coupling valves. The drawings shall also indicate and show approved substitutions of size, material and manufacturers name and catalog name and catalog number. The drawings shall be delivered to the Tenant's construction representative before final acceptance of work.
- 11. Final Acceptance: Final acceptance of the work may be obtained from the Tenant's construction representative upon the satisfactory completion of all work.
- 12. Guarantee: All work shall be guaranteed for one year from date of acceptance against all defects in material, equipment and workmanship. Guarantee shall also cover repair of damage to any part of the premises resulting from leaks or other defects in material, equipment and workmanship to the satisfactory of the Tenant's construction representative. Repairs, if required, shall be done promptly at no cost to the Owner.

#### C. MATERIALS:

- 1. General: All materials throughout the system shall be new and in perfect
- 2. Plastic Piping: All main lines shall be Sch. 40 type 1120-1220 polyvinyl chloride (PVC) pipe and shall conform to CS-256-63. All lateral piping shall be PVC Class 160 solvent weld conforming to ASTM D-1784 and D-2241.
- 3. Plastic Fittings: Sch. 40 solvent weld, polyvinyl chloride (PVC) standard weight as manufactured by Sloane, Lasco, or approved equal.
- 4. Solvent Cement: Compatible with PVC pipe, of proper consistency, and color.
- 5. Sprinkler Head Risers: Sch. 40 PVC for risers. Pipe shall be cut in a standard pipe cutting tool with sharp cutters. Ream only to full diameter of pipe and clean all rough edges or burrs. Cut all threads accurately with sharp dies. Not more than three (3) full threads shall show beyond fittings when pipe is made up. Assemblies shall be as detailed.
- Automatic Controllers: See Legend
- 7. Remote Control Valves: See Legend
- 8. Control Wiring: 24 volt solid UL approved for direct burial in ground. Minimum wire size: 14 gauge single strand wire
- 9. Sleeves for Control Wiring: Under all walks and paved areas and where indicated on drawings. Minimum PVC Sch. 40 psi plastic pipe.

JOB NUMBER

21-1005

Sprinkler Heads:

#### D. WORKMANSHIP:

- 1. Lay out work as accurately as possible to the drawings. The drawings though carefully drawn, are generally diagrammatic to the extent that swing joints, offsets, and all fittings are not shown.
- 2. The Contractor shall be responsible for full and complete coverage of all irrigated areas and shall make any necessary minor adjustments at no additional costs to the Tenant's construction representative.
- 3. Any major revisions to the irrigation system must be submitted and answered written form, along with any change in contract price.

#### E, INSTALLATION:

### Excavation and Trenching:

- a. Perform all excavations as required for the installation of the work including under this section, including shoring of earth banks to prevent cave-ins. Restore all surfaces, existing underground installations, etc., damaged or cut as a result of the excavations to their original condition and in a manner approved by the Owner.
- b. Trenches shall be made wide enough to allow a minimum of 6 inches between parallel pipe lines. Trenches for pipe lines shall be made of sufficient depths to provide the minimum cover from finish grade as follows:
- 1) 18" minimum cover over main lines
- 2) 12" minimum cover over control wiring from controller to valves. 3) 12" minimum cover over lateral lines to heads.
- c. Maintain all warning signs, shoring, barricades, flares and red lanterns as required by the Safety Orders of the Division of Industrial Safety and local ordinances.

#### 2. Pipe Line Assembly

- a. Install remote control valves where shown and group together where practical; place no closer than 12 inches to walk edges, buildings and
- b. Plastic pipe and fittings shall be solvent welded using solvents and methods recommended by manufacturer of the pipe, except where screwed connections are required. Pipe and fittings shall be thoroughly cleaned of dirt, dust and moisture before applying solvent with a nonsynthetic bristle brush. c. Pipe may be assembled and welded on the surface. Snake pipe
- from side to side to trench bottom to allow for expansion and d. Make all connections between plastic pipe and metal valves or steel
- pipe with threaded fittings using plastic male adapters.

