



Date: Thursday, March 3, 2022

Time: 6:00 p.m.

Location: Flamingo Park Meeting Hall

Address: 12855 NW 8 Street, Sunrise, FL 33323

A. Call to Order

Ms. Storms called the meeting to order at 6:06 p.m.

B. Pledge of Allegiance and Moment of Silence

C. Roll Call

Board Members Present: Jane Storms, David Iannacone, Athea Antoine, Fitzwilliam Thompson, and Shanesa Mykoo.

Board Member(s) Absent: Vivi Assidon and James Tabeek.

City Staff Present: Shannon Ley, Jim Koeth, Matthue Goldstein, Marianne Edge and Gabriela Ruiz.

D. Open Discussion – Public Participation

The member(s) of the public present chose not to speak.

E. Approval of Minutes – February 3, 2022

Mr. Iannacone motioned to approve the minutes. Seconded by Ms. Antoine. There was no further discussion.

Roll Call

Jane Storms	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Shanesa Mykoo	Yea

F. Old Business

There was no old business brought before the Board.

G. New Business

1. Application:	Cypress of Sunrise (Site Plan)
Application Number:	17:118 (06:15)
Applicant:	Paulo Antonione, Saler Solutions, LLC.
Property Owner:	Brangus Developments LLC
Use:	Duplex
Location:	South side of NW 38 Street, between NW 90 Terrace and NW 91 Avenue
Folios:	4941.2064.0010
Current Zoning:	RM-10 (Low Medium Multifamily Residential District)
C Number:	C22045
City Commission Meeting:	March 22, 2022
Planner:	Marianne Edge, AICP

Ms. Marianne Edge, Assistant City Planner, summarized the Staff Report with the entire report entered into the record. Ms. Edge briefed the Board on the architectural proposal of three, two-family dwelling structures.

Ms. Yanina Mauro, Project Manager of Red Octopus, LLC, was present and provided further information about the application.

Ms. Antoine asked about the number of visitor parking spaces. Ms. Mauro answered the proposal is to have three (3) parking spaces per unit and four (4) additional parking spaces for guests.

Mr. Iannacone asked if the project is required to have the same architectural features similar to the project approved by the Board at its last meeting [Hidden Cypress Villas – Site Plan]. Ms. Edge replied the projects do not have to have match, but were reviewed for consistency and harmony with the design of the developments in the area as required by Code, which staff determined this proposal does provide.

Ms. Storms asked if there is an agreement regarding any right-of-way improvements, and if so, when would the improvements be completed. Ms. Mauro replied there are plans to complete the off-site improvements in conjunction with the proposed project. Ms. Storms stated that a condition could be added to require the off-site improvements be completed before the first Certificate of Occupancy. Ms. Mauro replied there would be no objection to such a condition.

Mr. Iannacone motioned to approve the Staff recommendation with the additional condition that all off-site improvements be completed prior to approval of the first Certificate of Occupancy. Seconded by Mr. Thompson. There was no further discussion.

Roll Call

Jane Storms	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Shanesa Mykoo	Yea

2. Application:	Sunrise Country Club – Land Use Plan Amendment (LUPA)
Application Number:	LUPA-000183-2021 (94:060002)
Applicant:	Jimmy Wright, P.E., CC Homes
Property Owner:	Windsor Investments (Sunrise Golf & Country Club), LLC, Windsor Investments (Fairway Isles), LLC TM Real Estate Group, LLC
Use:	Single and Multi-Family Residential
Location:	Bounded on all sides by Aragon Boulevard, East Sunrise Lakes Drive and NW 30 Place (a portion of the former Golf Course site only)
Folios:	4941.2701.0022, 4941.2701.0020, 4941.2701.0023, 4941.2701.0024, 4941.2738.0020 and 4941.2801.0060
Current Zoning:	Commercial Recreation RM-10 (Low Medium Multifamily Residential District) RM-25 (Higher Density Multiple-family Residential District)
C Number:	C22046
City Commission Meeting:	March 22, 2022
Planner:	Matthue Goldstein

Mr. Matthue Goldstein, Planning and Zoning Manager, summarized the Staff Report with the entire report entered into the record. Mr. Goldstein briefed the Board on the Sunrise Country Club (Solterra) Land Use Plan Amendment for the City of Sunrise Future Land Use Map.

Mr. Dennis Mele, of Greenspoon Marder, and Mr. James Wright, of CC Homes, were present and provided further information about the application.

Mr. Fitzwilliam requested further information regarding condition #3 in the Staff Report. Mr. Goldstein replied that before this project goes to the second City Commission (adoption) hearing, the City has to acquire a fee simple title for the public park entryway, as mentioned in the Development Agreement.

Mr. Iannacone requested further information regarding the vertical road, between NW 30 Place and West Oakland Park Boulevard. Mr. Mele stated that that is a bridge which the applicant will be widening from a two-lane road into a four-lane road for the benefit of all travelers.

Ms. Athea asked how long it will take to construct the project upon all approvals. Mr. Wright replied approximately three (3) years. Mr. Mele mentioned that Mr. Wright was the builder for the Monterra development in the City of Pembroke Pines. Mr. Wright added that Monterra took approximately four and a half years to build, although this subject application is a smaller property.

Ms. Storms requested further explanation regarding the Community Development District (CDD). Mr. Mele explained a CDD and its similarity to a Home Owner’s Association (HOA). Mr. Mele explained the benefits of a CDD from a financial standpoint, such as bonds for public improvements, etc., as well as the ability to receive “dues” through the tax bill.

Ms. Storms asked how the applicant is mitigating the failing roads. Mr. Mele replied that those roads were failing with or without this amendment, but there are a number of improvements to adjacent roadways the applicant would be providing. Mr. Mele added that if the County requires them to do more improvements, they will meet those requirements.

Ms. Storms asked about the real numbers for the affordable housing component. Mr. Mele replied that there is an established number in Broward County for median income which also depends on the household size. Mr. Mele added that the maximum level of affordable housing is 120% of the median income of the County and that is called moderate affordable. The concept is that households should not be spending more than 30% of household's income on housing and that type of data is based upon annually updated information from Broward County. Mr. Mele stated that the proposed project will have a restrictive covenant to provide for affordable housing units for thirty (30) years.

Ms. Storms asked if the roadway (as discussed in condition #3) will be able to be acquired before the second City Commission hearing. Mr. Wright replied the application could not be adopted until that process is completed. Mr. Mele added that the City already started this process. Ms. Shannon Ley, Director of the City of Sunrise Community Development Department, added that the process has been positively progressing.

Ms. Mykoo motioned to approve with Staff's recommendations. Seconded by Mr. Iannacone. There was no further discussion.

Roll Call

Jane Storms	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Shanesa Mykoo	Yea

H. Land Development Code Amendments

Mr. Koeth briefed the Board on changes made to the Land Development per Ordinance No. 402-22-A.

I. Development Project Update

Mr. Koeth provided the Board with an update regarding an application reviewed and approved by the Board at its last meeting on Thursday, February 3, 2022 and which had been brought before City Commission for action.

J. Board Forum

The Board re-reviewed the Roll Call for Agenda Item E – Approval of Minutes – February 3, 2022.

K. Adjournment

Ms. Storms motioned to adjourn the meeting. Seconded by Ms. Antoine. All were in favor.

The meeting adjourned at 6:56 p.m.

Transcribed by:

E. Gabriela Ruiz
Board Secretary

Date

NOTE TO READER:

- If these minutes do not bear the date of approval, this indicates that they are not the final approved minutes and will become the official minutes when approved by the Board.
- Approved at the Planning and Zoning Board Meeting of: _____
- If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S.S. 286.0105.
- Policy of non-discrimination on the basis of handicapped status; equal opportunity employer.
- Any person who believes he or she has a disability requiring the use of auxiliary aids and services at this meeting may call the Board Secretary, at (954) 746-3281 at least two (2) business days prior to the meeting to advise of his/her special requirements.



STAFF REPORT

SAWGRASS MILLS – HOMESENSE (REVISED SITE PLAN)

Summary

This is an application for Revised Site Plan approval for renovations to Anchor B at the Sawgrass Mills Mall (hereafter "Mall"), located at 12801 W. Sunrise Boulevard, as shown on the location map. The property is zoned B-3 (General Business District) and the underlying land use is Commercial on the City's Future Land Use Map. The Revised Site Plan requires City Commission approval as per Section 16-32 of the Land Development Code (LDC).

General Information

The Mall's original Site Plan was approved on January 10, 1989, via Resolution No. 89-11, and has gone through several revisions since that time. This application to revise the Site Plan proposes new architectural designs, pedestrian lighting and landscaping modifications to the existing Anchor B retail building within the northeast corner of the Mall.

Anchor B was formerly occupied by a single tenant and was subdivided following the approval of a Site Plan for the Primark store on June 25, 2019 via Resolution No. 89-11-9-A. Primark currently occupies the northeast section of Anchor B.

The subject property is located within the Sawgrass Mills Development of Regional Impact (DRI). The City Commission approved the DRI Development Order on November 12, 2002 via Ordinance No. 893-X.

Project Description

This proposed project includes a retail store, known as HomeSense, to occupy the remaining southwest portion of Anchor B. The proposed changes include the following:

- A new storefront entry will be created in the south facade, including a "portal" facade element around the entry doors, which is architecturally compatible to the entry for the adjacent Primark store. The portal element will be painted white, with the remainder of the facade painted various shades of gray.

- The existing generator screen, on the west facade, will also be painted gray to match the building. The awing over the loading bay will be painted dark gray.
- The landscaping will be modified to accommodate the new entry doors, with new light poles added at the entrance.

No changes are proposed within the drive aisles or parking lot.

Staff Evaluation

Staff has reviewed the Revised Site Plan application and find it consistent with the LDC.

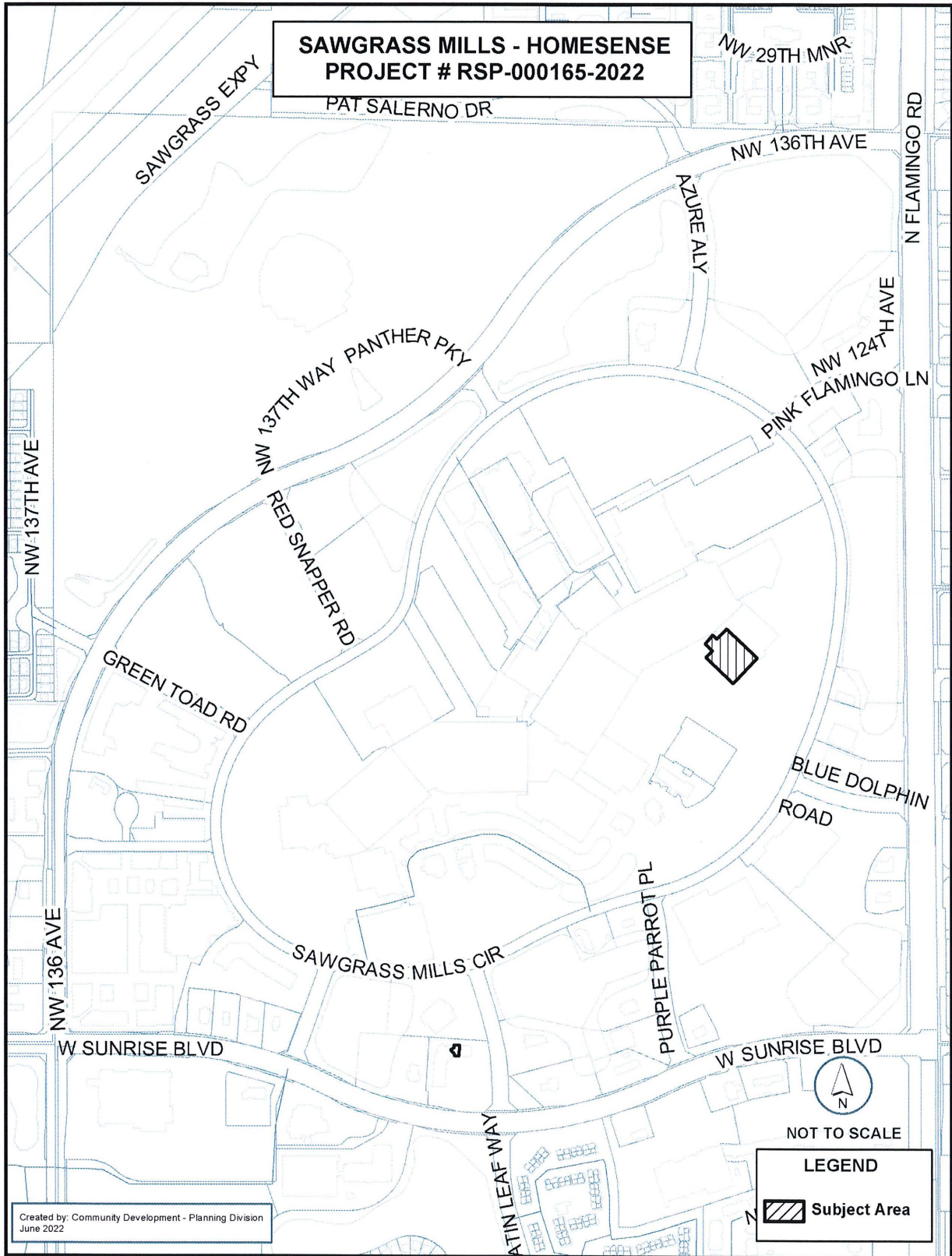
Staff Recommendation to the Planning and Zoning Board, July 7, 2022

This application meets all applicable LDC requirements. Therefore, Staff recommends approval subject to the following conditions:

1. City Commission approval of a revision to the Sawgrass Mills Mall Uniform Signage Plan is required prior to issuance of a building permit for signage not consistent with the currently approved uniform signage plan.
2. Plans shall be updated regarding landscape mitigation data to address the outstanding Development Review Committee (DRC) comment.

Planner: Marianne Q. Edge, AICP 
Planning File Number: RSP-000165-2022 (87:90002)

Location Map



Kimley»»Horn

May 26, 2022

Ms. Marianne Edge
Principal Planner
City of Sunrise Community Development Department
1601 N.W. 136th Avenue
Building A
Sunrise, FL 33323

**Re: Letter of Intent for Site Plan Application
HomeSense – Sawgrass Mills
12801 W. Sunrise Boulevard, Sunrise, Florida**

Dear Ms. Edge:

On behalf of Sunrise Mills (MLP) Limited Partnership, a District of Columbia limited partnership LLC, Kimley-Horn and Associates, Inc, is pleased to submit this Letter of Intent for the HomeSense Sawgrass Mills Mall project located at 12801 W. Sunrise Boulevard. The subject property is located generally at the northeast corner of Sawgrass Mills Circle.

The attached site plan application is submitted for the HomeSense - Sawgrass Mills Mall project. The scope of this project will be to create a new entry along the southern elevation of the building and complete the interior fit out within Anchor B building. The proposed HomeSense project will complete the construction at Anchor B.

The new retail shop will be accessible from the exterior along the South elevation through automatic entrance doors and new glazed anodized aluminum storefront. A white "signature" portal will be built to 3'-6" out from the existing building face matching the Primark's previous approval. The remaining portions of existing patterned EIFS wall will be painted gray to match the tenant colors as indicated on the submitted elevations. The overall area renovated by this revision will total 33,710 SF. The overall footprint will not change.

There are no proposed drive isle, parking, or circulation changes within this project. The contents of this application directly relate to the upfit of the existing Anchor B building and its associated footprint changes that are displayed on the plan sheets provided. Applicant advises the proposed operations of the subject tenant space shall be consistent with the retail operation standards in force today for existing tenants at the center inclusive of site access, loading/unloading, vehicular movements around the unit, The adjacent parking lot and the entire center, as well as recycling and trash servicing standards.

Please do not hesitate to contact me at 772-794-4110, if you need any additional information.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.

Jacob B. Lawson, P.E.
Project Manager
Attachment: Site Plan Application

South Elevation 1



© 2022 Google

Google Earth

26°09'07.15" N 80°19'02.76" W elev 12 ft eye alt 15 ft

South Elevation 1

South Elevation 2



[Click to view information about this Street View contributor.](#)

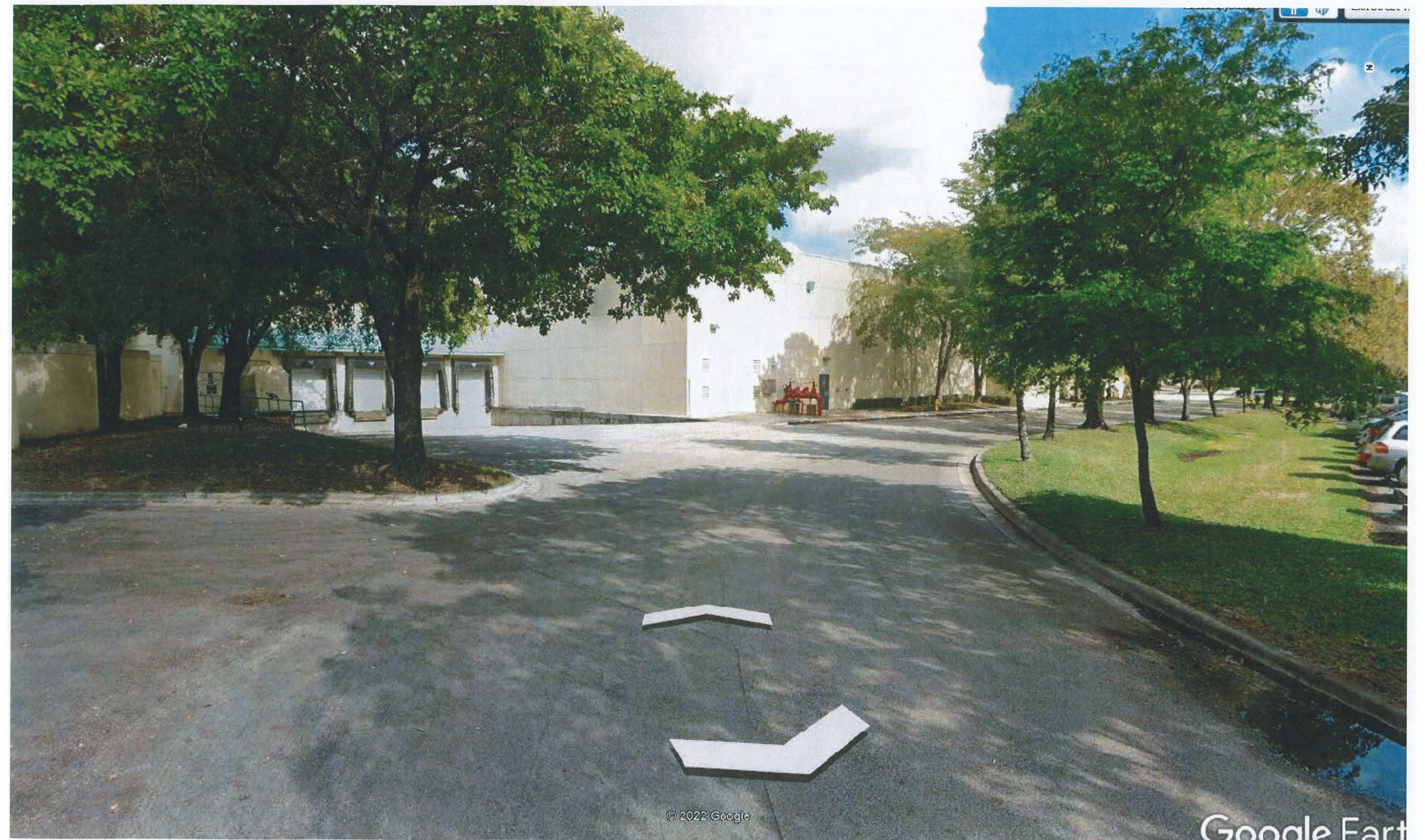
© 2022 Google

Google Earth

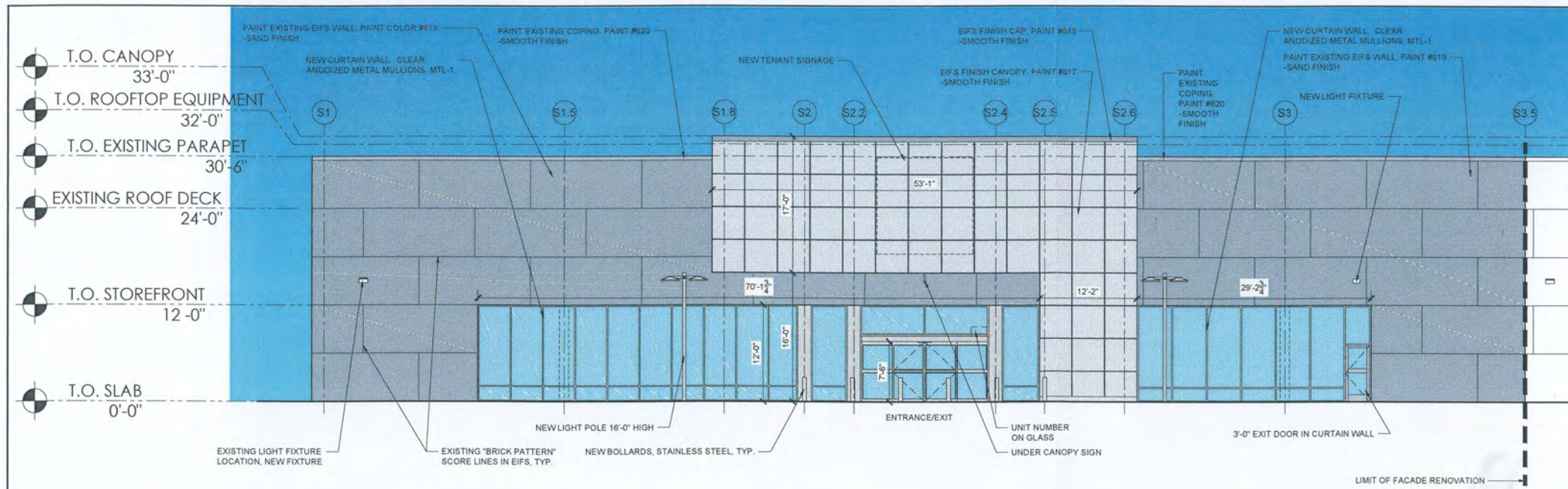
West Elevation 1



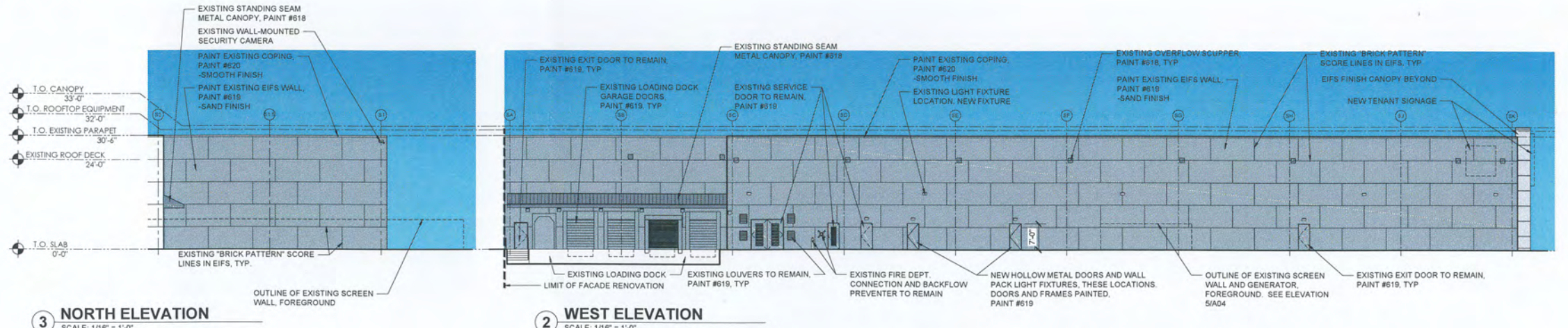
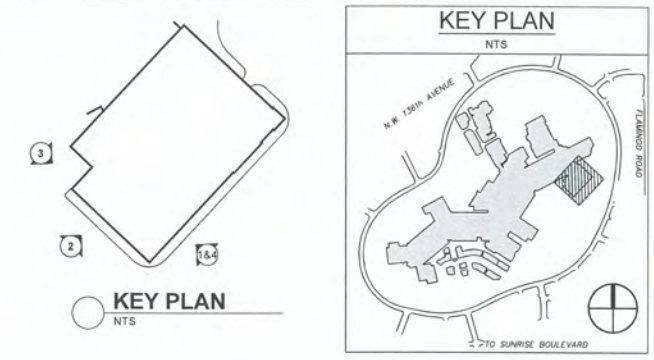
West Elevation 2