#### Sprinkler Heads:

- a. Install all sprinklers as detailed on drawings, b. Do not scale plans for exact head location.
- Closing of Pipe and Flushing Lines:
- a. Cap or plug all openings as soon as lines have been installed to prevent the entrance of materials that would obstruct the pipe. Leave in place until removal is necessary for completion of installation b. Thoroughly flush out all water lines before installing heads, valves and
- c. Test in accordance with paragraph on Hydrostatic Tests. d. Upon completion of the testing, the contractor shall complete assembly and adjust sprinkler heads for proper distribution.

#### Hydrostatic Tests:

- a. Request the presence of the Owner in writing at least 48 hours in advance of testing.
- b. Testing to be accomplished at the expense of the Contractor and in the presence of the Owner. c. Center load piping with small amount of backfill to prevent arching or
- d. Applying a continuous and static water pressure of 125 psi when welded plastic joints have cured at least 2 hours and with the risers
- 1) Main lines and submains to be tested for 2 hours with a minimum 8 psi los e. Repair leaks resulting from tests.

#### 6. Automatic Controllers

- a. Connect remote control valves to controller in a clockwise sequence to correspond with station setting beginning with Stations 1, 2, 3, etc.
- 7. Automatic Control Wiring:
- a. Install control wiring, sprinkler mains and laterals in common trenches
- b. Install control wires at least 18" below finish grade and lay to the side and below the main line. Provide looped slack at valves and snake wires in trench to allow for contraction of wires. Tie wires in bundles at
- c. Control wire splices will be allowed only runs over 500 ft. Connections shall be detailed.
- d. All wiring passing under existing or future paving, construction, etc., shall be encased in plastic or galvanized steel conduit extending at least 12" beyond edges of paving or construction

#### 8. Backfill and Compacting:

- a. After system is operating and required tests and inspections have been made, backfill excavations and trenches with clean soil, free of
- b. Backfill for all trenches, regardless of the type of pipe covered, shall be compacted to minimum 90% density.
- c. Compact trenches in areas to be planted by thoroughly flooding the backfill. Jetting process may be used in those areas.
- d. Dress off all areas to finish grades.

# IRRIGATION SCHEDULE

Hunter PROS-06 10A

Hunter PROS-06 12A

Hunter FRDS-06 15A

Hunter PROS-06 17A

Hunler PROS-12 02H

Hunter PROS-12 020

Hunter PROS-12 04H

Hunter PROS-12 040

Hunter PROS-12 06H

Hunter PROS-12 050

Hunter PROS-12 CS-530

Hunter PROS-12 ES-515

Hunter PROS-12 LCS-515

Hunter PROS-12 RCS-515

Hunter PROS-12 SS-530

Hunter PROS-12 05F

Hunter PROS-12 05H

Hunter PROS-12 050

Hunter PROS-12 08F

Hunter PROS-12 080

Hunter PROS-12 10H

Hunter PROS-12 100

Hunter PROS-12 12H

Hunter PROS-12 12Q

Hunter PROS-12 15H

Hunter PROS-12 15Q

Hunter PROS-12 170

Hunter PROS-12 06A

Hunter PROS-12 08A

Hunter PROS-12 10A

Hunter PROS-12 15A

Hunter MP Comer PROS-06-PRS40-CV T

Hunter MP Strip PROS-05-PRS40-CV RS

Hunter MP1000 PROS-06-PRS40-CV L

Hunter MP1000 PROS-06-PRS40-CV M

Hunter MP2000 PROS-06-PRS40-CV G

Hunter MP2000 PROS-06-PRS40-CV K

Hunter MP800SR PROS-06-PRS40-CV 360

Hunter MP800SR PROS-06-PRS40-CV AD.

MBOL	MANUFACTURER/MODEL	CTV	ARC	PSI	GPM	RADIUS		
•	Hunter PROS-05-02H		180	30	0.16	2'	SYMBOL MANUFACTURER/MODEL/DESCRIPTION QT	3
0	Hunter PROS-06 04H	5	180	30	0.44	4'	Area to Receive Dripline	
O	Humby PROS-06 04Q	39	90	30	0.22	4'-	Ruin Bird XFD-09-12  XFD On-Surface Pressure Compensating Landscape Dripline 0.9 2.0  GPH emitters at 12" O.C. Dripline laterals spaced at 12" apart.	531F
Θ	Hunter PROS-08 06H	±	180	90	0 98	6'	with emiders offset for triangular pattern. UV Resistant. Specify XF insert fittings.	
Ø	Hunter PROS-05 06Q	į.	90	-30	0.51	6'	SYMBOL MANUFACTURER/MODEL/DESCRIPTION QT	TY
A	Hunter PROS-05 GS-530	1	CST	30	1.3	5'x30'	Hunter PGV 1" . 1 2" Plastic Electric Remote Control Valves.  Globe Configuration, with NPT Threaded Inlet/Outlet, for	
A	Hunter PROS-06 ES-515	1	EST	30	0.65	5'x15'	Commercial Municipal Use	
۸	Hunter PROS-05 LCS-515	2.5	LCS	-30	0.65	5'x15'	Hunter PGV-101G DRIP  1" Plastic Electric Remote Control Value for Residential/Light 29  Commercial Use, Female NPT Inlet/Dutiet, Globe Configuration	
A .	Hunter PROS-36 RCS-515	22	RCS	30	0.65	5'x15'	With Flow Control.  Home-Irrigation Meters (By Others) 29	
A	Hunter PROS-06 SS-530	5.2	SST	301	13	5'x30'		
0	Hunter PROS-56 05H	12"	150	30	0.23	5'	C Hunter PRO-G With Hunter Mini Clix. 29	
Ó	Hunter PROS-06 05Q	35	90	30	0.12	5'	Common Areas 1 3" Imgation Meter (By Others)	
0	Hunter PROS-06 08H	35	180	30	0.47	8'	Hunter ICC2 12C-800-SS with ICM-800 Module Controller and Hunter Mini Clik	
0	Hunter PROS-06 0BQ	46	90	30	0 24	8'		46414
0	Hunter PROS-06 10H	41	180	àÓ	0.88	101	The state of the s	5 1 5 nn
<b>®</b>	Hunter PROS-06 100.	50	90	30	0.42	101	Irrigation Mainline: 2 & 2 1/2" PVC Class 200 (As Noted on Plans)	808   f
2	Hunter PROS-05 1ZF	4	360	30	27	12"		
2	Hunter PROS-06 12H	34	1.50	30	1.3	12"		
Ð	Hunter PROS-05-120	88	90.	30	0.67	12'		
Ð	Hunter PROS-06 15H	40	180	30	1 86	15'	SHRUB ADAPTOR	
Ð	Hunter PROS-06 15Q	6	90.	30	0.97	15'	MOUNTED ON PVC RISER (PURPLE IN COLOR)	
n	Hunter PROS-66 17H	4	180	30	2.37	17'	$\sim 100$	
9	Hunter PROS-06 04A	111	Adj	30		4'	MIN. (3) HEAVY DUTY BLACK	
9	Hunter PROS-06 06A	13	Adj	30		6'	PLASTIC SNAP TIES AND A RUBBER HOSE OVER THE END OF REBAR	
Ð	Hunter PROS-06 08A	28	Äđ)	30		(8)	FINISH	

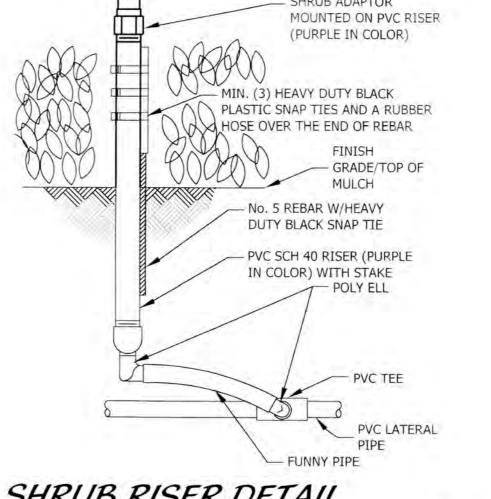
30 0.16 2"

30 0.22 4"

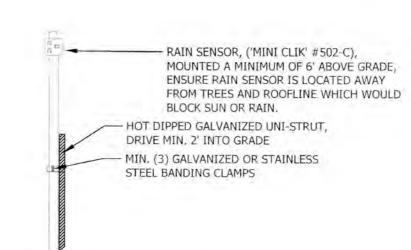
180 30 0.44 4"

EST 30 0.65 5'x15'