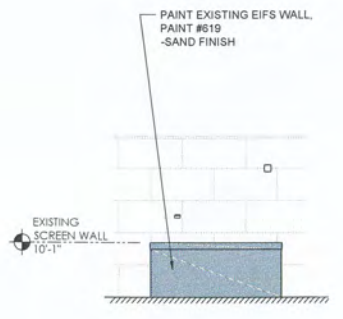


4 ENLARGED ELEVATION @ ENTRY
SCALE: 1/8" = 1'-0"

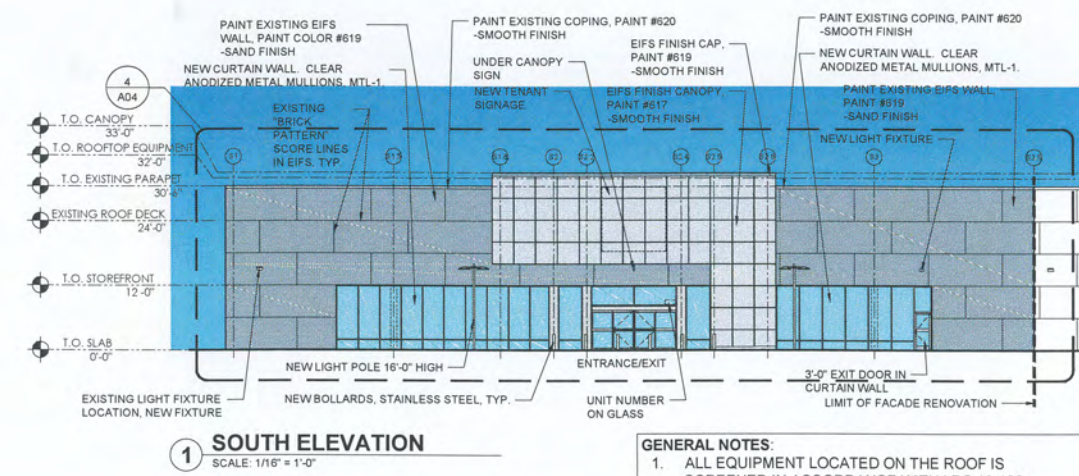


3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 EXISTING SCREEN WALL
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

GENERAL NOTES:
1. ALL EQUIPMENT LOCATED ON THE ROOF IS SCREENED IN ACCORDANCE WITH LDC 16-130.

NOTE: ALL NEW SIGNAGE REQUIRES SEPARATE APPROVAL THROUGH THE UNIFORM SIGNAGE PLAN PRIOR TO BUILDING PERMIT APPROVAL.

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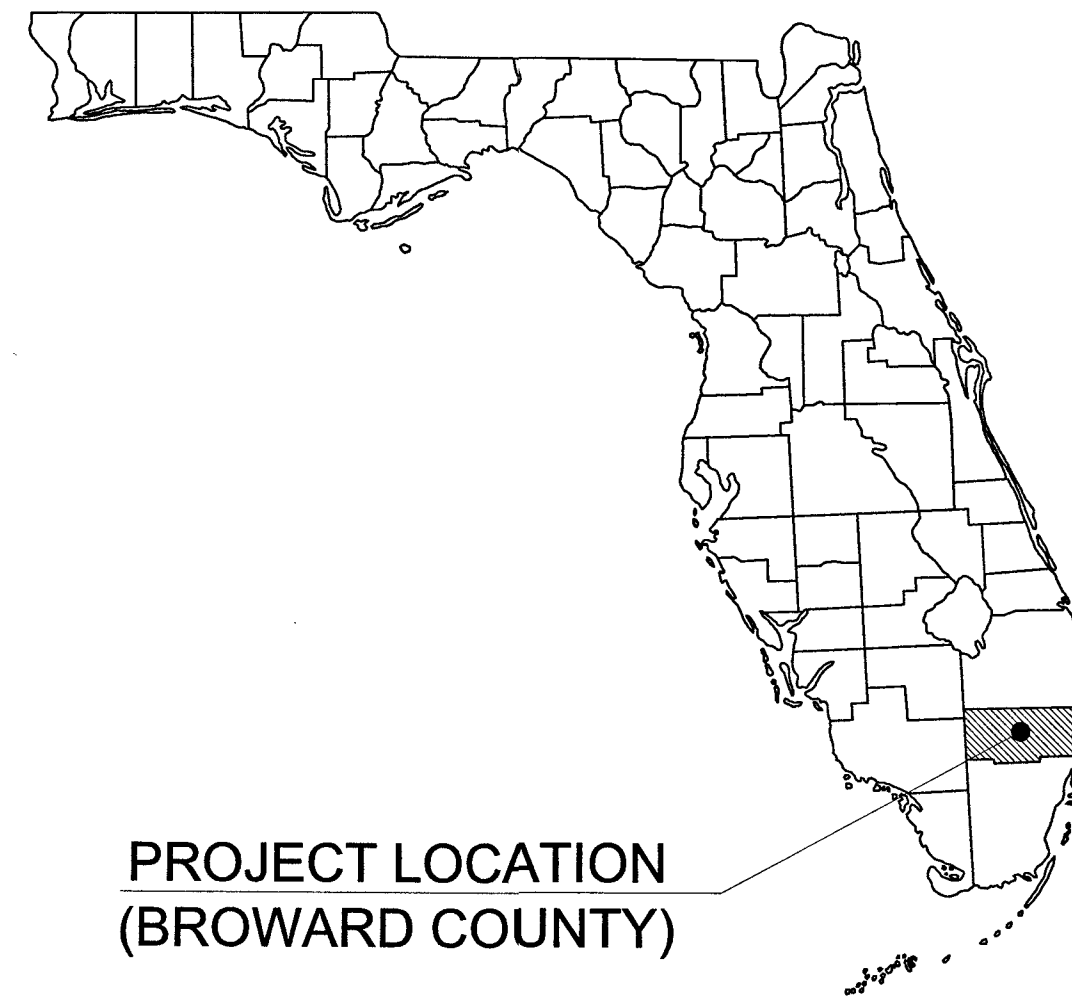
No.	REVISIONS	DATE	BY

SCALE AS NOTED
DESIGNED BY
DRAWN BY
CHECKED BY
D'AGOSTINO IZZO QUIRK ARCHITECTS, INC.
1310 Broadway
Somerville, MA 02144
TEL: (617) 623-3000

HOMESENSE - SAWGRASS MILLS

ELEVATIONS (COLOR)

SEAL	DATE 7/1/2022
	DRAWING NO. A04



PROJECT LOCATION
(BROWARD COUNTY)

PROJECT TEAM

OWNER/DEVELOPER

MARK LINGELBACH
SUNRISE MILLS (MLP) LIMITED PARTNERSHIP
225 WEST WASHINGTON ST
INDIANAPOLIS, IN, 46204
(317) 263-7992
FAX (318) 464-8919

SURVEYOR

RAY YOUNG
CRAVEN THOMPSON AND ASSOCIATES, INC.
3563 NW 53RD STREET
FORT LAUDERDALE, FLORIDA 33309
(954) 739-6400

CIVIL ENGINEER

JACOB LAWSON, P.E.
KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200
VERO BEACH, FLORIDA 32960
(772) 794-4110

BUILDING ARCHITECT

JOHN GIANGREGORIO
D'AGOSTINO IZZO QUIRK ARCHITECTS, INC.
1310 BROADWAY
SOMERVILLE, MA 02144
(617) 623-3000

LANDSCAPE ARCHITECT

SCOTT PEAVLER, P.L.A.
CRAVEN THOMPSON AND ASSOCIATES, INC.
3563 NW 53RD STREET
FORT LAUDERDALE, FLORIDA 33309
(954) 739-6400

IRRIGATION

SCOTT PEAVLER, P.L.A.
CRAVEN THOMPSON AND ASSOCIATES, INC.
3563 NW 53RD STREET
FORT LAUDERDALE, FLORIDA 33309
(954) 739-6400

SITE PLAN SUBMITTAL
FOR
SAWGRASS HOMESENSE
LOCATED IN
CITY OF SUNRISE, FLORIDA
SECTION 26, TOWNSHIP 49S, RANGE 40E



VICINITY
N.T.S.



PROJECT LOCATION

LIST OF CONTACTS

FDOT

FLORIDA DEPT. OF TRANSPORTATION DISTRICT 4
CONTACT: STAN WILLIAMS
3400 W. COMMERCIAL BLVD
FT. LAUDERDALE, FL 33309
(954) 777-4603

WATER

CITY OF SUNRISE
1601 N.W. 136TH AVE, BUILDING A
SUNRISE, FL 33323
(954) 746-3270

SANITARY SEWER

CITY OF SUNRISE
1601 N.W. 136TH AVE, BUILDING A
SUNRISE, FL 33323
(954) 746-3270

FIRE PREVENTION

FIRE LIFE SAFETY DIVISION
FIRE-RESCUE ADMINISTRATION
CONTACT: STEVE FELICETTI
PUBLIC SAFETY COMPLEX
10440 WEST OAKLAND PARK BLVD
SUNRISE, FL 33351
(954)-572-2360

PLANNING AND ZONING

CITY OF SUNRISE
COMMUNITY DEVELOPMENT DEPARTMENT
CONTACT: MARIANNE EDGE
1601 N.W. 136TH AVE, BUILDING A
SUNRISE, FL 33323
(954) 746-3286

ENGINEERING

CITY OF SUNRISE, COMMUNITY DEVELOPMENT DEPT.
ENGINEERING DIVISION
1601 N.W. 136TH AVE, BUILDING A
SUNRISE, FL 33323
(954) 746-3270

BUILDING

CITY OF SUNRISE, COMMUNITY DEVELOPMENT DEPT.
BUILDING DIVISION
CONTACT: CHRISTOPHER AUGUSTIN
1607 NW 136TH AVE, BUILDING B
SUNRISE, FL 33323
(954) 572-2354

LANDSCAPING AND TREE PRESERVATION

CITY OF SUNRISE COMMUNITY DEVELOPMENT DEPT.
1601 N.W. 136TH AVE, BUILDING A
SUNRISE, FL 33323
(954) 746-3271

STORMWATER

BROWARD COUNTY ENVIRONMENTAL
PROTECTION DEPT.
CONTACT: JOSE PORTILLO
1 N. UNIVERSITY DRIVE
PLANTATION, FL 33324
(954) 519-1243

CITY OF SUNRISE, COMMUNITY DEVELOPMENT DEPT.

ENGINEERING DIVISION
1601 N.W. 136TH AVE, BUILDING A
SUNRISE, FL 33323
(954) 746-3270

ELECTRIC PROVIDER

FLORIDA POWER AND LIGHT
CONTACT: CHANDA YOUNG
3020 N.W. 19TH STREET
FORT LAUDERDALE, FL 33311
(954) 717-2148

TELEPHONE PROVIDER

AT&T
CONTACT: ANDREW FARQUHARSON
8601 WEST SUNRISE BLVD.
PLANTATION, FL
(954) 476-2911

CABLE PROVIDER

COMCAST CORPORATION
CONTACT: LEONARD MAXWELL-NEUBOLD
2801 SW 145TH AVENUE
MIRAMAR, FL 33027
PH: (954) 447-8405
FAX: (954) 534-7083

LEGAL DESCRIPTION

THAT PORTION OF PARCEL M-1, SAWGRASS MILLS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 137, PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING SOUTHWEST OF THE SOUTHWEST BUILDING LINE FOR ANCHOR B AND LYING NORTHEAST OF THE SOUTHWEST EDGE OF PAVEMENT FOR THE LOOP ROAD AND LYING SOUTHEAST OF THE SOUTHERLY 250 FEET OF THE SOUTHEAST BUILDING LINE FOR SAID ANCHOR B AND LYING NORTHWEST OF THE SOUTHEAST EDGE OF PAVEMENT FOR SAID LOOP ROAD.

SAID LANDS LYING IN THE CITY OF SUNRISE, BROWARD COUNTY, FLORIDA.

THIS SITE PLAN SET IS APPROVED PURSUANT TO SECTION 16-31 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE (CITY CODE) AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH SCHIRMER REPORT OR FLORIDA BUILDING CODE. ANY CHANGES TO DETAILS SHOWN, TO SATISFY THE REQUIREMENTS OF FLORIDA BUILDING CODE, SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE LAND DEVELOPMENT CODE.

PREPARED BY:
Kimley»Horn

FEMA FIRM MAP # 12011C0340H
PROPERTY WITHIN ZONE "X"
BASE FLOOD ELEVATION = N/A

FINISHED FLOOR ELEVATION = 8.50'

Sheet List Table

Sheet Number	Sheet Title
C-000	COVER SHEET
OSP-1	OVERALL SITE PLAN
OSP-2	TABLES & NOTES
C-004	ABOVE GROUND DEMOLITION PLAN
C-100	SITE PLAN
C-101	SITE DETAILS
V-1	SURVEY
A01	FLOOR PLAN
A02	ROOF PLAN
A03	ELEVATIONS (BLACK & WHITE)
A04	ELEVATIONS (COLOR)
A05	MATERIALS
A06	LIGHT FIXTURE CUT SHEETS
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE NOTES
LP-3	LANDSCAPE DETAILS
TD-1	TREE DISPOSITION PLAN
TD-2	TREE DISPOSITION LIST
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION DETAILS
IR-3	IRRIGATION NOTES
PH01	PHOTOMETRIC PLAN

LEAVE BLANK - FOR CITY USE ONLY

CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF SUNRISE MINIMUM DESIGN AND CONSTRUCTION STANDARDS.

VERTICAL DATUM ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG



IT'S THE LAW!
DIAL 811

Know what's below.
Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

SCALE
DESIGNED BY
DRAWN BY
CHECKED BY

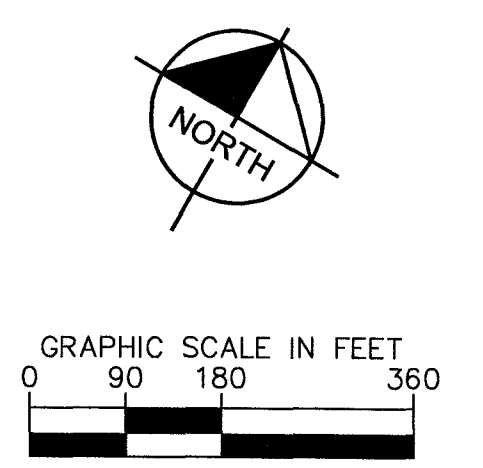
Kimley»Horn
© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

SAWGRASS HOMESENSE

COVER SHEET

DATE: 07/01/2022
DRAWING NO. C-000
PROJECT NO. 147294031

Plotted By: Harris, Jonny Sheet Set: 147294031 - Sawgrass HomeSense Layout: OSP-1 Overall Site Plan June 29, 2022 04:38:30pm K:\VRB_DEV\147294031 - Sawgrass HomeSense\CAD\PlanSheets\OSP-1 OVERALL SITE PLAN.dwg



SITE PLAN LIMITS FOR HOMESENSE

LEGEND
N/F = NOW OR FORMALLY

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

SCALE	
DESIGNED BY	
DRAWN BY	
CHECKED BY	

Kimley»Horn

© 2022 KIMLEY-HORN AND ASSOCIATES, INC.
445 24TH STREET, SUITE 200, VERO BEACH, FL 32960
PHONE: 772-794-4100
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

SAWGRASS HOMESENSE

OVERALL SITE PLAN

	DATE:	07/01/2022
	DRAWING NO.	OSP-1
	PROJECT NO.	147294031

Restaurant Pad 17:12

This project proposes the creation of a building pad east of the colonnade for a future restaurant. The changes in areas and parking are as follows:

Increases or Decreases from previously "Approved" Site plan 17:08

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Reconciliation n/a

The Reconciliation represents field verification of existing conditions by owner and the application of City of Sunrise, Florida, Code of Ordinances, Subpart B - Land Development Code, Chapter 16, Article VII, Section 16-144(a)(20), which defines the amount of off-street parking for retail stores in shopping centers with over 400,000 S.F. at 1 space per 300 S.F.

Increases or Decreases from previously "Submitted" Site plan 17:12

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Notes:

- 1. Change in GLA is a result of owners detailed review of all current plans and records for gross leasable area for entire center.
2. Previous Overall Site Plans represented restaurant areas as a combination of GLA and Customer Service Area (CSA). This reconciliation provides actual CSA for the purpose of calculating parking required for restaurants as provided for in City of Sunrise Code of Ordinances.

Seasons 52 17:12

This project proposes the construction of a restaurant building on the approved building pad east of the colonnade and south of Bed, Bath & Beyond. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 17:12

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

AC Sawgrass Mills / Sunrise 18:07

This project proposes a 174 room hotel located between the proposed Season 52 restaurant and proposed parking Deck II. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 17:12

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

ENTRY IMPROVEMENTS 18:10

This project proposes the renovation of four existing exterior Mall Entry Plazas. The project includes Entry 1 & 1B, Entry 2, Entry 4, and the West Food Court Entry. The project has been revised to include an 1,280 SF increase of pervious area and a 1,280 SF decrease in Impervious area. The total changes in the areas are as follows:

Increases or Decreases from previously "Submitted" Site plan 18:07

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Deck II Access Road 18:104

This project proposes the construction of the road that provides access to Deck II on its south side. The area and parking impacts for this project are a portion of those approved on the Deck II/Mall Expansion site plan. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 18:10

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Mia Fruta 18:156

The project proposes the conversion of an existing kiosk to a food service kiosk with outdoor seating.

Increases or Decreases from previously "Submitted" Site plan 18:104

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Shake Shack 19:32

This project proposes the conversion of existing retail space into restaurant space. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 18:156

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Primark 19:27

This project proposes the repurposing and demising of the former Anchor B or JCP box into new retail. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 19:32

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Entrance 3A (Anchor B) 19:56

This project proposes creation of a new mall entrance on the east side of Anchor B. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 12:07

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

True Food Kitchen 12:07

This project proposes partial conversion of former Ron Jon retail space to the proposed restaurant use. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 19:27

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Mall Expansion Reconciliation N/A

This project proposes rescinding the Mall Expansion site plan approval. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 19:56

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Entrance 3Y (Anchor B) 19:57

This project proposes creation of a new mall entrance on the west side of Anchor B. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan MALL RECON

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Regal Cinema 19:55

This project proposes minor building expansion of the existing Regal Cinema and renovation of exteriors facade and interior.

Increases or Decreases from previously "Submitted" Site plan 19:57

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Chicken Guy ADM-SP-000320-2020

This project proposes the conversion of former retail space to the proposed restaurant use. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan 19:55

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

Reconciliation N/A

The project proposes rescinding the Deck II, Regal, TrueFood, and entry 3Y approvals. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan ADM-SP-000320-2020

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

HomeSense RSP-000165-2022

This project proposes the conversion of existing vacant retail space into retail space. The changes in areas and parking are as follows:

Increases or Decreases from previously "Submitted" Site plan Reconciliation

Table with 4 columns: Category, Value, Unit, and Change. Rows include Pervious Area (SF), Impervious Area (SF), Lot Cover (SF), Parking Required, and Parking Provided.

SITE DATA:

EXISTING LAND USE DESIGNATION: Commercial
PROPOSED LAND USE DESIGNATION: Commercial
ZONING DESIGNATION: B-3 General Business District (Western Sunrise Area)

Table comparing Existing/Approved and Proposed site metrics. Columns include Square Feet (SF), Acres (Ac), and Percent (%). Rows include GROSS SITE AREA, NET SITE AREA, TOTAL PERVIOUS AREA, TOTAL IMPERVIOUS AREA, LOT COVERAGE, GROSS FLOOR AREA (GFA), and FLOOR AREA RATIO (FAR).

PARKING DATA:

Table comparing Approved and Proposed parking requirements. Columns include Category, Code Requirement, Quantity, and Spaces Required. Rows include RETAIL (s.f.) GLA, RESTAURANT (s.f.) CSA, AMUSEMENT (s.f.) GLA, THEATER (seats), KIOSK (qty.), NIGHTCLUB (GFA), HOTEL (keys), Required Surplus Parking (qty.), and Outlot - Bahama Breeze (qty.).

Summary table for parking data. Rows include TOTAL PARKING REQUIRED, TOTAL PARKING PROVIDED, ACCESSIBLE SPACES REQUIRED, ACCESSIBLE SPACES PROVIDED, MAXIMUM VALET STORAGE SPACES ALLOWED, and VALET STORAGE SPACES PROVIDED.

Notes:

- 1. Restaurant parking requirement is calculated based on floor area in rooms for customer service pursuant to City of Sunrise, Florida, Code of Ordinances, Subpart B - Land Development Code, Chapter 16, Article VII, Section 16-144(a)(16).
2. Per Development Agreement for the parking garages, Resolution No. 14-113-12-A, Section 3.16 Additional Agreements Regarding Parking. Total of Seven Hundred (700) spaces with five hundred-fifty (550) spaces required upon issuance of Certificate of Occupancy for Deck I. Balance due per Section 3.16.
3. Pursuant to City of Sunrise, Florida, Code of Ordinances, Subpart B - Land Development Code, Chapter 16, Article VII, Section 16-153(a)(3)(a), for regional shopping centers no more than two (2) percent of the total parking spaces required for the establishment may be designated for valet parking. Pursuant to Section 16-153(a)(3)(c), for restaurants, no more than twenty (20) percent of the total parking spaces required for the establishment may be designated for valet parking. Pursuant to Section 16-153(a)(3)(d), for hotels, no more than twenty-five (25) percent of the total parking spaces required for the establishment may be designated for valet parking.

DRI AREA DATA:

Table showing Entitlement and Reported Changes to Entitlement. Columns include Category, Entitlement, 2019 Biennial DRI Report, City of Sunrise Approved Site Plan, Constructed, Proposed Site Plan, Total Changes, and Balance of Entitlement. Rows include Office (GFA), Outlot (GLA), Retail (GLA), Restaurant (GLA), Entertainment (GLA), Kiosk (GLA), Hotel (Rooms), and Hi-Rise Residential (Units).

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Plotted By: Janny Sheet Set: 147294031 - Sawgrass HomeSense Lovell OSP-2 TABLE & NOTES June 28, 2022 04:38:55pm K:\VBB_LDEV\147294031 - Sawgrass HomeSense\CAD\PlanSheets\OSP-2 TABLE & NOTES.dwg

Table with 3 columns: No., REVISIONS, DATE, BY. Includes SCALE, DESIGNED BY, DRAWN BY, CHECKED BY.

Kimley Horn logo and contact information: © 2022 KIMLEY-HORN AND ASSOCIATES, INC. 445 24TH STREET, SUITE 200, VERO BEACH, FL 32960. PHONE: 772-794-4100. WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

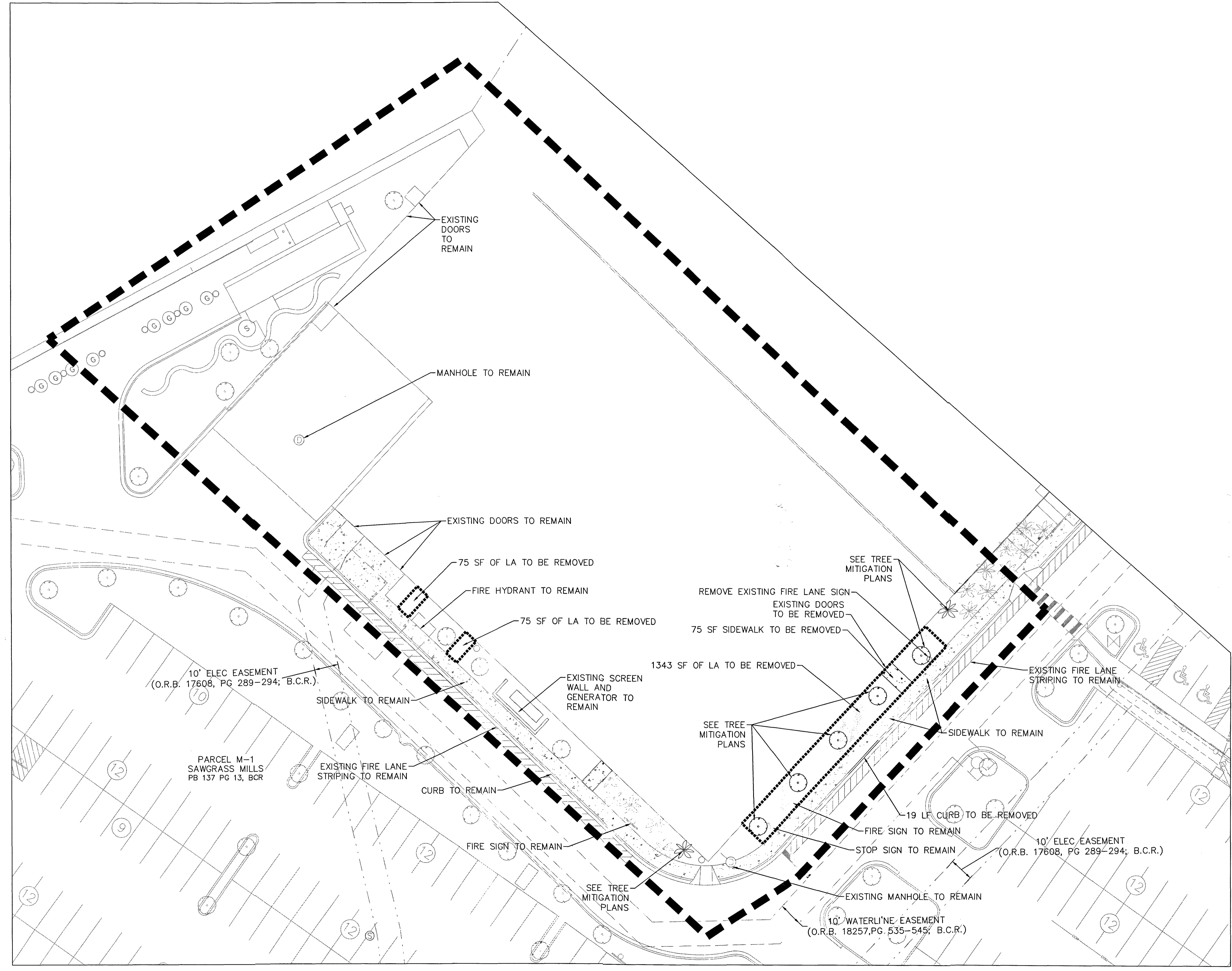
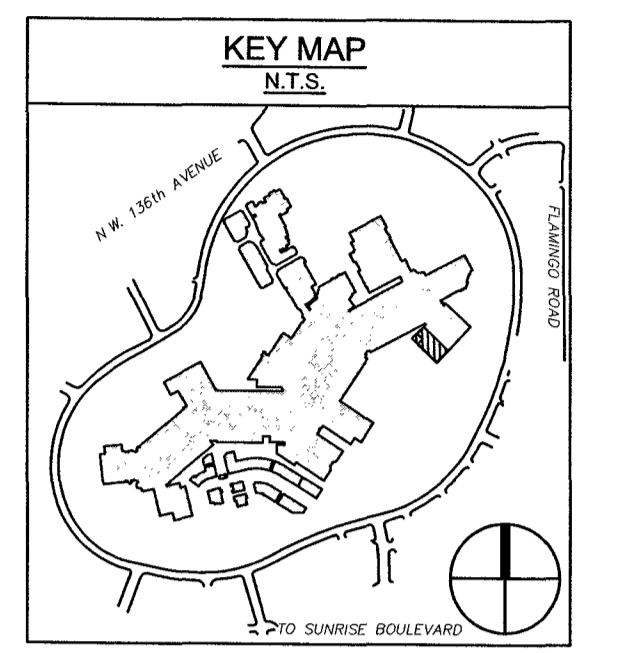
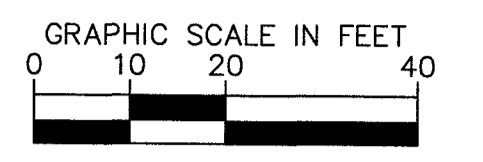
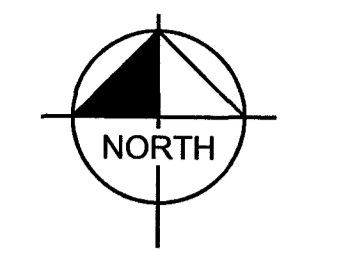
SAWGRASS HOMESENSE

TABLE & NOTES

Professional Engineer Seal for Jacob Brinkman, License No. 68355, State of Florida, Project No. 147294031.

Table with 2 columns: DATE (07/01/2022) and DRAWING NO. (OSP-2).

Plotted By: Harris, Jonny, Sheet Set: 147294031 - Sawgrass HomeSense, Layout: C-004 ABOVE GROUND DEMOLITION PLAN, June 29, 2022 04:39:31pm, K:\VRB_DEV\147294031 - Sawgrass HomeSense\CAD\PlanSheets\C-004 ABOVE GROUND DEMOLITION PLAN.dwg



LEGEND	
	LIMITS OF DEMOLITION
	PHASE BOUNDARY LINE

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VERTICAL DATUM
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

SEE LANDSCAPE PLAN FOR TREE REMOVAL/RELOCATION AND TREE PROTECTION

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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No.	REVISIONS	DATE	BY

SCALE
DESIGNED BY
DRAWN BY
CHECKED BY

Kimley»Horn

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SAWGRASS HOMESENSE

ABOVE GROUND DEMOLITION PLAN

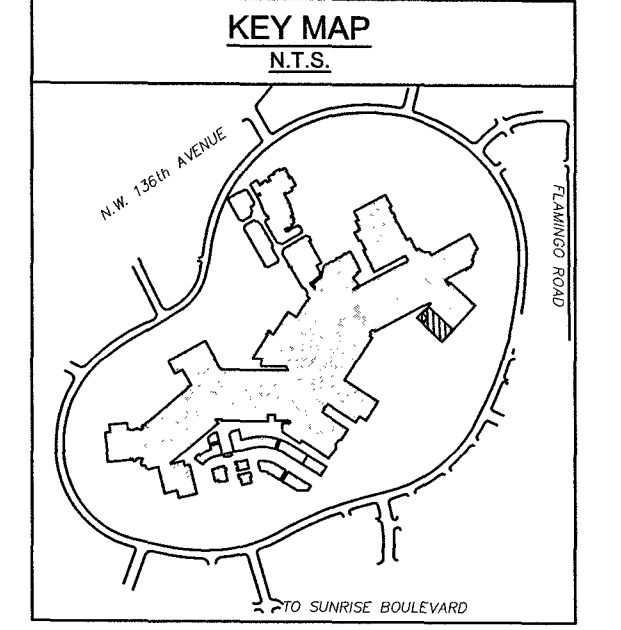
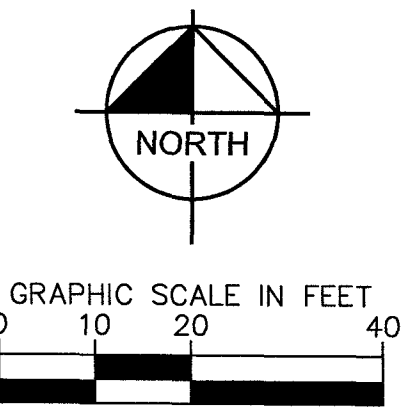
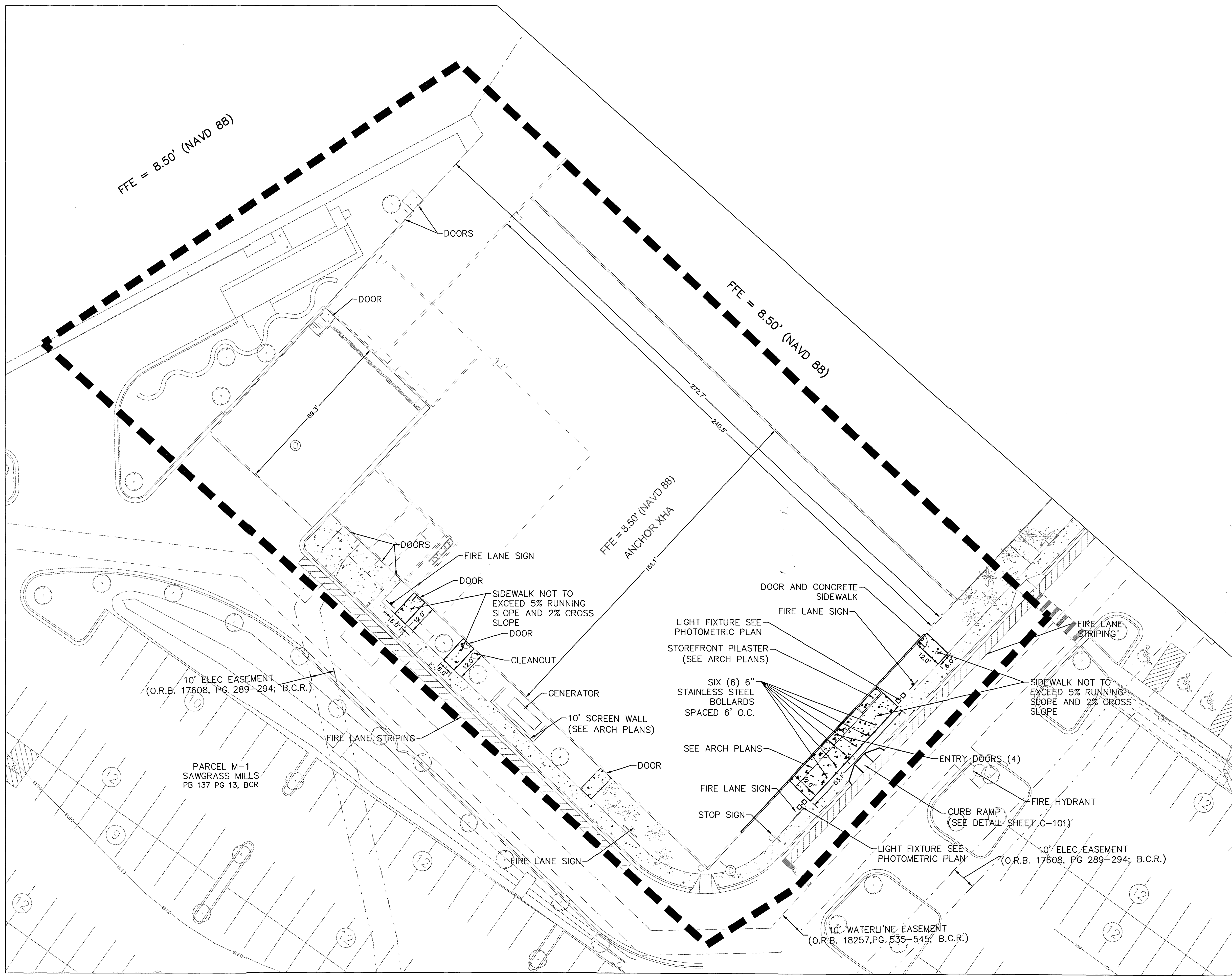
PROJECT NO. 147294031

DATE: 07/01/2022

DRAWING NO. C-004

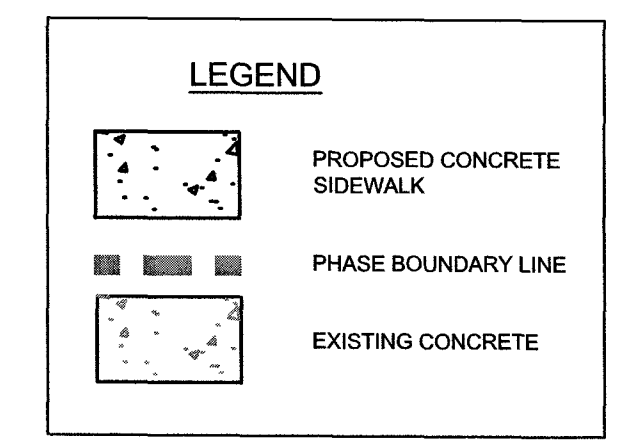
PROFESSIONAL ENGINEER
JACOB BRINTON
No. 12357
STATE OF FLORIDA

Plotted By: jerry, jerry, Sheet Set: 147294031 - Sawgrass HomeSense - Layout: C-100, SITE PLAN, June 29, 2022 04:40:03pm K:\WEB_DEVA\147294031 - Sawgrass HomeSense\CAD\SignSheets\C-100 SITE PLAN.dwg



- NOTES:
- 1) LIGHTING WILL MEET MINIMUM LEVELS AS REQUIRED BY SECTION 16-150 OF THE LDC.
 - 2) MODIFICATIONS WITHIN SCOPE OF WORK ARE CONSISTENT WITH FLORIDA ACCESSIBILITY CODE OF 2020

ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THEN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE. (PROPOSED COMPACTOR MUST BE FULLY SCREENED)



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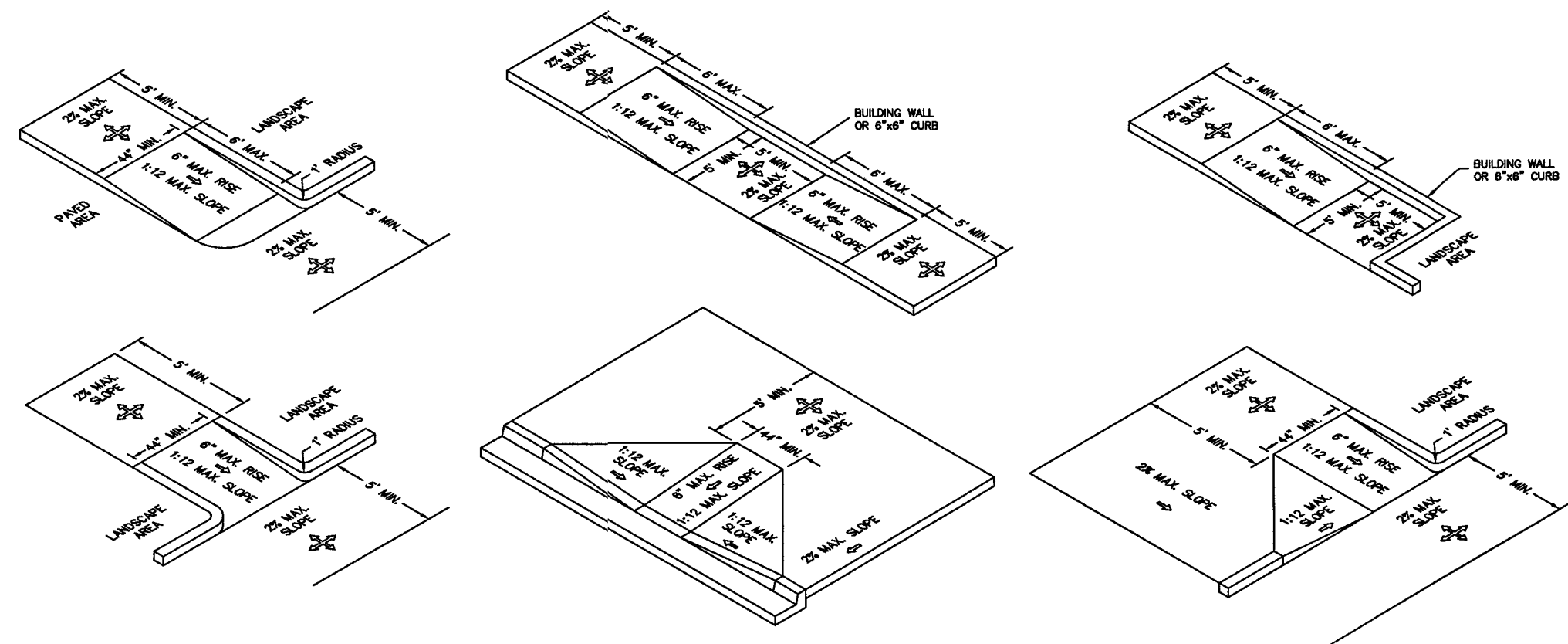
VERTICAL DATUM ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
 THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.
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No.	REVISIONS	DATE	BY

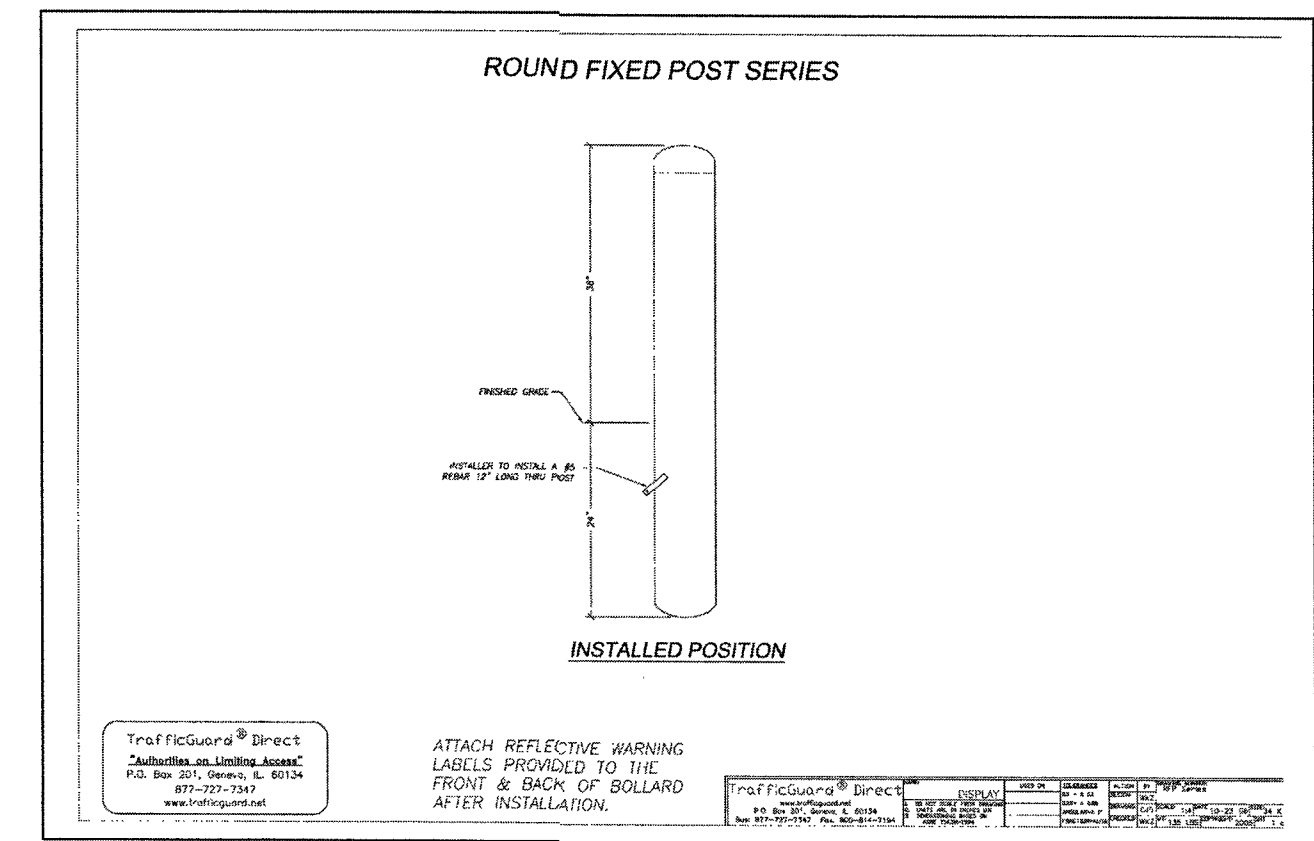
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SAWGRASS HOMESENSE