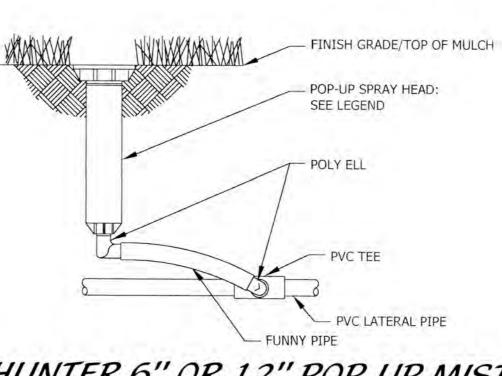
LCS 3D 0.85 5'x15'



SHRUB RISER DETAIL



RAIN SENSOR DETAIL



HUNTER 6" OR 12" POP-UP MIST HEAD DETAIL

ADJUSTABLE FULL CIRCLE BUBBLER: SEE LEGEND PLANT MATERIAL 3" MIN. - FINISH GRADE/TOP OF MULCH UV RADIATION RESISTANT 1/2-INCH PVC SCH 80 NIPPLE (LENGTH AS REQUIRED) 1/2-INCH FEMALE NPT x - 0.490-INCH BARB ELBOW SWING PIPE, 12-INCH LENGTH PVC LATERAL PIPE SCH 40 TEE OR ELL

HUNTER ADJUSTABLE BUBBLER DETAIL

LEAVE BLANK - FOR CITY USE ONLY

Valve Callout

30" LINEAR LENGTH

WATER PROOF CONNECTION

ID TAG WITH ZONE NUMBER

FINISH GRADE / TOP OF MULCH OR SOD

- APPROVED BACKFILL

REMOTE CONTROL VALVE

MAINLINE TEE

PVC MAINLINE PIPE

3" MINIMUM DEPTH OF

3/4" WASHED GRAVEL

PVC LATERAL PIPE

**PVC CONDUIT** 

WITH DECODER: SEE LEGEND

- 'CARSON' 12" X 18" VALVE BOX

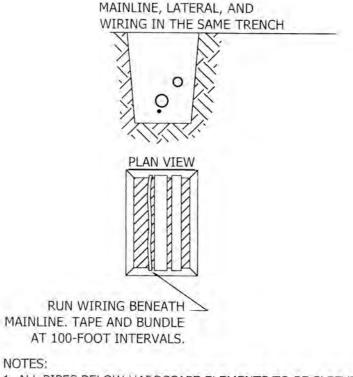
OF WIRE COILED

(1 OF 2)

Valve Number

Valve Flow

Valve Size



SYSTEM DESIGN CRITERIA

GPM

**GPM** 

GPM

GPM

VALVE DETAIL

FOR LATERAL PIPE SIZES

8 - 15

\*ALL SLEEVING IS TO BE AT LEAST TWICE

THE SIZE OF PIPE TRAVELING THROUGH

50 - 68 GPM

\*ALL PIPE SHALL BE SIZED IN ACCORDANCE WITH

THE ABOVE CRITERIA UNLESS SPECIFICALLY NOTED.

15 - 22

1-1/2" 22 - 32

1-1/4"

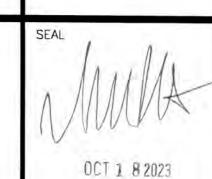
1. ALL PIPES BELOW HARDSCAPE ELEMENTS TO BE SLEEVED WITH SCH 40 PVC TWO SIZES GREATER THAN SIZE OF THE PIPE OR WIRE BUNDLE