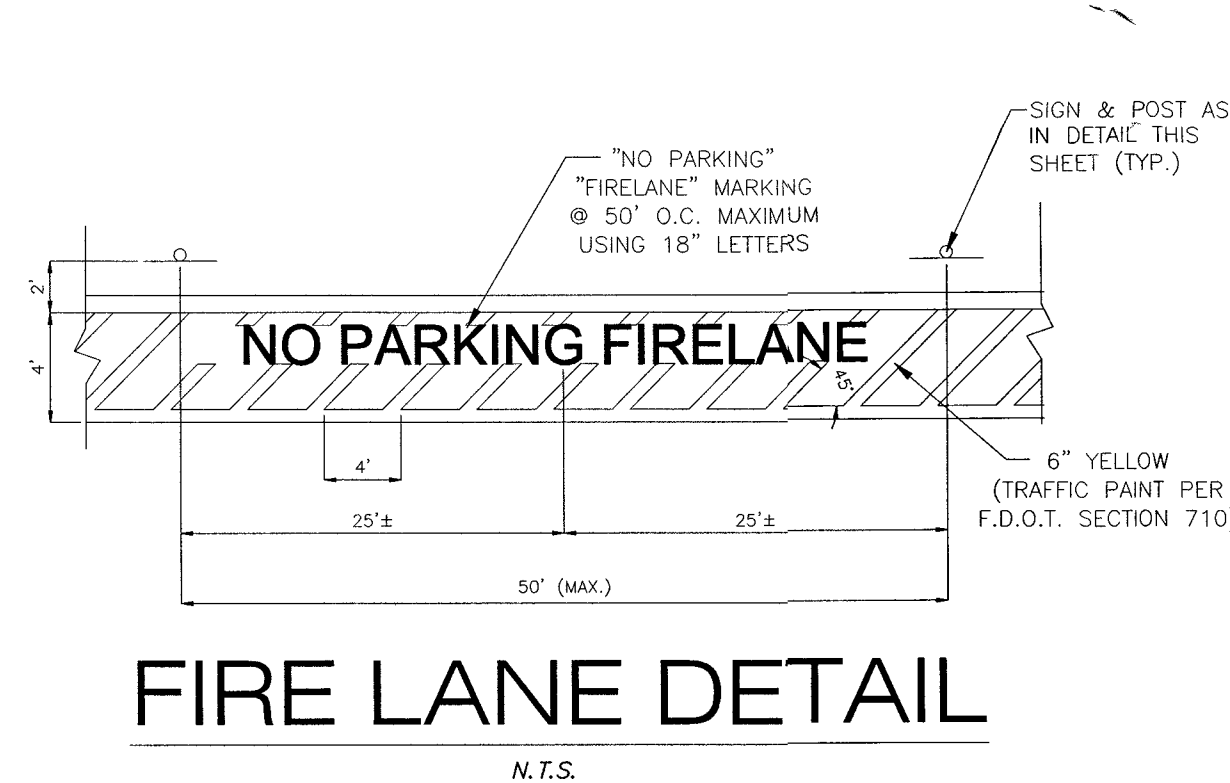
SITE PLAN
 DATE: 07/01/2022
 DRAWING NO. C-100
 147294031



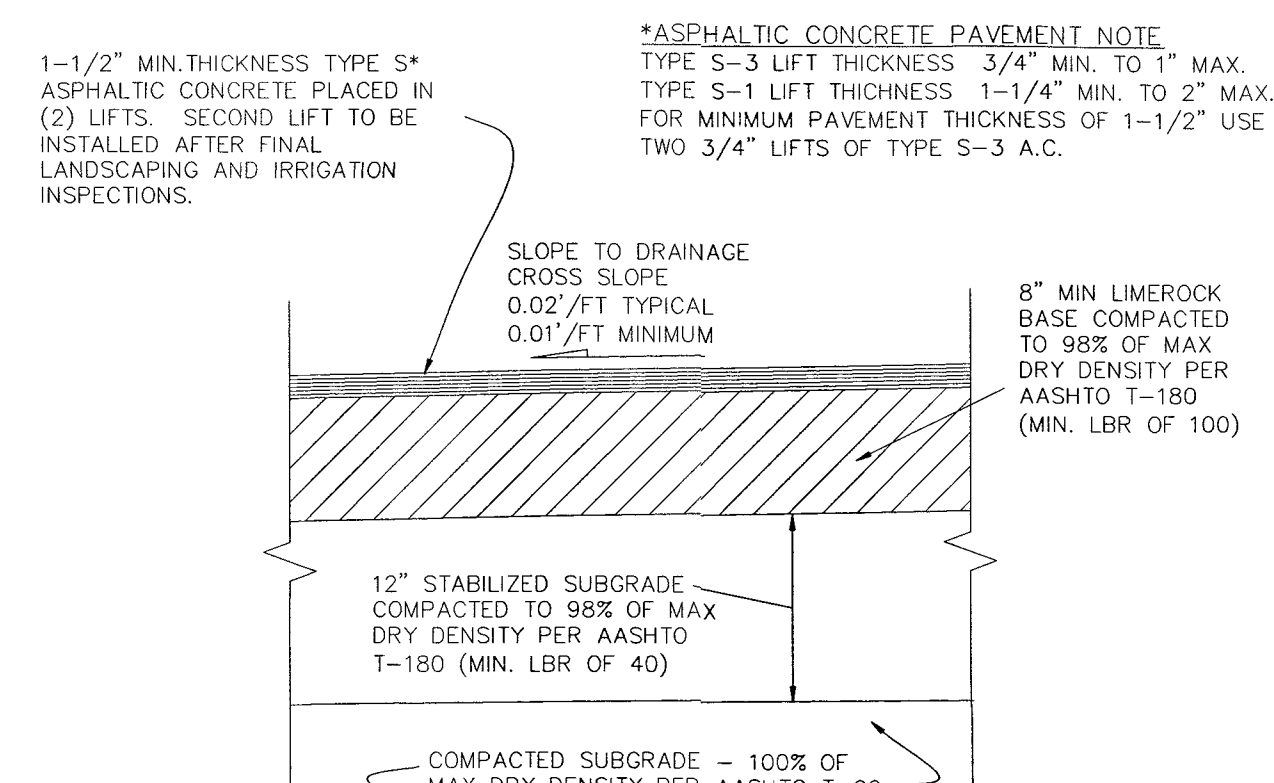
NO DETECTABLE WARNING REQUIRED ON RAMPS
ACCESSIBLE RAMPS
 N.T.S.



6" STAINLESS STEEL DECORATIVE BOLLARD
 N.T.S.
 NOT A CITY DETAIL

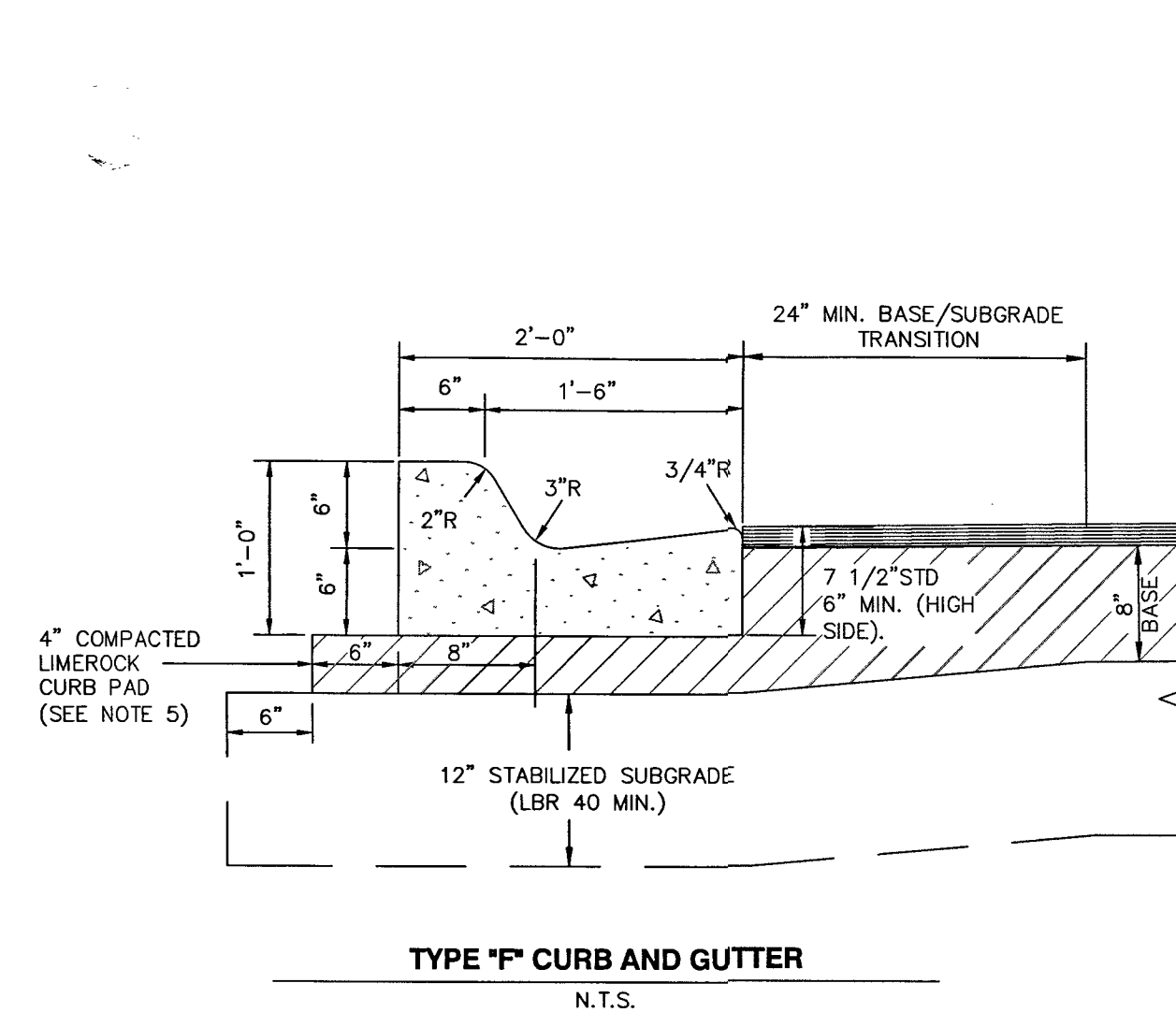


FIRE LANE DETAIL
 N.T.S.



- ASPHALTIC CONCRETE PAVEMENT NOTE**
 TYPE 5-3 LIFT THICKNESS 3/4" MIN. TO 1" MAX.
 TYPE 5-1 LIFT THICKNESS 1-1/4" MIN. TO 2" MAX.
 FOR MINIMUM PAVEMENT THICKNESS OF 1-1/2" USE TWO 3/4" LIFTS OF TYPE 5-3 A.C.
- ASPHALTIC CONCRETE PAVEMENT DETAIL MINOR ROADWAYS AND PARKING LOTS**
 N.T.S.
- NOTES:**
1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIMEROCK BEARING RATIO (LBR) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRING LINED FOR GRADE AND PASS ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF LIMEROCK BASE. AREAS BELOW DESIGN GRADE MAY BE CORRECTED BY PLACEMENT OF ADDITIONAL LIMEROCK MATERIAL. AREAS ABOVE DESIGN GRADE MUST BE CORRECTED AND REINSPECTED PRIOR TO LIMEROCK PLACEMENT.
 2. LIMEROCK BASE FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 70% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 8" SHALL BE PLACED IN EQUAL LIFTS NOT EXCEEDING 6".
 3. PRIME COAT SHALL BE APPLIED TO ALL FINISHED LIMEROCK BASE SURFACES AFTER BOARDING AND DENSITY INSPECTIONS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 4. TACK COAT SHALL BE PLACED AS REQUIRED ON EXISTING ASPHALT SURFACES BEFORE APPLICATION OF AN OVERBUILD LAYER AND TO NEW SURFACES BETWEEN LIFTS. APPLICATION RATES AND MATERIALS SHALL BE IN ACCORDANCE WITH FDOT SPECIFICATIONS.
 5. FINAL PAVEMENT LIFT CANNOT BE PLACED UNTIL ALL PROJECT LANDSCAPING IS IN PLACE AND THE IRRIGATION SYSTEM IS INSTALLED AND APPROVED.

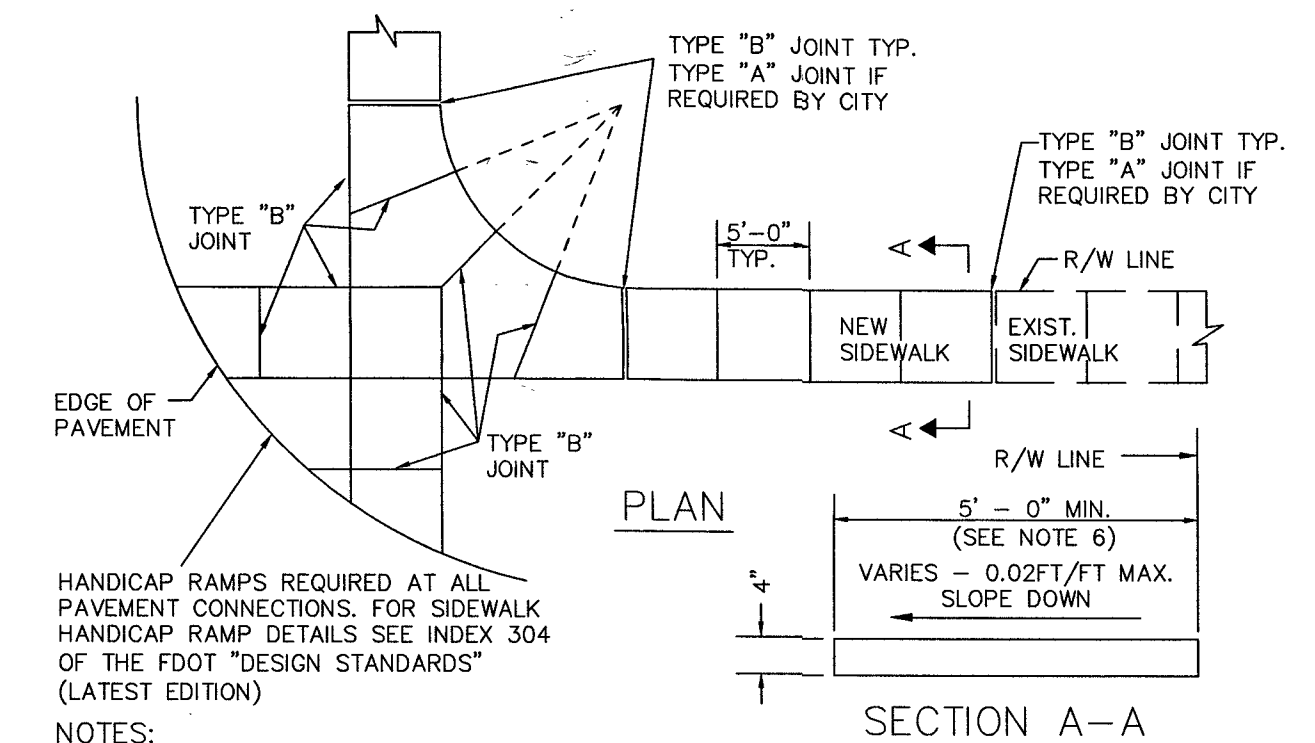
D-20



TYPE "F" CURB AND GUTTER
 N.T.S.

- CURB NOTES:**
1. WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF TYPE "F" GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
 2. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 3. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
 4. FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
 5. COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.

D-12



- NOTES:**
1. FOR NEW SIDEWALK LOCATIONS SUBGRADE BELOW SIDEWALK SHALL BE A MIN. L.B.R.-40 COMPACTED TO 98% OF MAX. DENSITY PER A.A.S.H.T.O. T-180.
 2. CONCRETE TO BE 3,000 P.S.I. @ 28 DAYS
 3. ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED IN NEW SIDEWALK.
 4. THE USE OF WIRE MESH REINFORCEMENT IN SIDEWALK WILL NOT BE PERMITTED
 5. SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02'/FT (2.0%).
 6. ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEHICULAR CROSSING AREAS WHERE THE SIDEWALK SHALL BE A MINIMUM OF 6" THICK.
 7. MINIMUM WIDTH OF SIDEWALK PLACED AT BACK OF CURB IS 6'-0".
 8. FOR TYPE "A" EXPANSION JOINTS PRE-MOULDED EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED ONLY IF APPROVED BY THE ENGINEERING DIVISION AND SHALL BE SEALED WITH APPROVED FLEXIBLE RUBBERIZED CAULK.
 9. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.

SIDEWALK CONSTRUCTION DETAILS
 N.T.S.

TABLE OF SIDEWALK JOINTS

TYPE	LOCATION
"A"	ONLY WHERE DIRECTED BY THE CITY
"B"	5'-0" MINIMUM CENTER TO CENTER ON SIDEWALK

D-17

VERTICAL DATUM ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.

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Plotted By: Jomny Sheet Set: 147294031 - Sawgrass HomeSense - June 29, 2022 04:40:30pm K:\VPR_LDEV\147294031 - Sawgrass HomeSense\CAD\PlanSheets\C-101 SITE DETAILS.dwg

No.	REVISIONS	DATE	BY

SCALE
DESIGNED BY
DRAWN BY
CHECKED BY

Kimley»Horn

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 PHONE: 772-794-4100
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SAWGRASS HOMESENSE

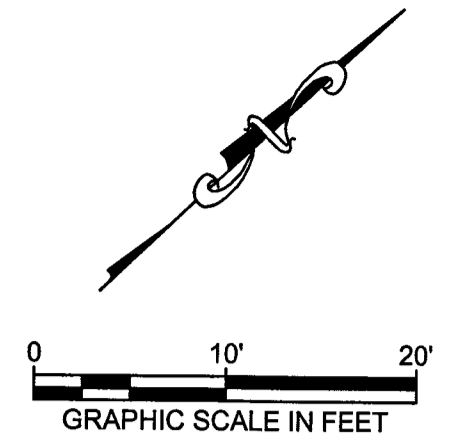
SITE DETAILS

DATE: 07/01/2022

DRAWING NO. C-101

PROJECT NO. 147294031

SKETCH OF SURVEY TOPOGRAPHIC SURVEY



SYMBOL LEGEND

- BOLLARD
- ⊖ ELECTRIC PULLBOX
- ⊕ FIRE HYDRANT
- ⊙ INFORMATION SIGN
- ⊙ PALM TREE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ SHADE TREE
- + 10.0 SPOT GROUND ELEVATION
- + 10.00 SPOT HARD SURFACE ELEVATION
- ⊙ STORM DRAIN MANHOLE
- ⊙ WATER METER
- ⊙ WATER VALVE

ABBREVIATION LEGEND

- B.C.R. BROWARD COUNTY RECORDS
- BH BUD HEIGHT
- C&G CONCRETE CURB AND GUTTER
- CONC. CONCRETE
- LB LICENSED BUSINESS
- O.R.B. OFFICIAL RECORDS BOOK
- P.B. PLAT BOOK
- P.G. PAGE
- P.V.C. POLY VINYL CHLORIDE PIPE
- R.E. RIM ELEVATION

TREE LIST

TREE#	DESCRIPTION
17179	20' BLACK OLIVE
17178	14' BLACK OLIVE
17177	12' BLACK OLIVE
17176	14' BLACK OLIVE
17175	24' BLACK OLIVE
17170	10' SABAL PALM BH=35'
17169	10' SABAL PALM BH=35'
17171	10' SABAL PALM BH=35'
17168	10' SABAL PALM BH=35'
17172	10' SABAL PALM BH=35'
17167	10' SABAL PALM BH=35'
17173	10' SABAL PALM BH=35'
1052	10' SABAL PALM BH=35'
17174	10' SABAL PALM BH=35'
1271	10' SABAL PALM BH=24'
1055	10' SABAL PALM BH=35'
1056	18' ROYAL PALM BH=40'
1057	15' ROYAL PALM BH=40'
1269	3' CREPE MYRTLE
1270	10' SABAL PALM BH=20'
1271	10' SABAL PALM BH=24'
1272	10' SABAL PALM BH=20'
1273	10' SABAL PALM BH=22'
1274	10' SABAL PALM BH=22'
18698	28' BLACK OLIVE
18697	28' BLACK OLIVE
18696	18' BLACK OLIVE

DESCRIPTION:
THAT PORTION OF PARCEL M-1, SAWGRASS MILLS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 137, PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING SOUTHWEST OF THE SOUTHWEST BUILDING LINE FOR ANCHOR B AND LYING NORTHEAST OF THE SOUTHWEST EDGE OF PAVEMENT FOR THE LOOP ROAD AND LYING SOUTHWEST OF THE SOUTHERLY 250 FEET OF THE SOUTHEAST BUILDING LINE FOR SAID ANCHOR B AND LYING NORTHWEST OF THE SOUTHEAST EDGE OF PAVEMENT FOR SAID LOOP ROAD.

SAID LANDS LYING IN THE CITY OF SUNRISE, BROWARD COUNTY, FLORIDA.

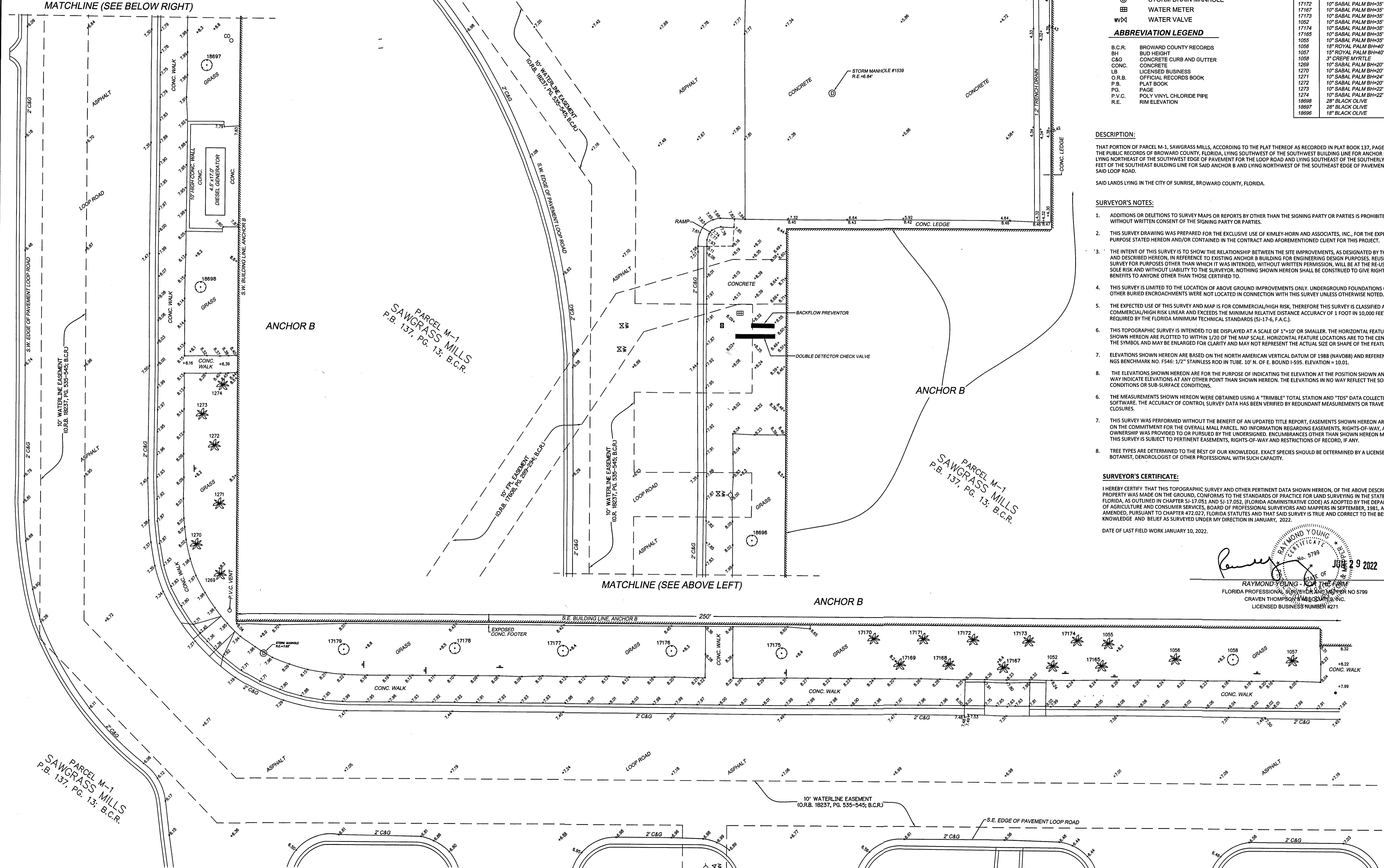
- SURVEYOR'S NOTES:**
- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
 - THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF KIMLEY-HORN AND ASSOCIATES, INC., FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT AND AFOREMENTIONED CLIENT FOR THIS PROJECT.
 - THE INTENT OF THIS SURVEY IS TO SHOW THE RELATIONSHIP BETWEEN THE SITE IMPROVEMENTS, AS DESIGNATED BY THE CLIENT AND DESCRIBED HEREON, IN REFERENCE TO EXISTING ANCHOR B BUILDING FOR ENGINEERING DESIGN PURPOSES. REUSE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN PERMISSION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING SHOWN HEREON SHALL BE CONSTRUED TO GIVE RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE CERTIFIED TO.
 - THIS SURVEY IS LIMITED TO THE LOCATION OF ABOVE GROUND IMPROVEMENTS ONLY. UNDERGROUND FOUNDATIONS OR OTHER BURIED ENCROACHMENTS WERE NOT LOCATED IN CONNECTION WITH THIS SURVEY UNLESS OTHERWISE NOTED.
 - THE EXPECTED USE OF THIS SURVEY AND MAP IS FOR COMMERCIAL/HIGH RISK, THEREFORE THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK LINEAR AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE FLORIDA MINIMUM TECHNICAL STANDARDS (S1-17-6, F.A.C.).
 - THIS TOPOGRAPHIC SURVEY IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=10' OR SMALLER. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATIONS ARE TO THE CENTER OF THE SYMBOL AND MAY BE ENLARGED FOR CLARITY AND MAY NOT REPRESENT THE ACTUAL SIZE OR SHAPE OF THE FEATURE.
 - ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND REFERENCED TO NGS BENCHMARK NO. FS46: 1/2" STAINLESS ROD IN TUBE, 10' N. OF E. BOUND 1595, ELEVATION = 10.01.
 - THE ELEVATIONS SHOWN HEREON ARE FOR THE PURPOSE OF INDICATING THE ELEVATION AT THE POSITION SHOWN AND IN NO WAY INDICATE ELEVATIONS AT ANY OTHER POINT THAN SHOWN HEREON. THE ELEVATIONS IN NO WAY REFLECT THE SOIL CONDITIONS OR SUB-SURFACE CONDITIONS.
 - THE MEASUREMENTS SHOWN HEREON WERE OBTAINED USING A "TRIMBLE" TOTAL STATION AND "TDS" DATA COLLECTION SOFTWARE. THE ACCURACY OF CONTROL SURVEY DATA HAS BEEN VERIFIED BY REDUNDANT MEASUREMENTS OR TRAVERSE CLOSURES.
 - THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF AN UPDATED TITLE REPORT, EASEMENTS SHOWN HEREON ARE BASED ON THE COMMITMENT FOR THE OVERALL MAP PARCELS. NO INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WAS PROVIDED TO OR PURSUED BY THE UNDERSIGNED. ENCUMBRANCES OTHER THAN SHOWN HEREON MAY EXIST. THIS SURVEY IS SUBJECT TO PERTINENT EASEMENTS, RIGHTS-OF-WAY AND RESTRICTIONS OF RECORD, IF ANY.
 - TREE TYPES ARE DETERMINED TO THE BEST OF OUR KNOWLEDGE. EXACT SPECIES SHOULD BE DETERMINED BY A LICENSED BOTANIST, DENDROLOGIST OR OTHER PROFESSIONAL WITH SUCH CAPACITY.

SURVEYOR'S CERTIFICATE:
I HEREBY CERTIFY THAT THIS TOPOGRAPHIC SURVEY AND OTHER PERTINENT DATA SHOWN HEREON, OF THE ABOVE DESCRIBED PROPERTY WAS MADE ON THE GROUND, CONFORMS TO THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN CHAPTER 51-17.051 AND 51-17.052, (FLORIDA ADMINISTRATIVE CODE) AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS SURVEYED UNDER MY DIRECTION IN JANUARY, 2022.

DATE OF LAST FIELD WORK JANUARY 10, 2022.

RAYMOND YOUNG
FOR THE FIRM
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO 5799
CRAVEN THOMPSON & ASSOCIATES, INC.
LICENSED BUSINESS NUMBER #271

RAYMOND YOUNG
No. 5799
JAN 9 2022



R:\Survey\1993\930041\005_02_OVERALL STUDY FOR KH\Drawings\930041_ANCHOR B TOPO.dwg [1-1] (24x36) Jan 29, 2022 7:37am RYOUNG

DATE:	01/10/22	SCALE:	1"=10'	DRAWN BY:	RY	CHECKED BY:	MRM	FIELD BOOK:	3160	PAGE(S):	10-20
REVISE TREE NUMBERS	RY	DATE:	01/18/22	BT:							

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 739-6960
FAX: (954) 739-6969

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114

CRAVEN THOMPSON & ASSOCIATES, INC. HAS BEEN DESIGNATED AS THE SURVEYOR OF RECORD FOR THIS PROJECT.

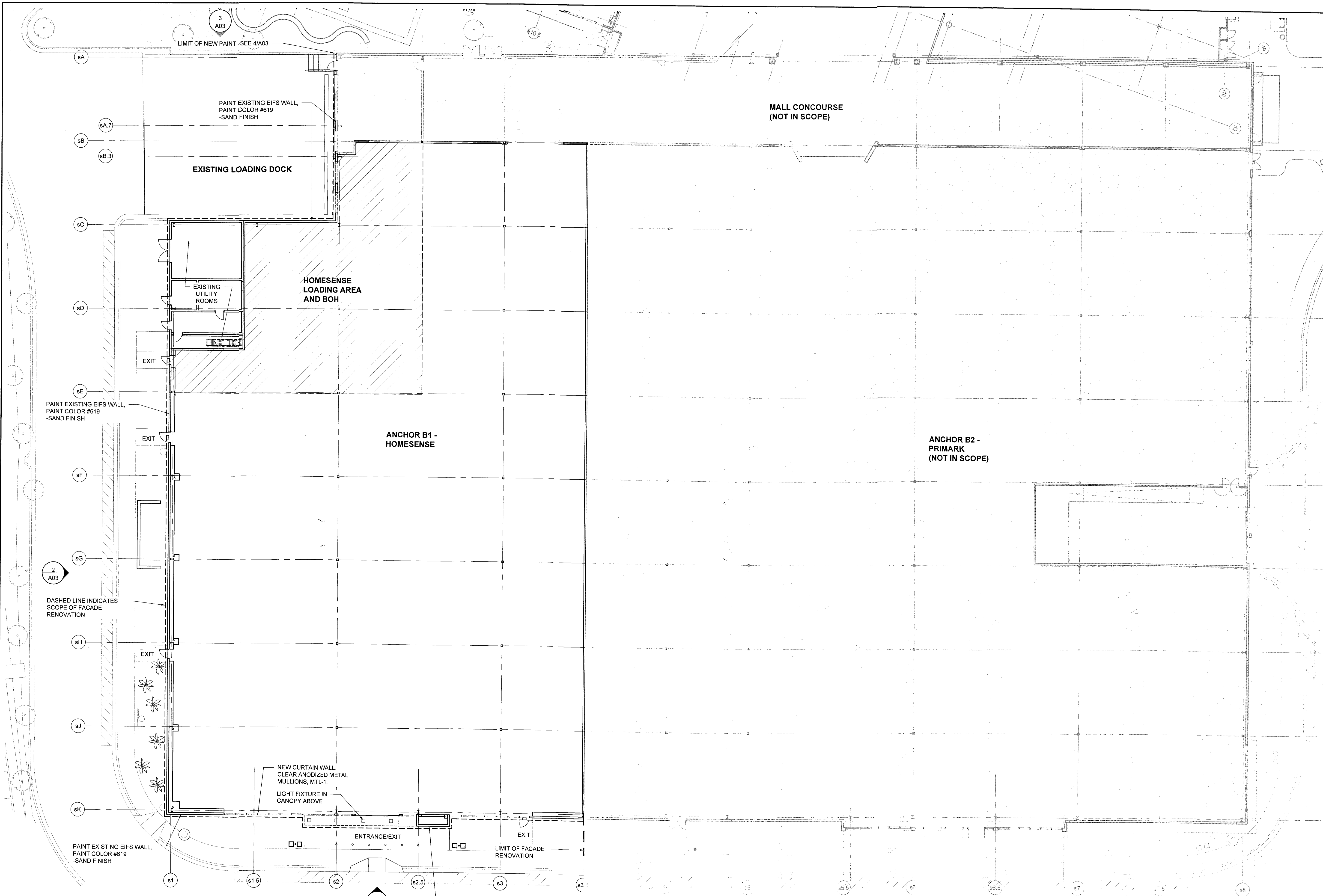
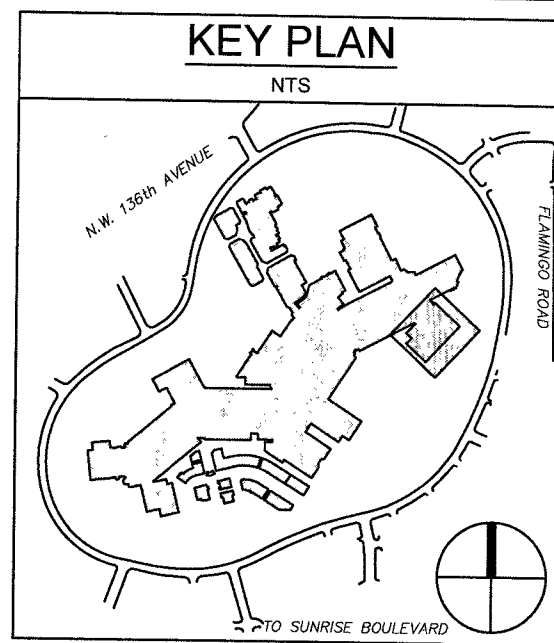
**ANCHOR B, HOME SENSE
SAWGRASS MILLS
SUNRISE, FLORIDA**

PREPARED FOR:
KIMLEY HORN

TOPOGRAPHIC SURVEY

SEAL
PROJECT NO.
93-0041-801-10

V-1
SHEET 1 OF 1



1 FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

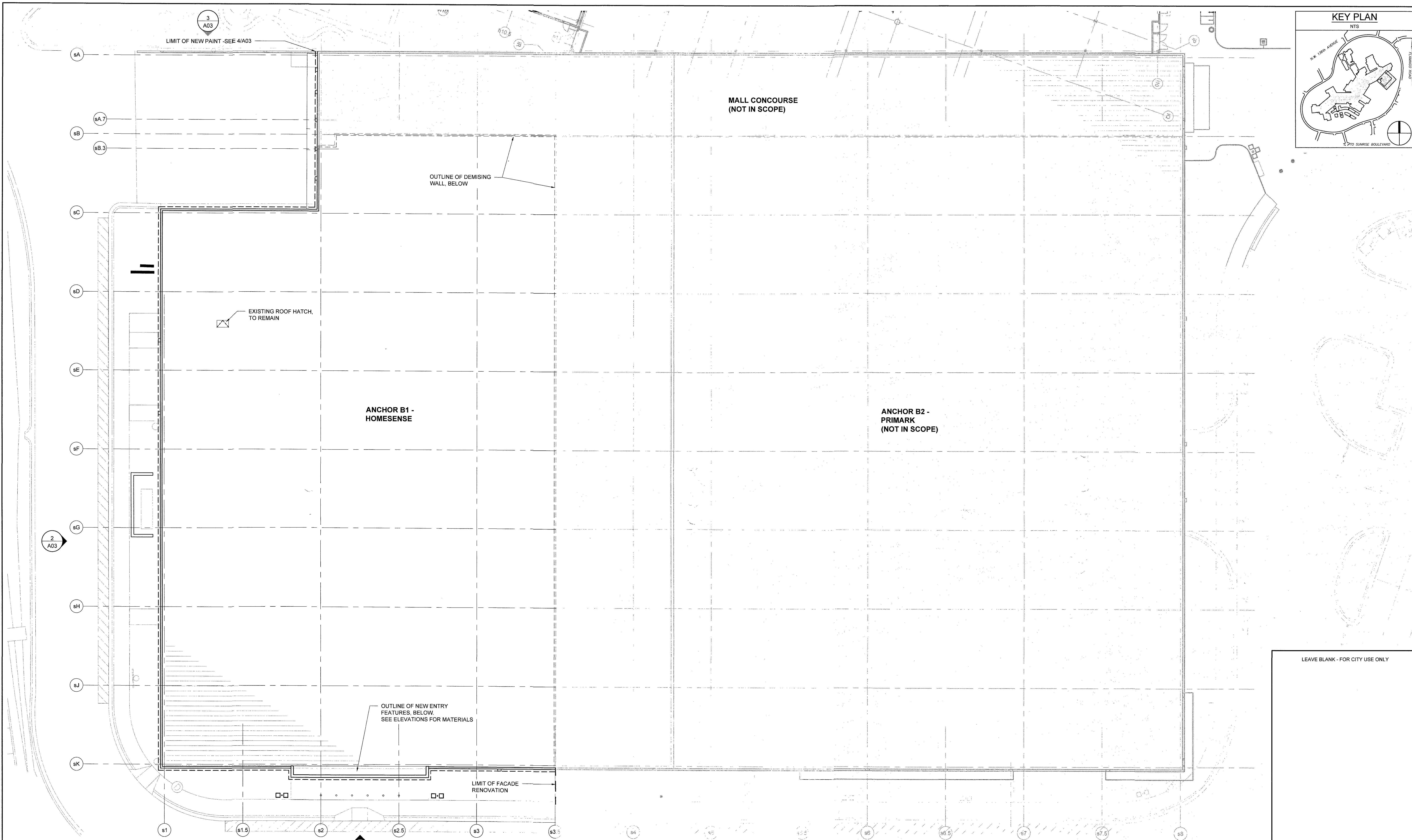
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DESIGNED BY
DRAWN BY
CHECKED BY

D'AGOSTINO IZZO QUIRK ARCHITECTS, INC.
1310 Broadway
Somerville, MA 02144
TEL: (617) 623-3000

HOMESENSE - SAWGRASS MILLS

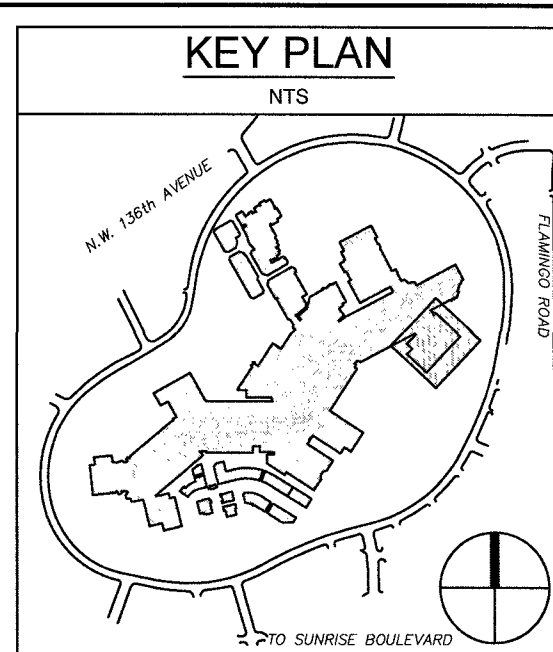
FLOOR PLAN

SEAL: DATE: 7/1/2022
DRAWING NO. **A01**



1 ROOF PLAN
SCALE: 1/16" = 1'-0"

GENERAL NOTES:
1. ALL EQUIPMENT LOCATED ON THE ROOF IS SCREENED IN ACCORDANCE WITH LDC 16-130.



LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

SCALE AS NOTED
DESIGNED BY
DRAWN BY
CHECKED BY

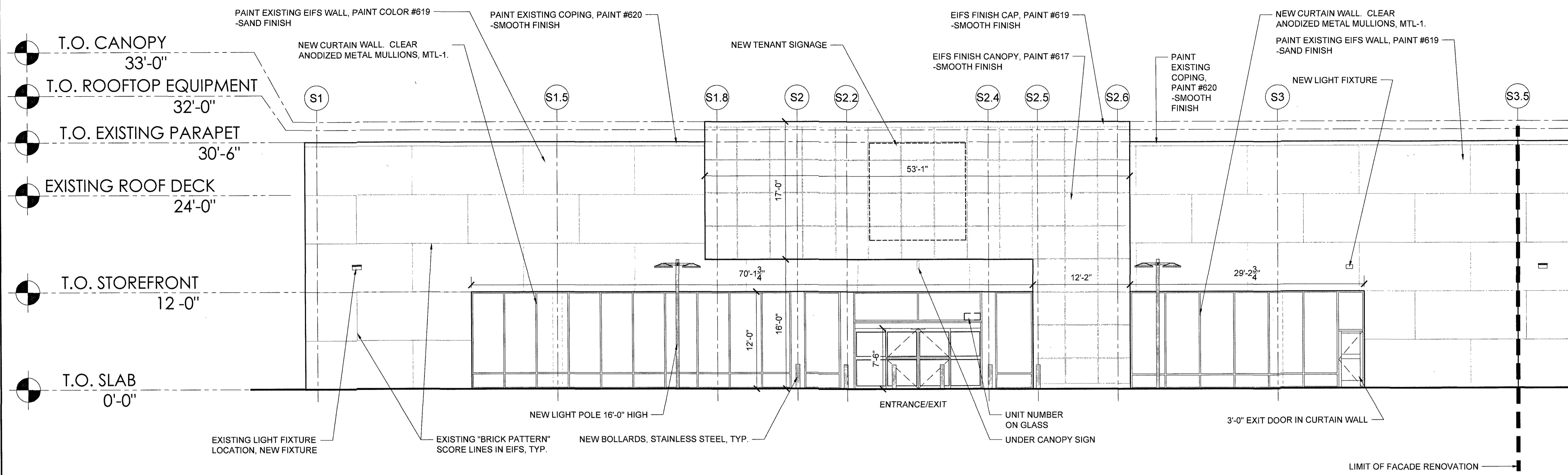
D'AGOSTINO IZZO QUIRK ARCHITECTS, INC.
1310 Broadway
Somerville, MA 02144
TEL: (617) 623-3000

HOMESENSE - SAWGRASS MILLS

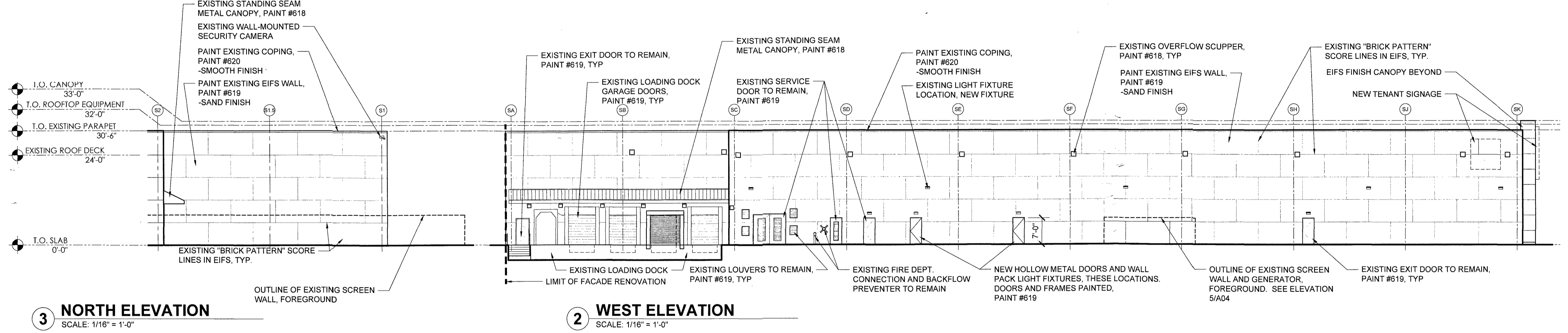
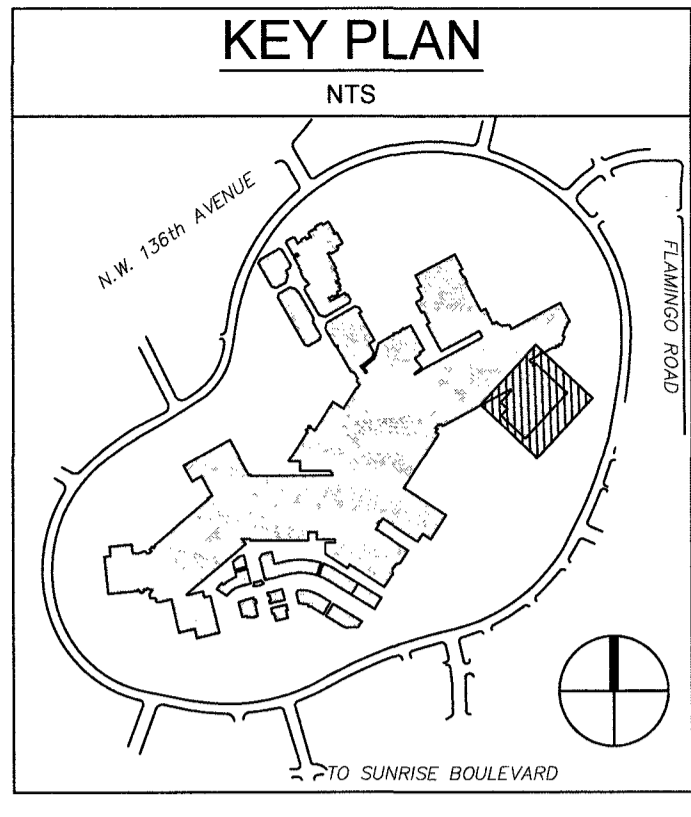
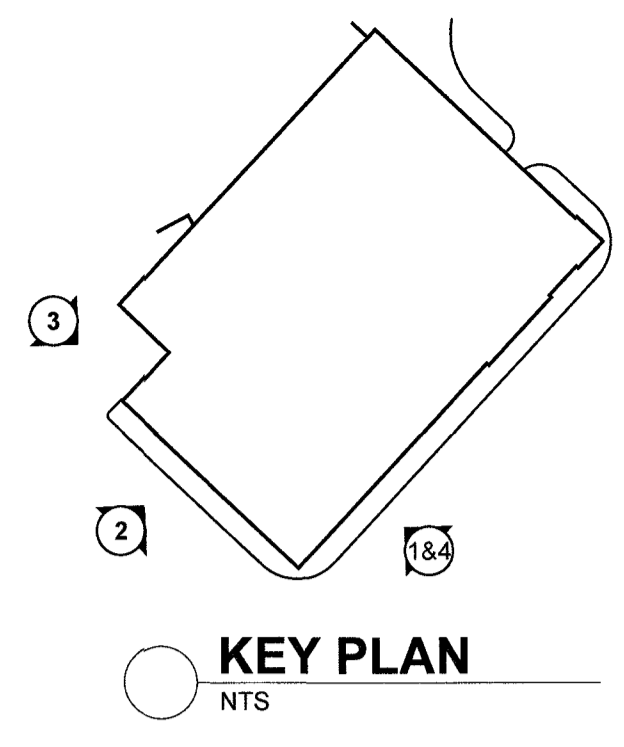
ROOF PLAN