PIPE AND TRENCHING DETAIL

2. FOR PIPE AND WIRE BURIAL DEPTHS SEE SPECIFICATIONS

SUNSET STRIP SQUARE 1577 SUNSET STRIP SUNRISE, FLORIDA 33313

IRRIGATION PLAN

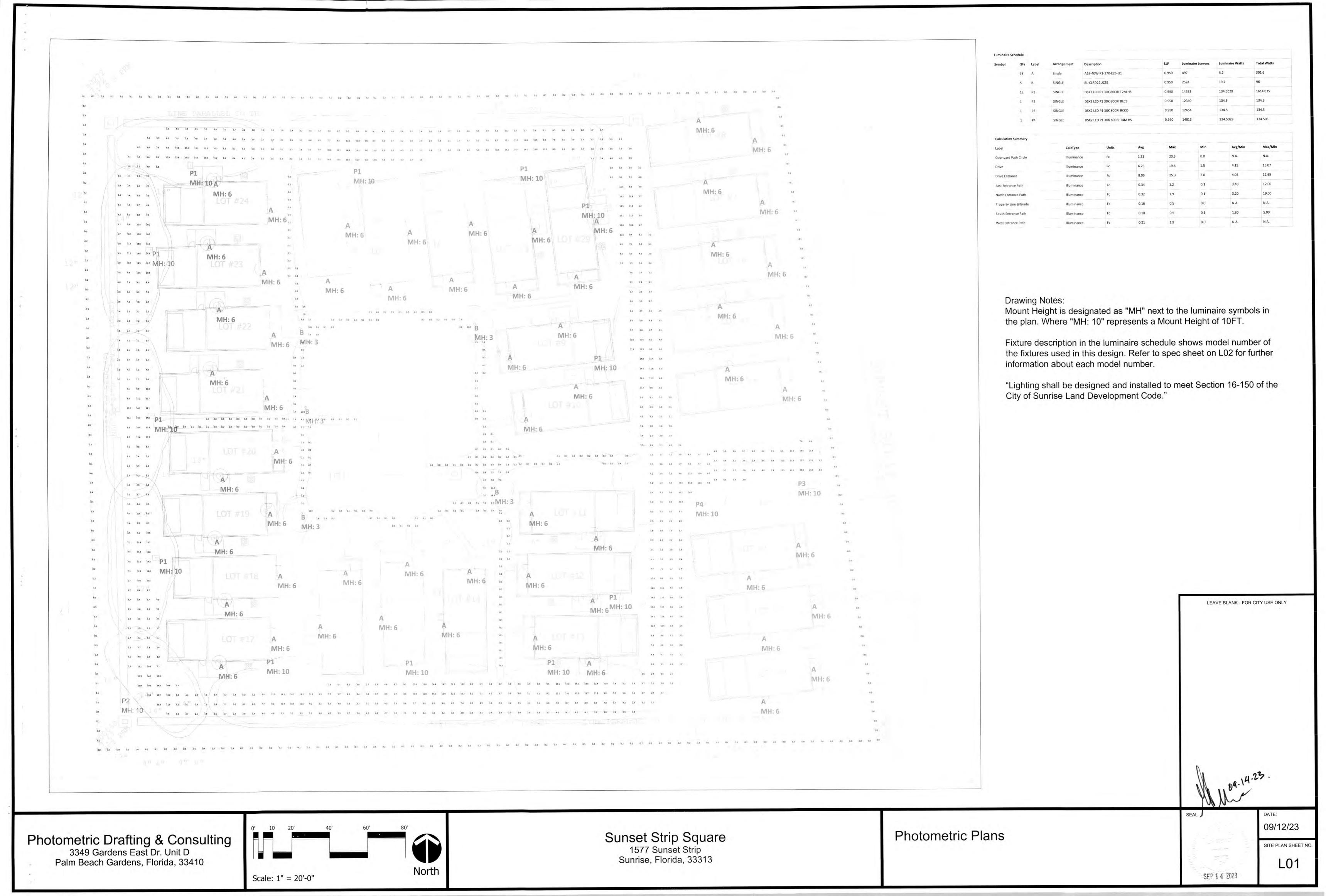


09/28/23 SHEET NO. **IR20** 

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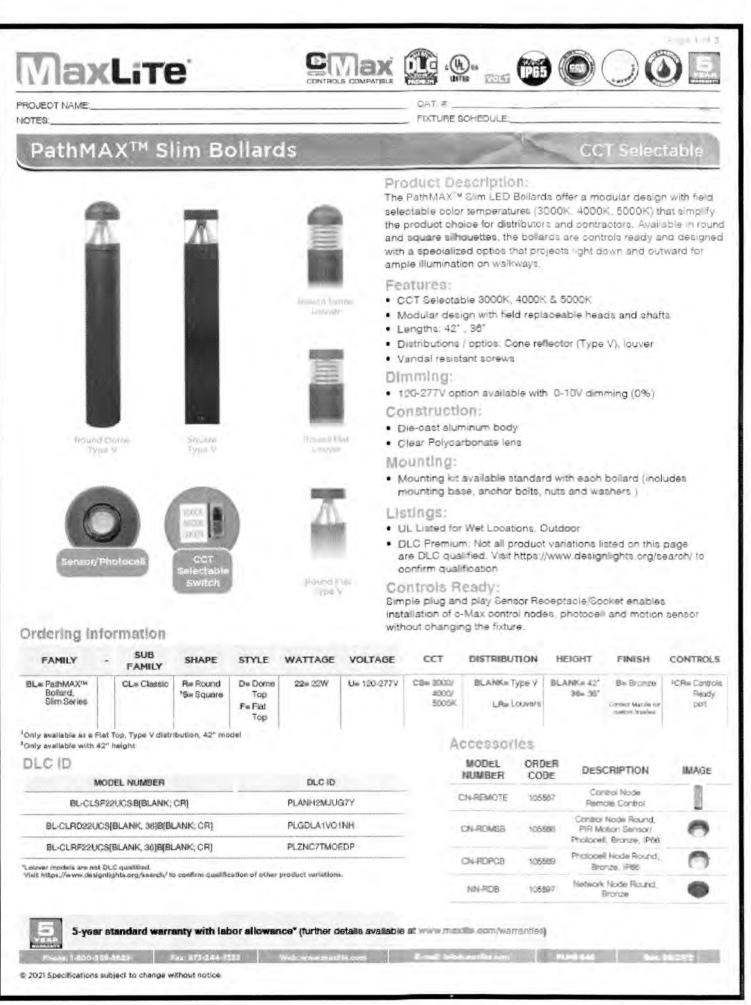