SEAL
STATE OF FLORIDA
THOMAS MARTINE
REGISTERED ARCHITECT
AR101194

DATE: 7/1/2022
DRAWING NO. **A02**

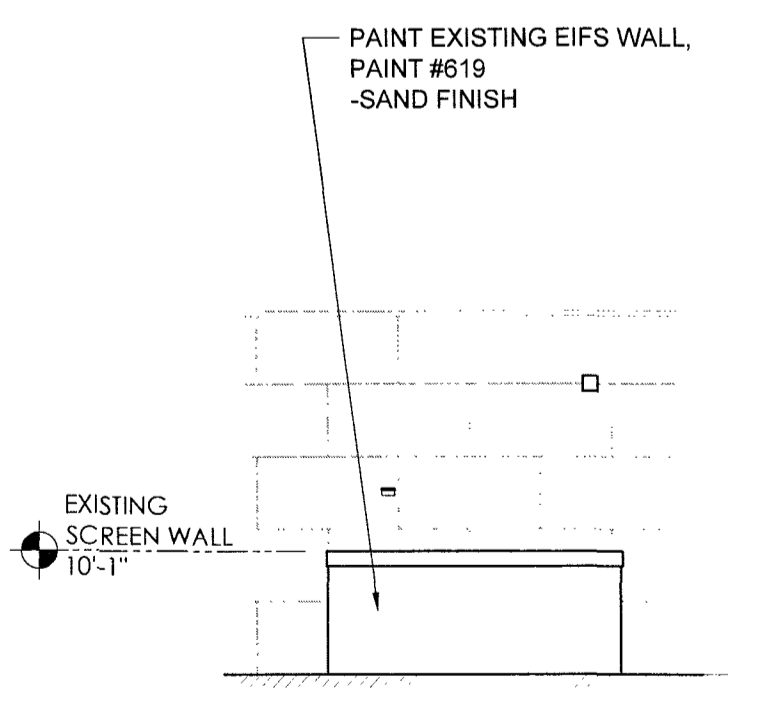


4 ENLARGED ELEVATION @ ENTRY
SCALE: 1/8" = 1'-0"

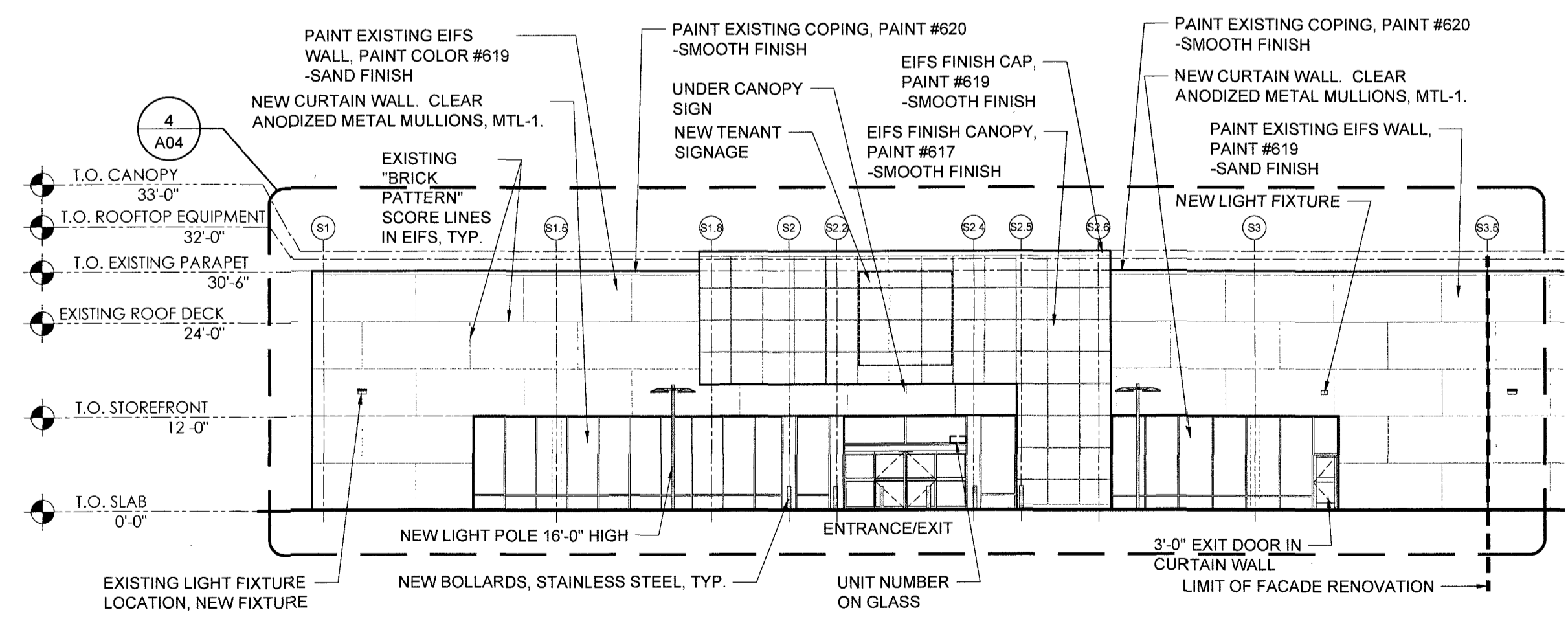


3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 EXISTING SCREEN WALL
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

GENERAL NOTES:
1. ALL EQUIPMENT LOCATED ON THE ROOF IS SCREENED IN ACCORDANCE WITH LDC 16-130.

NOTE: ALL NEW SIGNAGE REQUIRES SEPARATE APPROVAL THROUGH THE UNIFORM SIGNAGE PLAN PRIOR TO BUILDING PERMIT APPROVAL.

LEAVE BLANK - FOR CITY USE ONLY

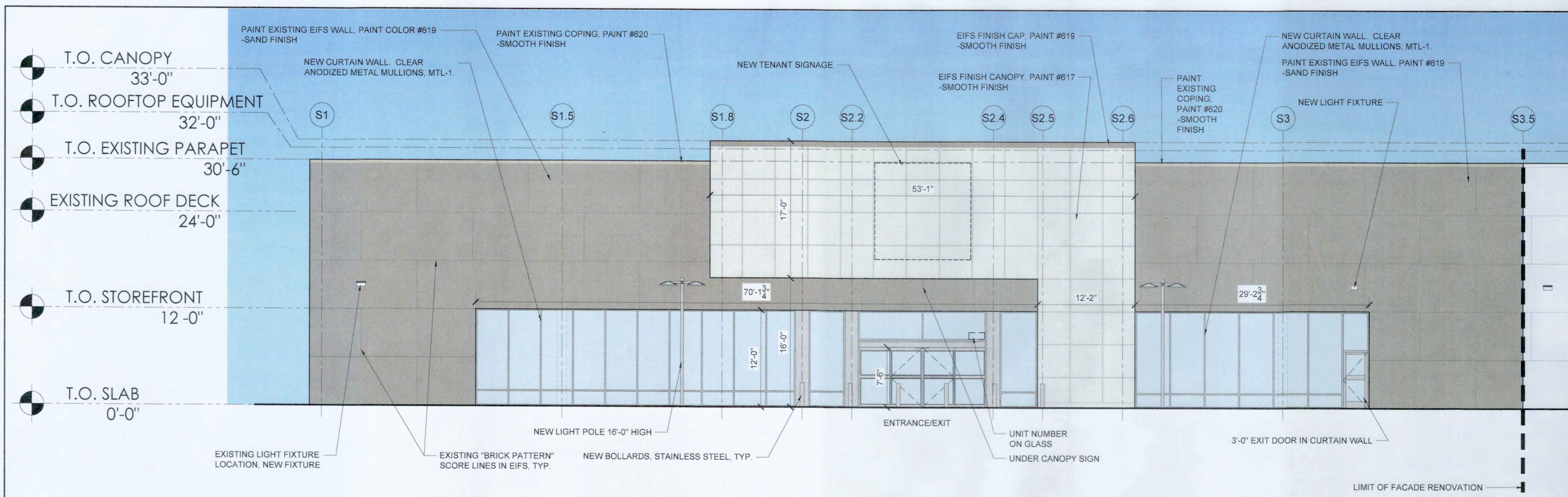
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DESIGNED BY			
DRAWN BY			
CHECKED BY			
No.	REVISIONS	DATE	BY

D'AGOSTINO IZZO QUIRK ARCHITECTS, INC.
1310 Broadway
Somerville, MA 02144
TEL: (617) 623-3000

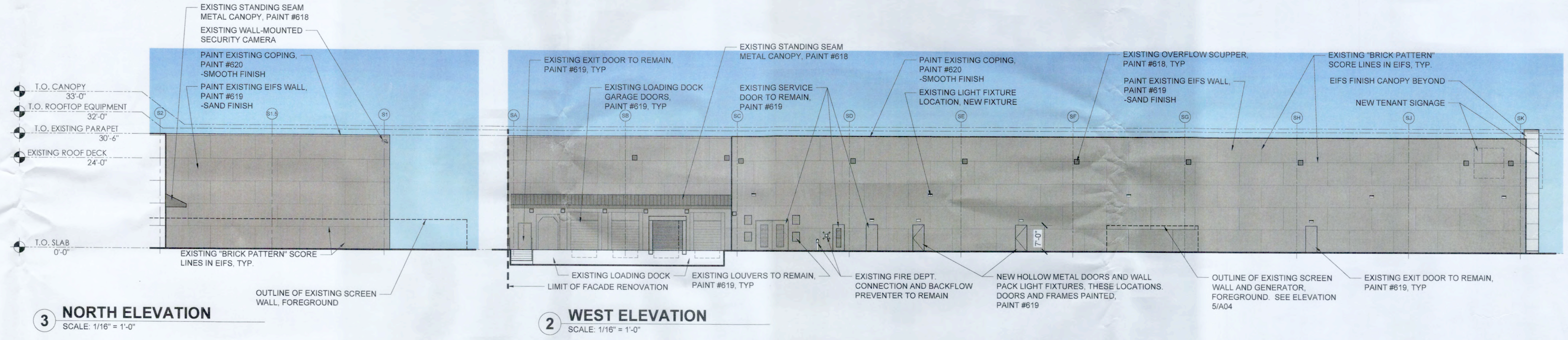
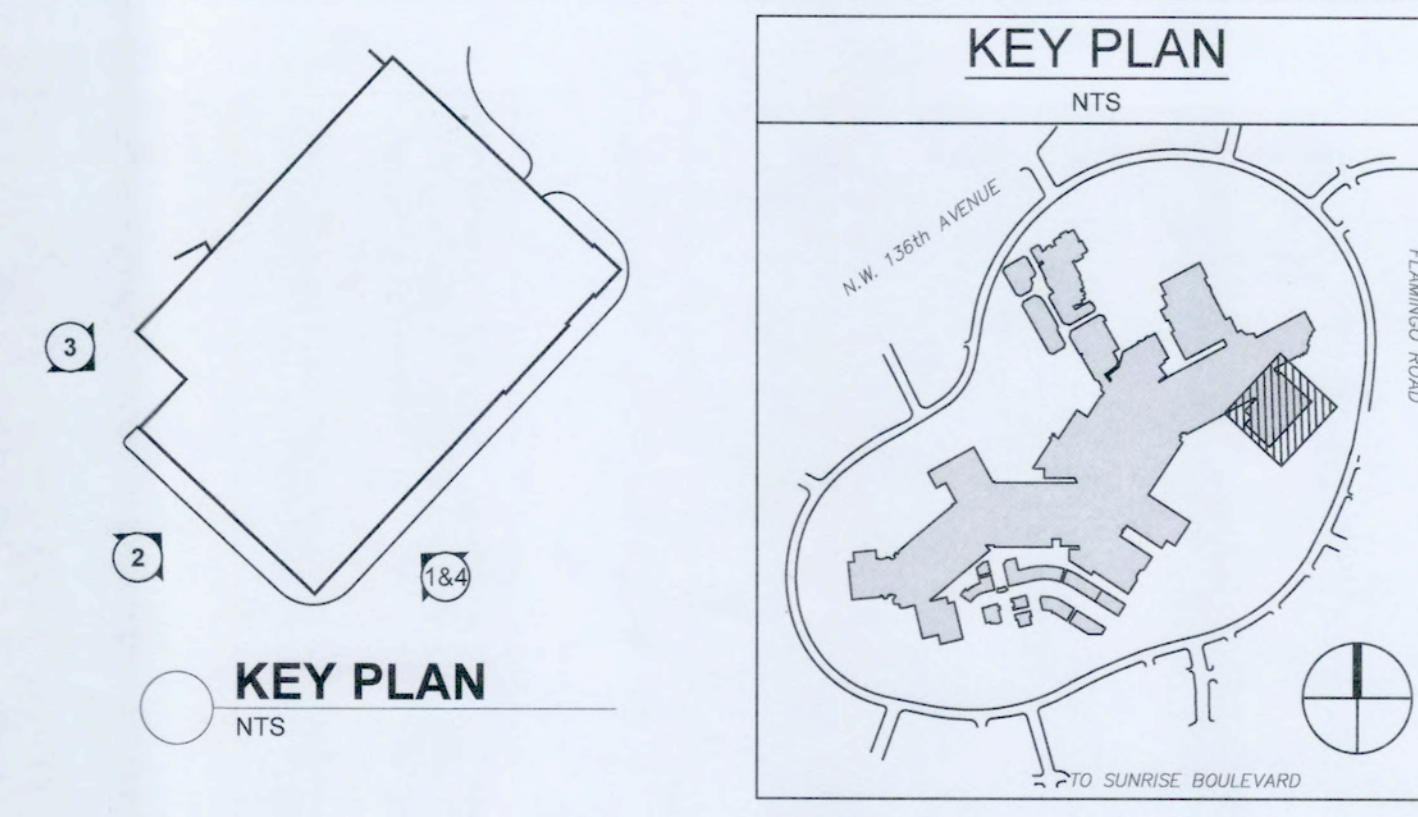
HOMESENSE - SAWGRASS MILLS

ELEVATIONS (BLACK AND WHITE)

SEAL: DATE: 7/1/2022
DRAWING NO. **A03**

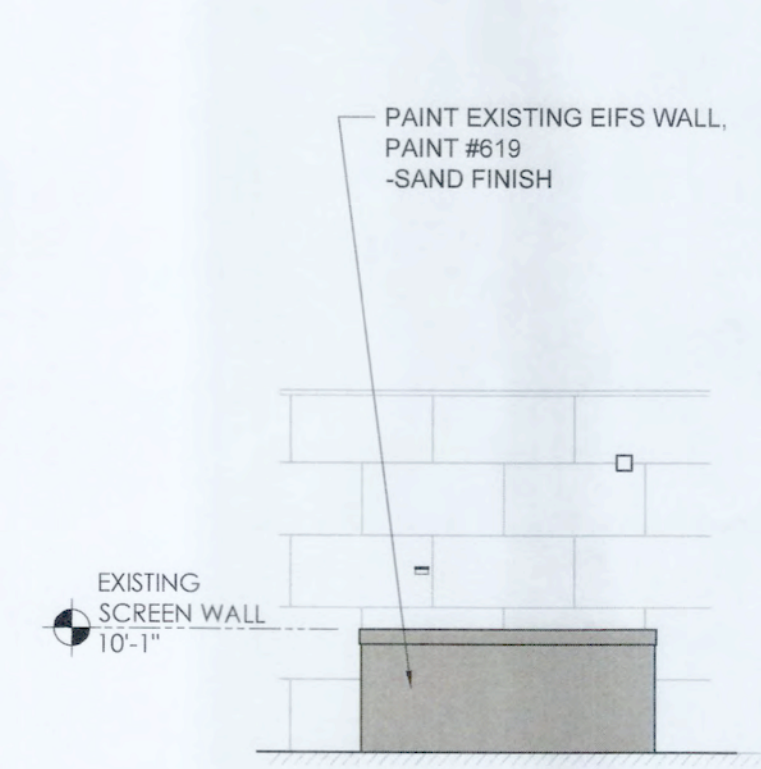


4 ENLARGED ELEVATION @ ENTRY
SCALE: 1/8" = 1'-0"

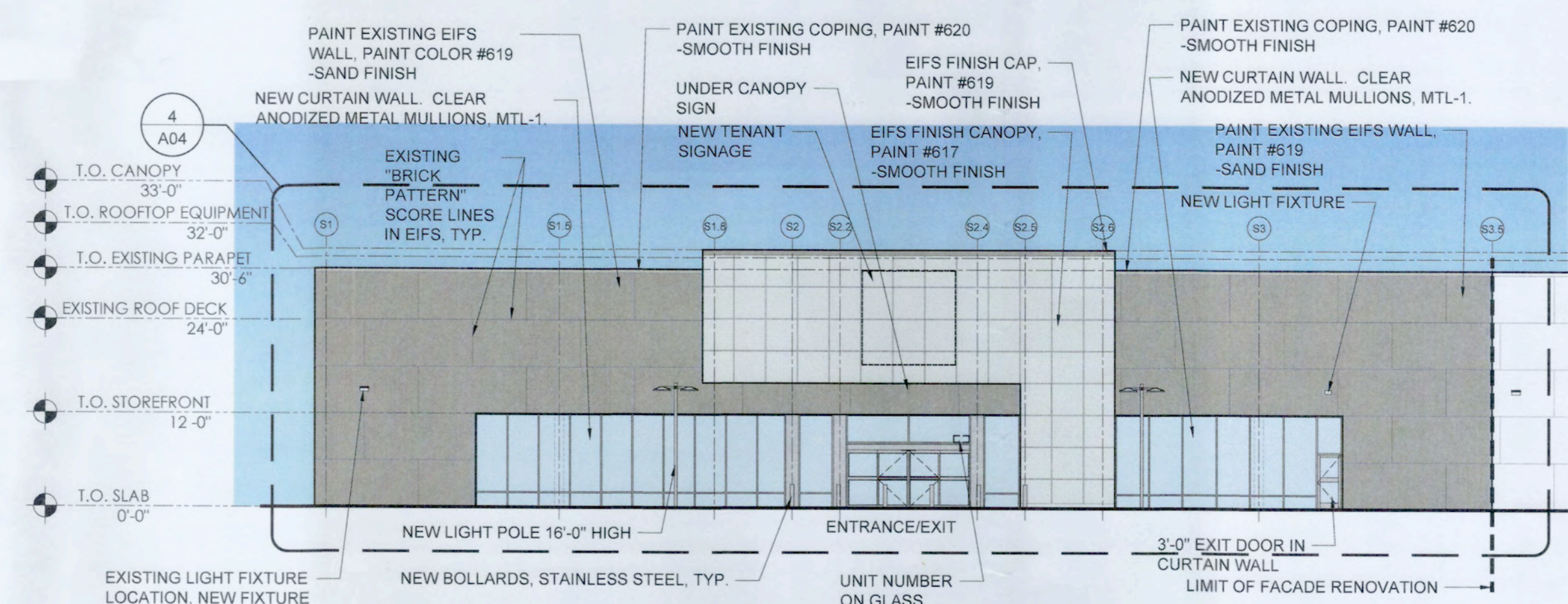


3 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

2 WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 EXISTING SCREEN WALL
SCALE: 1/16" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

GENERAL NOTES:
1. ALL EQUIPMENT LOCATED ON THE ROOF IS SCREENED IN ACCORDANCE WITH LDC 16-130.

NOTE: ALL NEW SIGNAGE REQUIRES SEPARATE APPROVAL THROUGH THE UNIFORM SIGNAGE PLAN PRIOR TO BUILDING PERMIT APPROVAL

LEAVE BLANK - FOR CITY USE ONLY

SCALE	AS NOTED		
DESIGNED BY			
DRAWN BY			
CHECKED BY			
No.	REVISIONS	DATE	BY

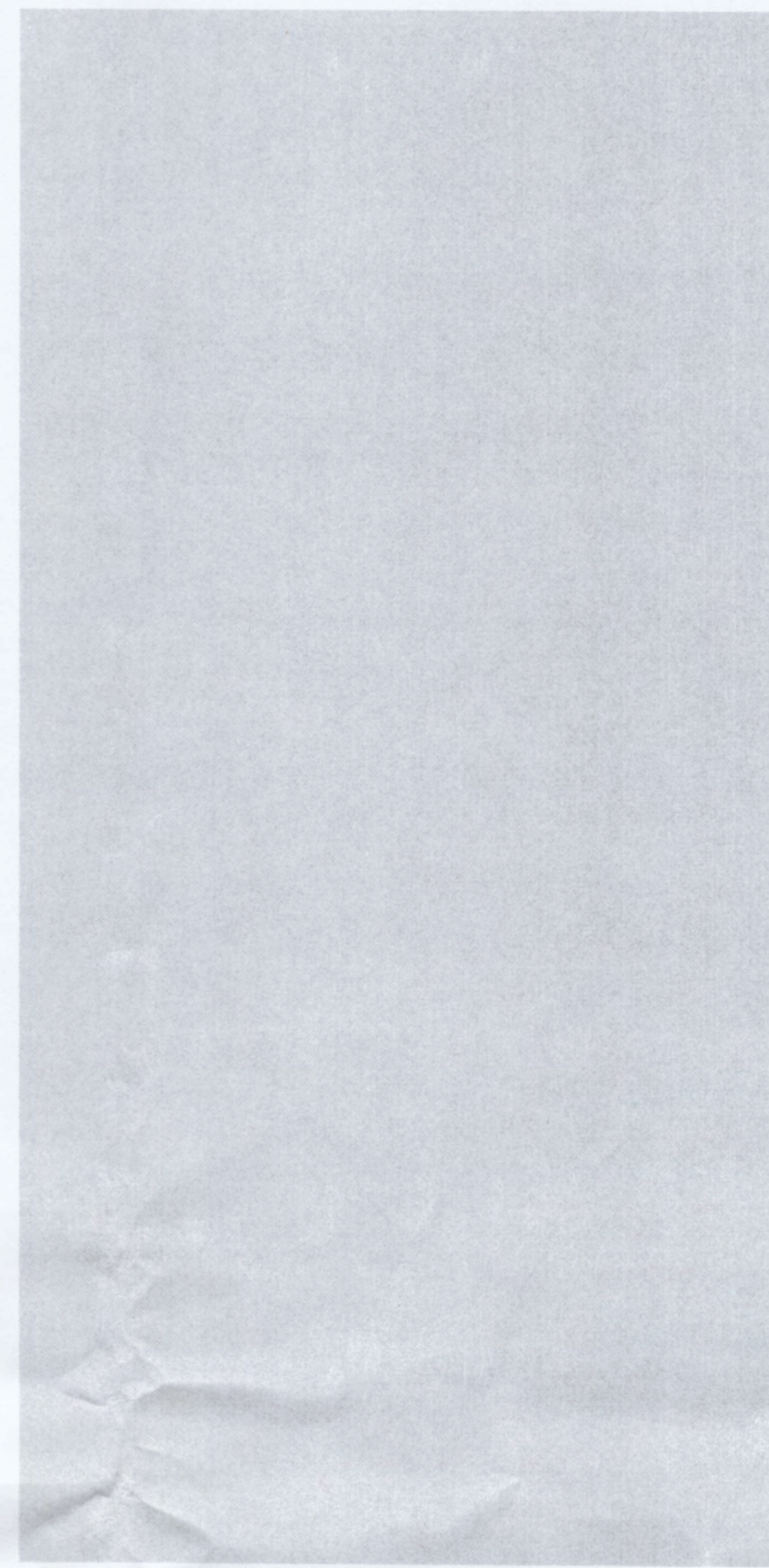
HOMESENSE - SAWGRASS MILLS

ELEVATIONS (COLOR)

SEAL: THOMAS MARTINE, REGISTERED ARCHITECT, STATE OF FLORIDA, AR101194

DATE: 7/1/2022

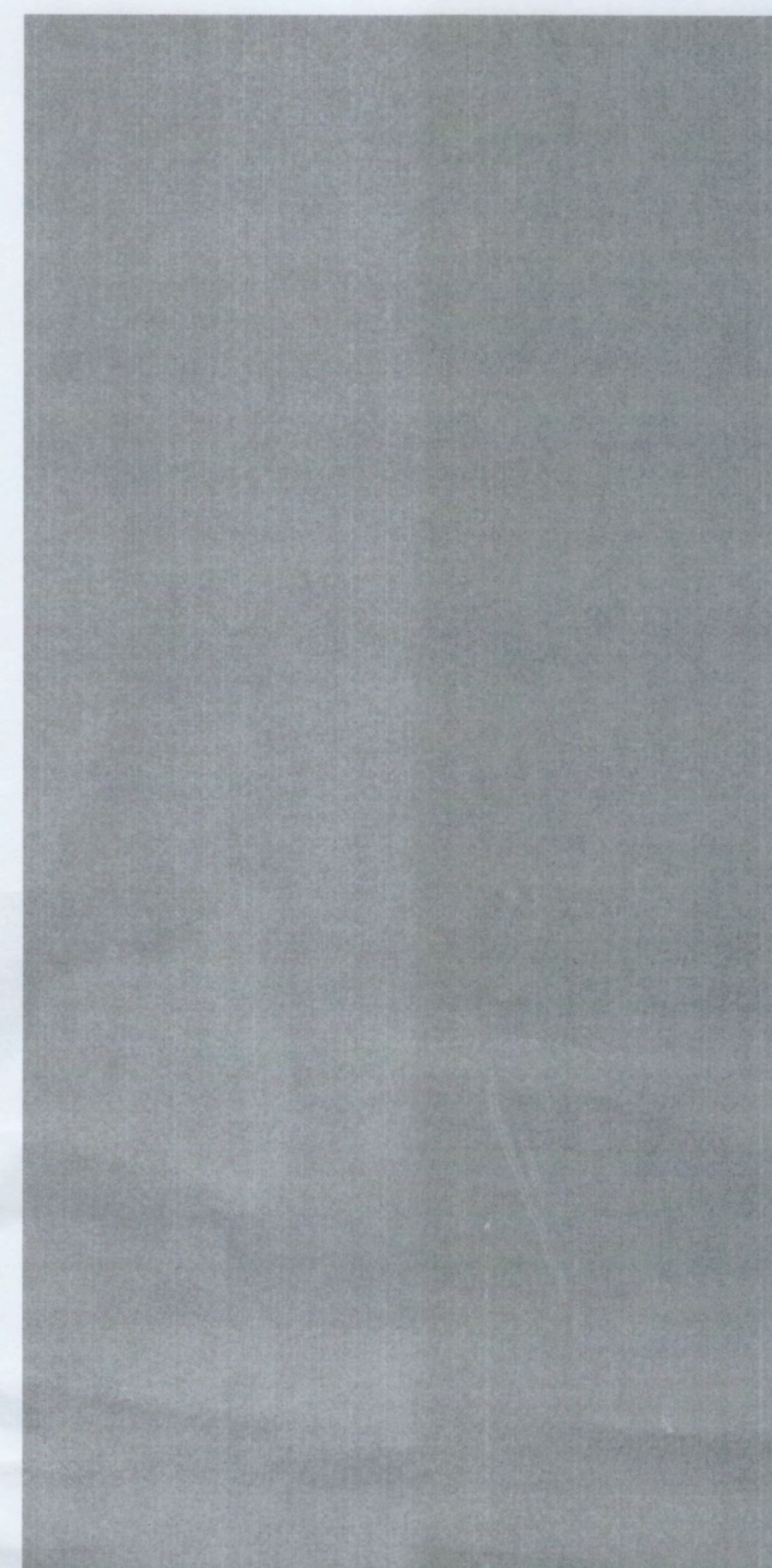
DRAWING NO. **A04**



MTL-1



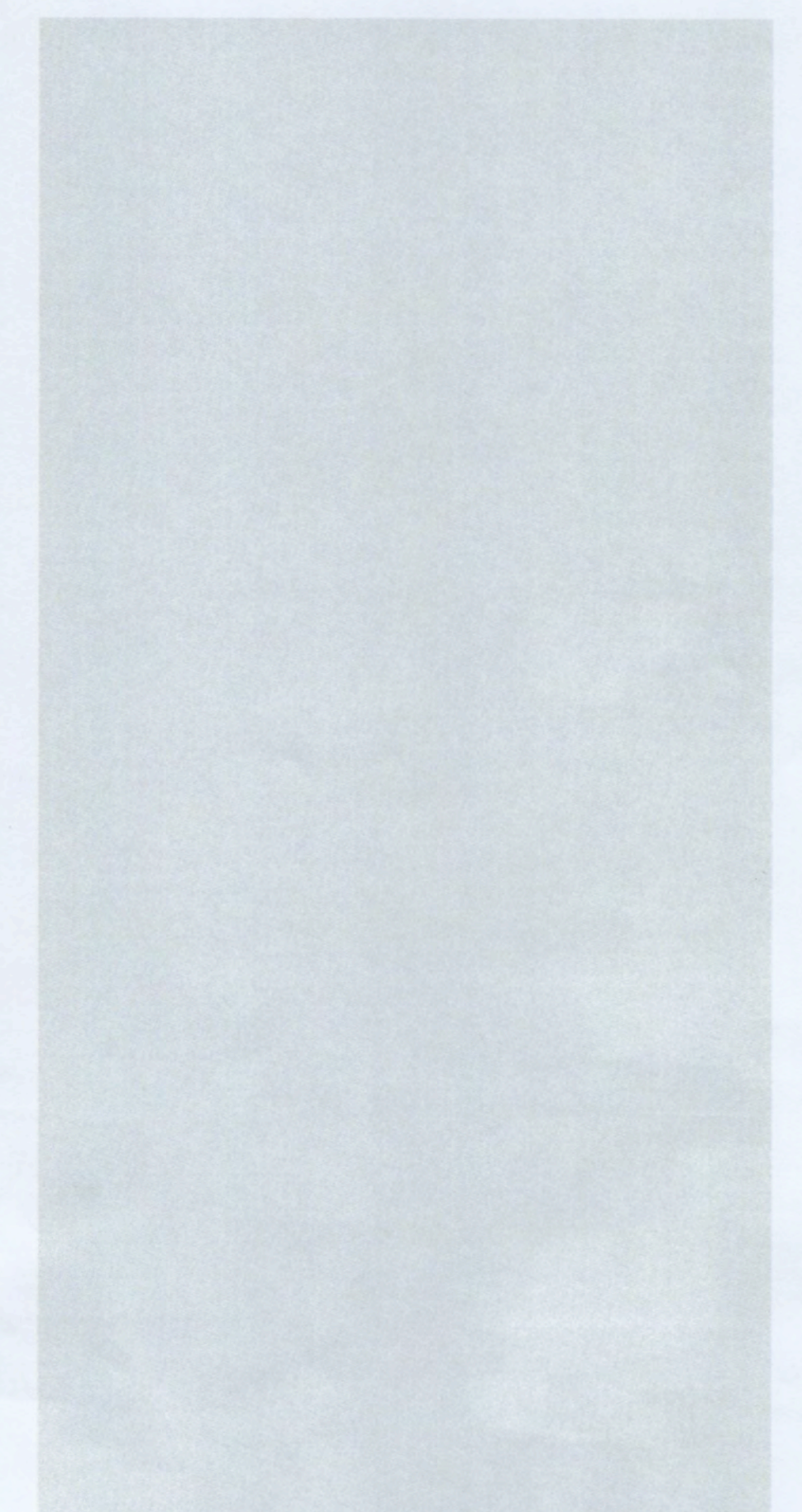
617



618



619



620

METALS

MTL-1 CLEAR ANODIZED ALUMINUM

PAINTS

617 BENJAMIN MOORE
"DECORATOR'S WHITE" CC-20
SMOOTH FINISH

618 PITTSBURGH PAINTS GROUP
"DOVER GRAY" 1001-5
SMOOTH FINISH

619 PITTSBURGH PAINTS GROUP
"FLAGSTONE" 1001-4
SAND FINISH

620 BENJAMIN MOORE
"STONINGTON GRAY" HC-170
SMOOTH FINISH

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

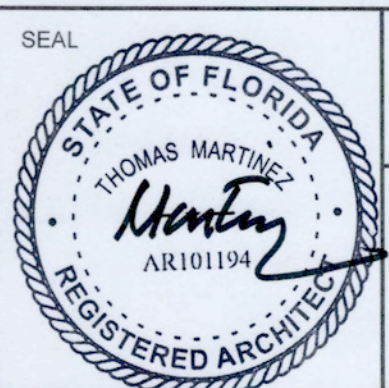
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1310 Broadway
Somerville, MA 02144
TEL: (617) 623-3000

HOMESENSE - SAWGRASS MILLS

MATERIALS

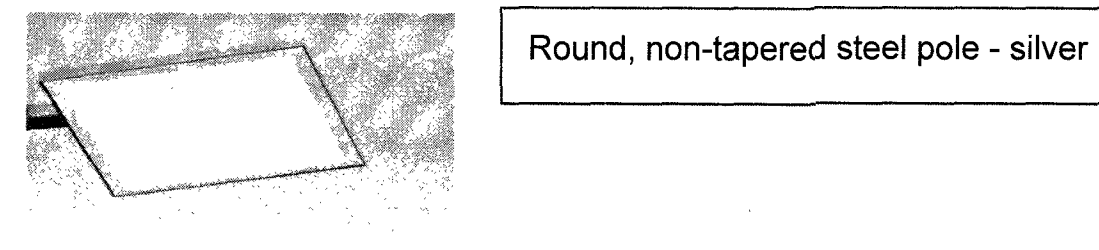


DATE: 7/1/2022

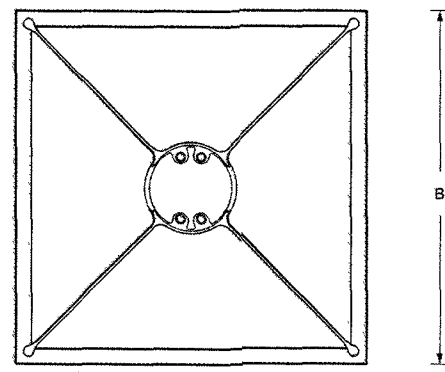
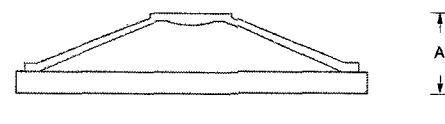
DRAWING NO. **A05**

18 February 2022 Homesense - Sawgrass Mills XA-1
 DATE PROJECT TYPE
 Iguzzini Lighting (2) 60 Watts, LED-3000K, 3780 Lumens
 MANUFACTURER LAMP Type V Optics
 Double luminaire head to be mounted on a 16'-0" pole, positioned at 180°.

U.F.O. SOFT SPECIFICATION SHEET PAGE 1 OF 2
 Project Name: Type:



General Information
 Luminaire characteristics:
 Power input: 27.0 to 60W
 Lumens: 2150 to 4077lm (optimum)
 Luminaire efficacy: 57 to 99lm/W
 Source: White LED 3000K (80CRI) or 4000K (70CRI)
 Lumen maintenance: >90% of initial lumens at 50,000 hours (L70 L80 LED/LA70 based)
 Optics: U.F.O. SOFT is only available with IESNA V.
 Body: Aluminum die-cast alloy EN1796AC 4010L. Stainless steel 304 fastening components and hardware.
 All panels are HCR Silicone 60 Series.
 Diffuser: Opt polycarbonate sheet at the factory.
 Electrical: U.F.O. SOFT available with electronic driver (20-27V 50/60Hz).
 Operating temperature: -40°C to 40°C.
 Control: Please contact factory for dimming options.
 Mounting: Universal mounting arms for Ø4" (102mm) pole diameter.
 Finish: Gray (RAL9007) painted finish with a high level of weather and UV resistance. The stainless steel coating is electrochromically applied, durable acrylic enamel baked at 200°C for superior color retention finish.
 Weight: Small: 225g (15oz) or Large: 338g (19oz)
 Warranty: 5 year limited warranty.
 Certification: cULus listed for wet location.
 Ratings: IP67 and IP68.



	A	B
SMALL	in 4.12	16.58
	mm 104	425
LARGE	in 4.78	18
	mm 122	454

FOR CONTINUOUS IMPROVEMENTS, THE INFORMATION HEREIN MAY BE CHANGED WITHOUT NOTICE. LAST UPDATE: MAY 14, 2019. CL #102
 Iguzzini NORTH AMERICA

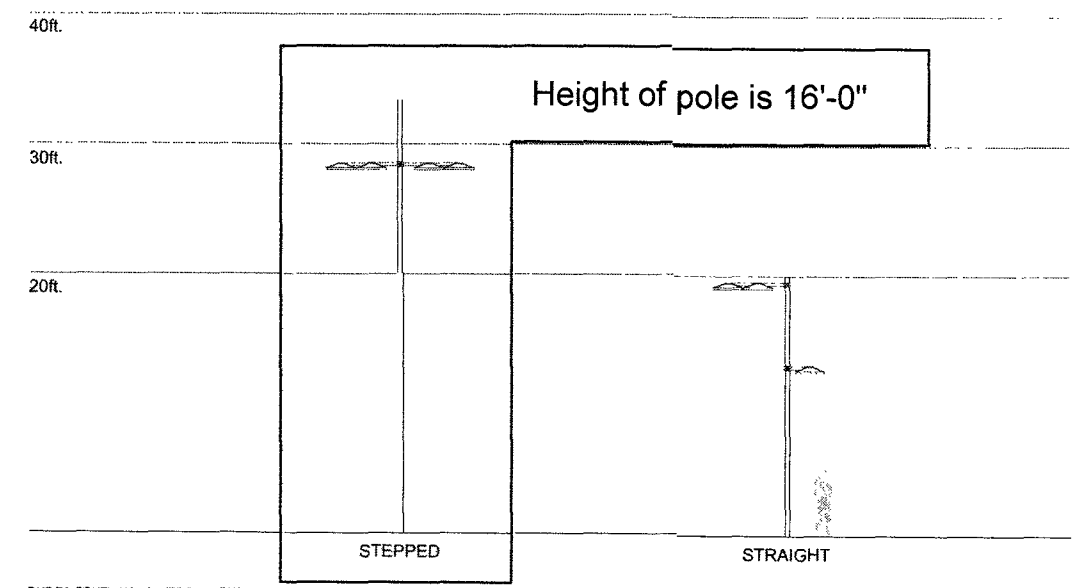
18 February 2022 Homesense - Sawgrass Mills XA-1
 DATE PROJECT TYPE
 Iguzzini Lighting (2) 60 Watts, LED-3000K, 3780 Lumens
 MANUFACTURER LAMP Type V Optics

U.F.O. SOFT SPECIFICATION SHEET PAGE 2 OF 2
 Project Name: Type:

POLE Ø4" (102mm)
 SUPPLIED BY OTHER CONTACT FACTORY FOR POLE DETAILS
 SUPPLIED BY IGUZZINI NORTH AMERICA CONTACT FACTORY FOR POLE SPECIFICATION
 HEIGHT: FT
 MODEL:
 INSTALLATION: Anchor bolts only
 ACCESS DOOR: Included (Ø from ground)
 MATERIAL: Aluminum Steel
 FINISH: 15 - Gray RAL9007 Custom RAL

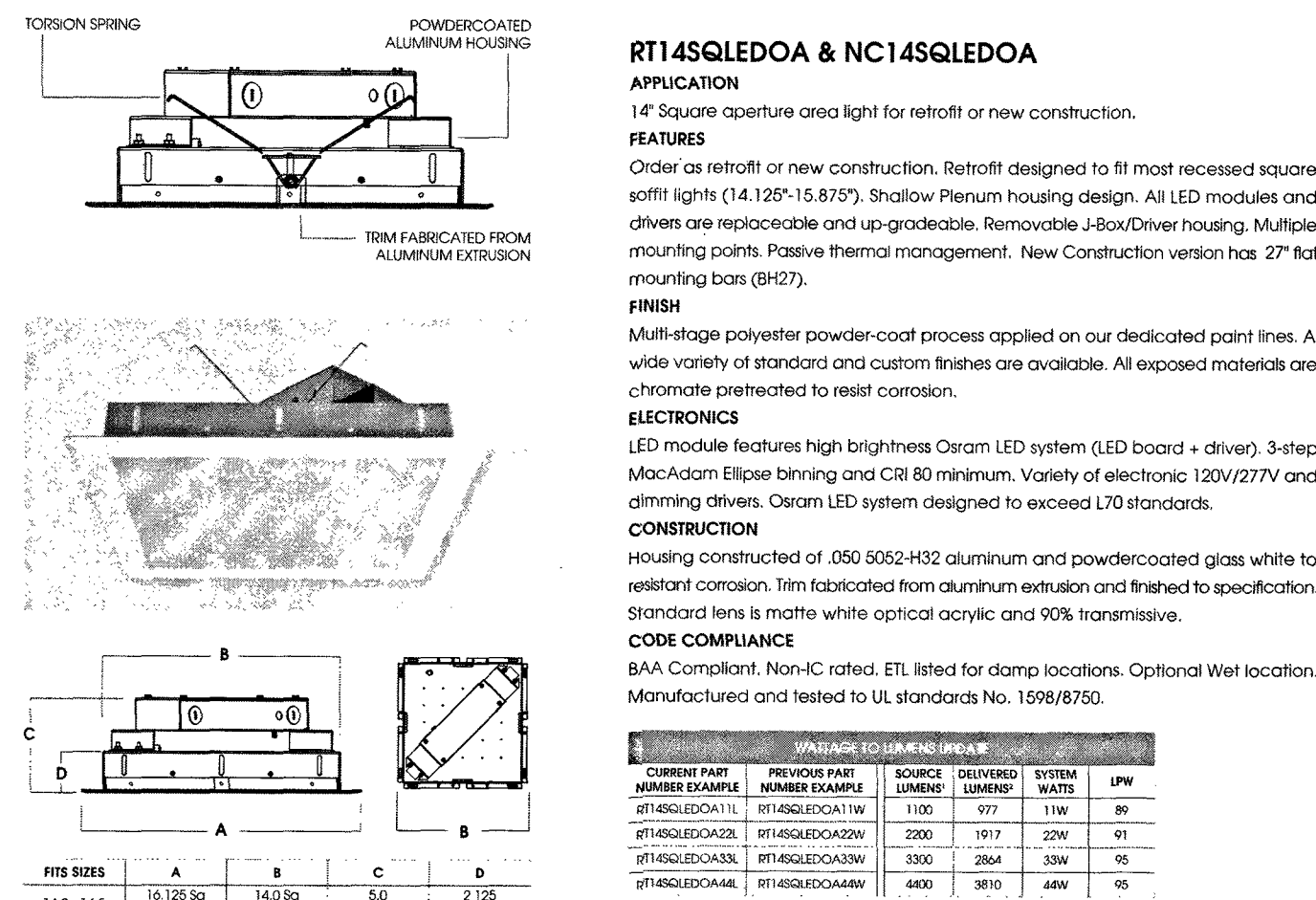
EPA & WEIGHT

MOUNT	SMALL		LARGE	
	WEIGHT lbs	EPA #1	WEIGHT lbs	EPA #1
A1	26.1	0.5	49.5	0.8
A2	69.4	0.8	89.5	1.3
B1	61.1	0.9	86.1	1.4
B2	122.4	1.6	198.5	2.8



FOR CONTINUOUS IMPROVEMENTS, THE INFORMATION HEREIN MAY BE CHANGED WITHOUT NOTICE. LAST UPDATE: MAY 14, 2019. CL #102
 Iguzzini NORTH AMERICA

14" SQUARE LED AREA LIGHT
 OA SERIES / 4400 LUMENS MAX LED



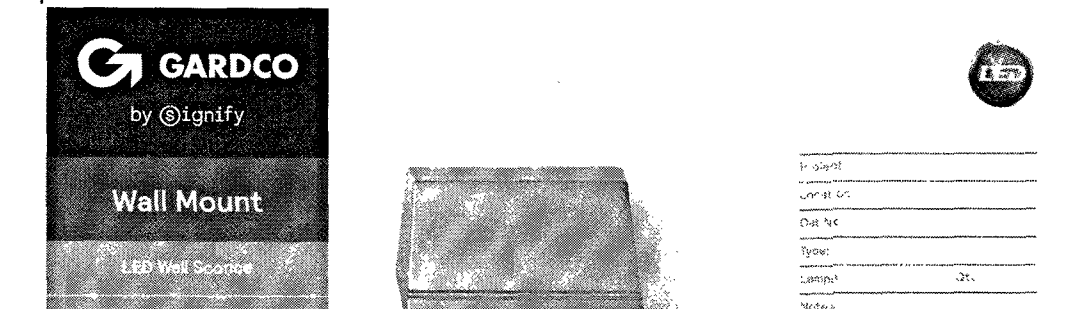
RT14SQLEDOA & NC14SQLEDOA APPLICATION
 14" Square aperture area light for retrofit or new construction.
FEATURES
 Order for retrofit or new construction. Retrofit designed to fit most recessed square apertures (14.125" x 15.875"). Show Plenum housing design. All LED modules and drivers are replaceable and up-gradable. Removable J-Box/Driver housing. Multiple mounting points. Passive Thermal management. New Construction version has 27" flat mounting bars (Ø427).
FINISH
 Multi-stage polyester powder-coat process applied on our dedicated paint lines. A wide variety of standard and custom finishes are available. All exposed materials are chrome plated to resist corrosion.
ELECTRONICS
 LED module features high brightness Osram LED system (LED board + driver). 3-Step Mac-Adam Ellipse binning and CRI 80 minimum. Variety of electronic: 120V/277V and dimming drivers. Osram LED system designed to exceed L70 standards.
CONSTRUCTION
 Housing constructed of .050 5052-H32 aluminum and powdercoated glass white to resist corrosion. Trim fabricated from aluminum extrusion and finished to specification. Standard lens is made with optical acrylic and 92% transmission.
CODE COMPLIANCE
 BAA Compliant. Non-IC rated. ETL listed for damp locations. Optional Wet location. Manufactured and tested to UL standards No. 1598/8750.