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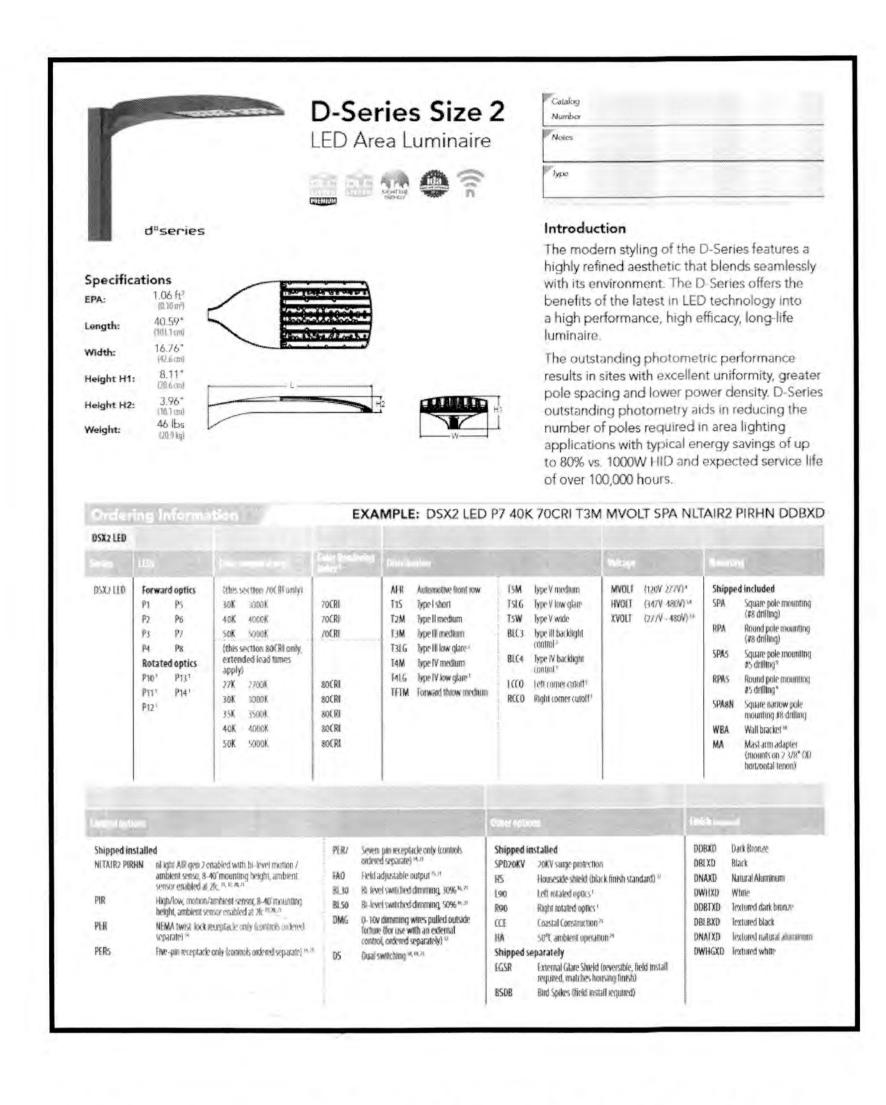
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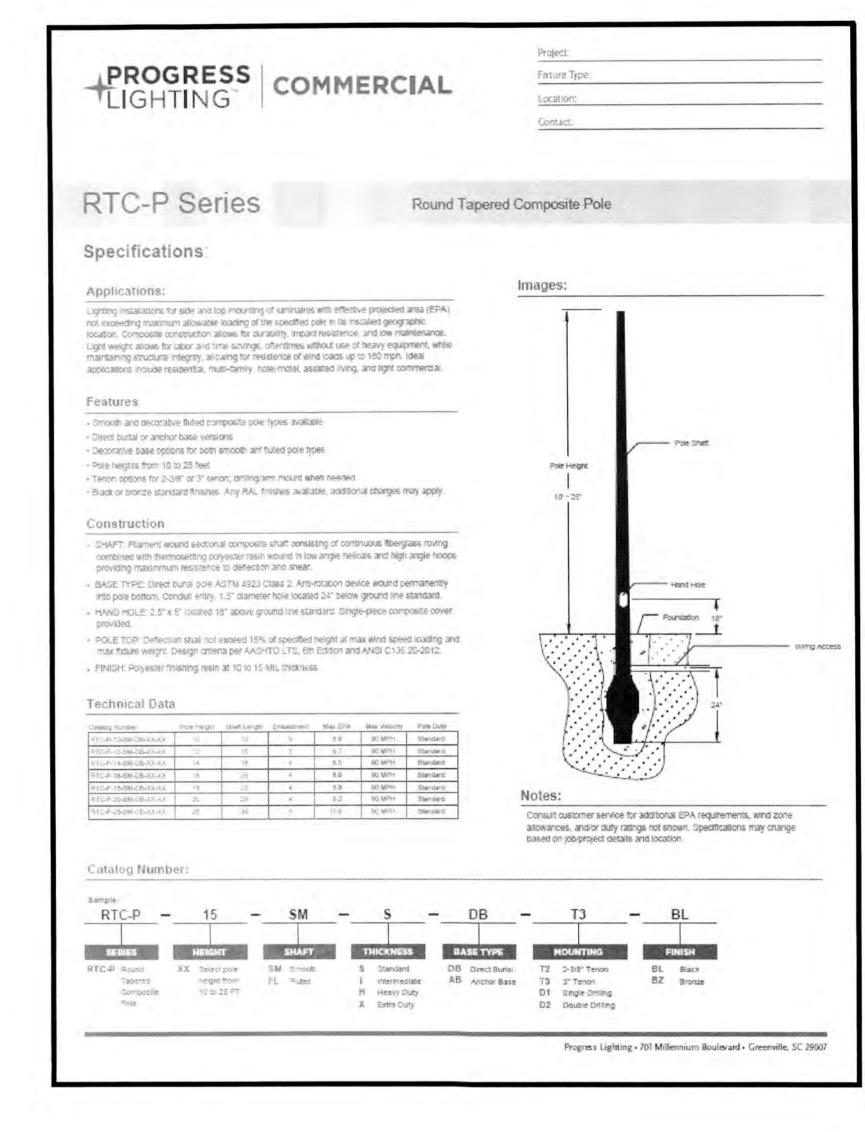


Type A





Types P1,P2,P3 & P4 Fixture



Types P1,P2,P3 & P4 Pole

Type B

Sunset Strip Square 1577 Sunset Strip Sunrise, Florida, 33313

Fixture Spec Sheets

08/16/23 SITE PLAN SHEET NO SEP 1 4 2023

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Photometric Drafting & Consulting 3349 Gardens East Dr. Unit D Palm Beach Gardens, Florida, 33410