SERIES	LUMENS	CCT	DRIVER / VOLTAGE	OPTIONS	TRIM	FINISH	OPTIONS
RT14SQLEDOA	1100	4000K	120V / 277V	Electronic Driver, 120V / 277V	Ø427 Mounting Bar	Aluminum	White, Matte White, Gloss White, Satin White
NC14SQLEDOA	1100	4000K	120V / 277V	Electronic Driver, 120V / 277V	Ø427 Mounting Bar	Aluminum	White, Matte White, Gloss White, Satin White

EXAMPLE: RT14SQLEDOA33L40KE1/FT0114MMWFO50
 NOTES: 1. Recessed luminaire. 2. Recessed luminaire. 3. Contact factory for accessories. 4. See Product Options Page for Details. 5. New Construction Only. 6. Standard Finish. 7. Standard Lens.

www.spectrumlighting.com • 956-678-3300 FALL RIVER, MA 02721 • 568-678-3300 FAX 568-678-2260

18 February 2022 Homesense - Sawgrass Mills XR
 DATE PROJECT TYPE
 Gardco (Signify) 70 Watt, LED-3000K, XX Lumens
 MANUFACTURER LAMP
 Type III Optic Distribution



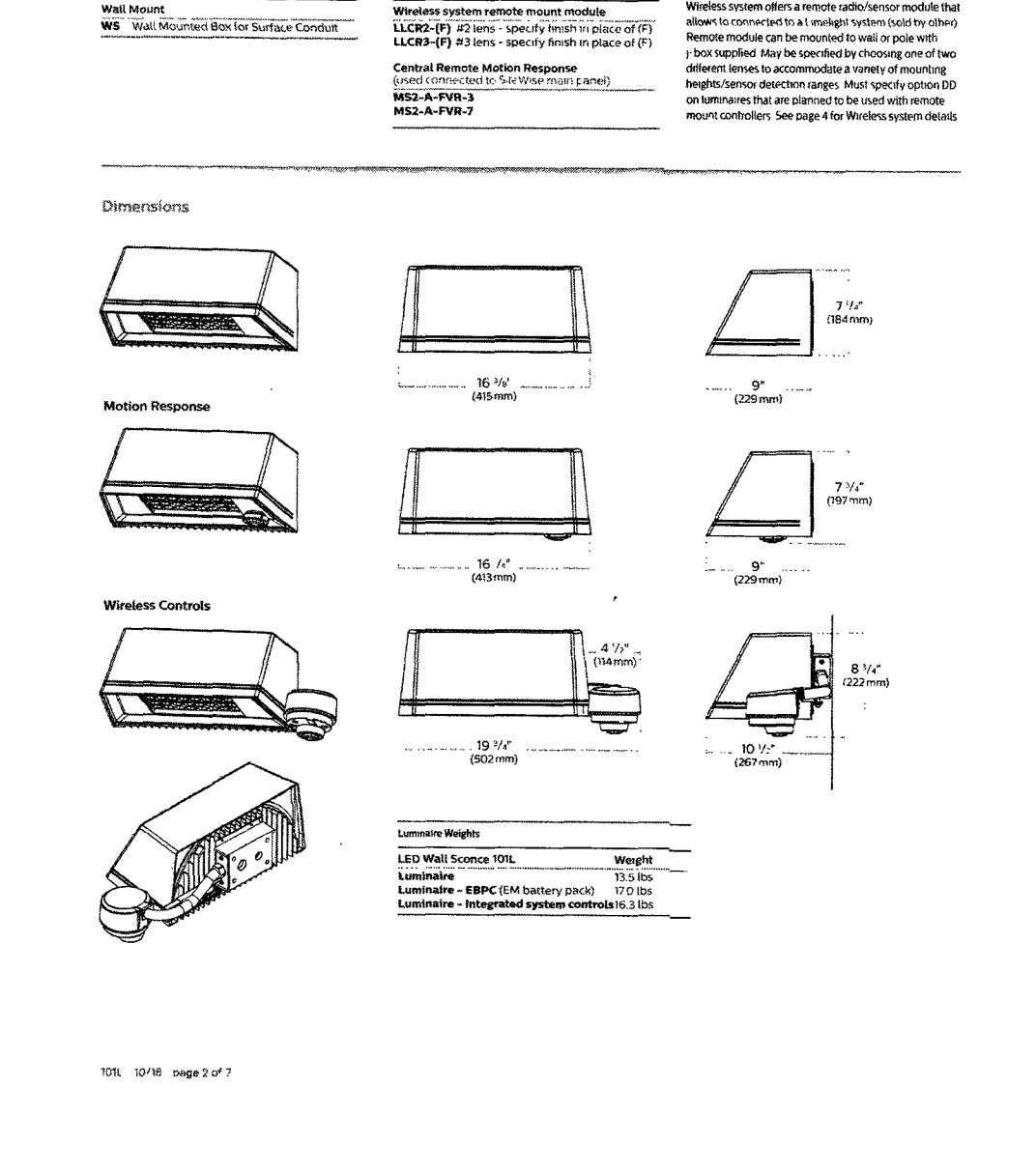
Gardco 101 LED wall sconces feature a low-profile design that provides wide flexibility in high performance exterior wall illumination. Full cutoff performance, usable illumination patterns, and powerful wattages combine into a compact and architecturally pleasing design. 101L sconces are available in Type 2, 3, and 4 distributions, and provide output of up to 9500 lumens. Energy saving control options increase energy savings and offer California Title 24 compliance. Emergency Battery Backup option available for path of egress.

Ordering guide example: 101L-32L-700-WW-G1-3-120-IMR2-RZ

101L	32L	70W	WW	G1	3	120V	IMR2	RZ
101L	32L	70W	WW	G1	3	120V	IMR2	RZ

18 February 2022 Homesense - Sawgrass Mills XR
 DATE PROJECT TYPE
 Gardco (Signify) 70 Watt, LED-3000K, XX Lumens
 MANUFACTURER LAMP

101L Sconce LED
 Wall Mount
 Luminaire Accessories: Surface Mount
 Mounting accessories:
 Wall Mount: Surface Mount
 Wall Mount: Surface Mount



FOR CONTINUOUS IMPROVEMENTS, THE INFORMATION HEREIN MAY BE CHANGED WITHOUT NOTICE. LAST UPDATE: MAY 14, 2019. CL #102
 Gardco NORTH AMERICA

18 February 2022 Homesense - Sawgrass Mills XR
 DATE PROJECT TYPE
 Gardco (Signify) 70 Watt, LED-3000K, XX Lumens
 MANUFACTURER LAMP

101L Sconce LED
 Wall Mount
 LED Wattage and Lumen Values

Model	LED Wattage	Lumen	Beam Angle	Beam Diameter	Beam Spread
101L-32L-70W	70W	9500lm	30°	14.1"	15.9"
101L-32L-140W	140W	19000lm	30°	14.1"	15.9"

FOR CONTINUOUS IMPROVEMENTS, THE INFORMATION HEREIN MAY BE CHANGED WITHOUT NOTICE. LAST UPDATE: MAY 14, 2019. CL #102
 Gardco NORTH AMERICA

No.	REVISIONS	DATE	BY

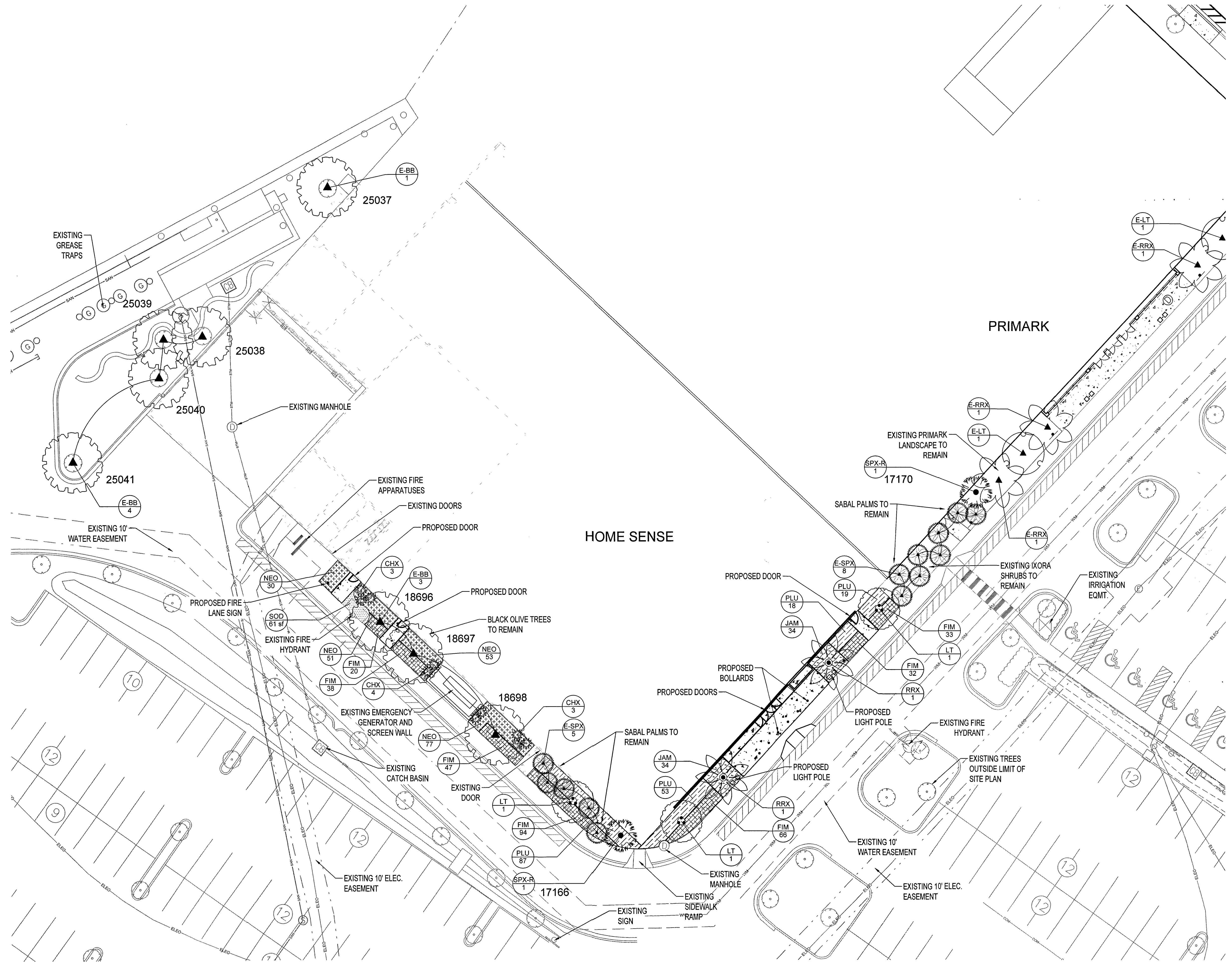
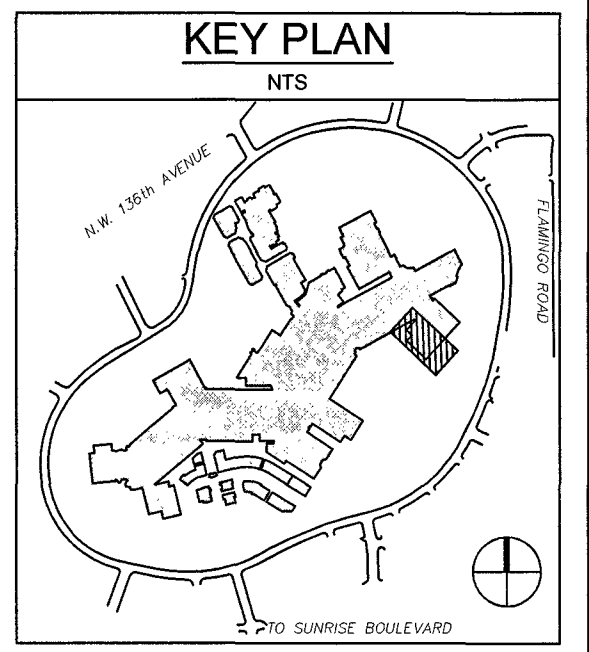
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 DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]

D'AGOSTINO, IZZO QUIRK ARCHITECTS, INC.
 1310 Broadway
 Somerville, MA 02144
 TEL: (617) 623-3000

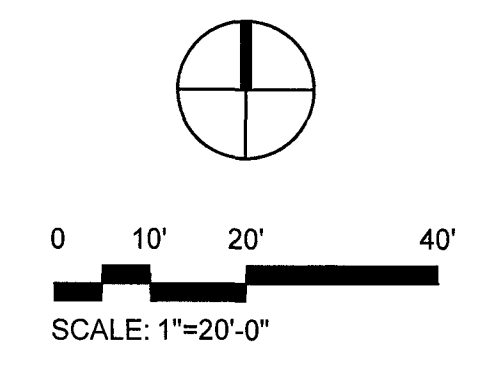
HOMESENSE - SAWGRASS MILLS

LIGHT FIXTURE CUT SHEETS

DATE: 7/1/2022
 DRAWING NO: A06
 SEAL: THOMAS MARTINE REGISTERED ARCHITECT
 STATE OF FLORIDA



PLANT SCHEDULE		
TREES	CODE	COMMON NAME
	LT	Crape Myrtle
EXISTING TREES/PALMS	CODE	COMMON NAME
	E-BB	Black Olive
	E-LT	Crape Myrtle
	E-RRX	Royal Palm
	E-SPX	Sabal Palm
RELOCATED TREES/PALMS	CODE	COMMON NAME
	SPX-R	Relocated Sabal Palm
PALM TREES	CODE	COMMON NAME
	RRX	Royal Palm
SHRUBS	CODE	COMMON NAME
	CHX	Cascade Palm
SHRUB AREAS	CODE	COMMON NAME
	FIM	Green Island Ficus
	JAM	Downey Jasmine
	NEO	Kimberly Fern
	PLU	Blue Plumbago
GROUND COVERS	CODE	COMMON NAME
	SOD	St. Augustine Grass



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

SCALE: 1" = 20'-0"

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

CRAVEN THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C200114

SAWGRASS HOMESENSE

LANDSCAPE PLAN

DATE: 07/01/2022

DRAWING NO. LP-1

PROJECT: 93-0041-801-10

Professional Engineer Seal: Scott W. Pavler, Florida R. License No. 666697, June 28, 2022

GENERAL NOTES

- All existing trees proposed to remain are to be separated from the limits of disturbance of the construction area by tree protection fencing and signage. the tree protection fencing shall be located at the edge of the tree protection zone as depicted on the plan or at the edge of the dripline(s) if a tree protection zone is not designated. no material storage or construction access is permitted within the tree protection zone.
- All existing trees shall be pruned to ansi a-300 standards to correct potential hazards.
- A tree removal permit is required prior to removal or relocation of any tree or palm. contact the city of sunrise arborist to obtain permit information.
- Landscape contractor shall notify sunshine one call of florida, inc. at 1-800-432-4770 a minimum of 2 full business days prior to digging. landscape contractor is responsible for avoiding damage to utilities from plant installation.
- Tree relocations:
 - existing trees to be relocated shall be root pruned a minimum of 120 days prior to relocation
 - minimum root ball sizes shall be in accordance with ansi standards as follows:

caliper	minimum root ball diameter
1	16
2	24
3	32
4	42
5	54
6	60
7	70
8	80
>8	12 inches per inch of trunk diameter

 transplanted trees with undersized root balls may be rejected by the city arborist and replacement trees may be required.
 - a temporary irrigation system shall be provided during and for the first 40 days after root pruning.
- All planting must follow planting specifications and details shown on the plan.
- Substitutions of plant species or specifications must be approved in writing by the city of sunrise arborist prior to use.
- All plant material planted per this landscape plan shall be florida grade #1 or better, as specified in the current edition of the florida department of agriculture's grades and standards for nursery plants. damaged plant material shall be rejected and replaced prior to installation.
- All sizes shown for plant material are to be considered minimums.
- Where quantities and/or species differ between the planting plans and plant lists, the plans shall take precedence.
- All new plant material shall be warranted by the landscape contractor for a minimum period of one year. the warrantee period shall begin after date of substantial completion.
- Plant beds to be treated with pre-emergent herbicide prior to planting
- All tree and palm staking and support shall be removed one year after installation.
- No fertilizer shall be applied to newly planted trees and palms.
- All landscape material shall be thoroughly watered at the time of planting, no dry planting permitted.
- Landscape contractor shall be responsible for providing temporary water provisions until such time as the irrigation system is operational.
- All wire guys and/or fabric straps shall be flagged with florescent colored tape.
- Mulching:
 - all landscape areas not covered by sod shall be covered by a minimum 3-inch layer of mulch.
 - a mulch ring with a minimum radius of 24 inches (48 inch diameter), is required around all newly installed trees and palms.
 - cypress mulch shall not be used.
 - no mulch shall be placed touching or within six inches of the trunk of a tree or palm.

- All newly landscaped areas within or abutting vehicular use areas, including landscape islands shall be excavated down to a depth of 30 inches below final grade and replaced with approved clean debris-free 70/30 planting soil. Planting pits for trees must contain planting soil to a minimum width of 2 times the root ball. Construction access shall be restricted from the landscape area after excavation and backfill is complete.
- All landscape areas shall be finish graded such that they are a minimum of 3.5 inches below surrounding paved surfaces so as not to impede the flow of drainage into landscaped areas and to allow for a 3-inch mulch layer.
- The location of plant material as shown on these plans is final. the final locations can be adjusted on site to accommodate unforeseen field conditions. these changes must comply with all safety setback criteria and be directed or approved by the landscape architect and the city of sunrise codes.
- Report any and all discrepancies between the construction drawings and field conditions to the landscape architect immediately.
- The contractor is responsible for verifying all plant counts and report any discrepancies to the landscape architect prior to construction.
- Before construction begins the contractor is responsible for locating all underground utilities and shall avoid damage to all utilities during construction. if such damage occurs the contractor is responsible for any necessary repairs and they should be made immediately at the contractors expense with supervision of the landscape architect.
- All work must comply with the florida state statute 553.81- "protection of underground pipelines."
- The contractor must comply with all state and local water quality standards.
- The location of all the utilities shown on the plan is approximate. the exact location shall be determined by the contractor on site. all planting may be adjusted to avoid conflicts with utilities and/or existing above ground elements. any adjustments greater than 10 feet shall be done only with the approval of the landscape architect.
- Caution should be exercised when working near existing planting and any furnishing that is to remain on site to prevent any damage. any signs, structures, or planting shall be replaced at the contractors expense if damaged beyond use. damaged beyond use will be determined by the landscape architect.
- Any public land corner within the limits of construction is to be protected. if a corner monument is in danger of being destroyed and has not been properly referenced, the contractor shall notify the district location surveyor immediately.
- Maintenance of traffic for this project shall be in accordance with the manual of uniform traffic control devices for streets and highways (u.s. department of transportation, f.h.w.a.). attention is directed to standard index number 623 of the roadway and traffic design standards. any mot on a public roadway requires an mot permit.
- The contractor shall insure that installation of all planting in medians and right of ways conforms to criteria set forth in f.d.o.t. roadway and traffic design standards and in f.d.o.t. maintenance rating program.
- Any maintenance that involves traffic activity shall be coordinated with the contractor and ongoing construction activities.
- Contractor is responsible for cleaning all work areas at the end of each working day. any debris shall be collected and deposited appropriately off site daily. all materials, products, and equipment shall be stored in an organized fashion as directed by the landscape architect.
- The contractor is responsible for obtaining all permits that are required by the city for tree removal, relocation, tree protection or installation before beginning work.
- All existing trees to remain shall be protected by installing protective barriers around the drip line of trees. these protective barriers shall be seen easily by operators of trucks and other equipment. they shall be constructed of sturdy materials (not flagging or ribbon) and shall be installed prior to and during construction.
- Do not store or use any materials or equipment within the drip line of any tree that is to be relocated or protected in place unless the activity is being done to protect the trees.
- Do not discharge or contaminate the soil within the drip line of any of the trees to be relocated or protected in place. this includes substances such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or any other material that may cause damage to the tree's root system.

- Clearing of vegetation within the drip line of the trees designated to be protected in place or relocated shall be performed cautiously with hand tools to minimize any damage to the tree's root system.
- Do not attach anything to trees that are to remain on the site unless it is something that will protect and not damage the tree.
- Keep a natural grade above the drip line on any tree that is to be protected in place. any preserved trees disturbed during construction must be returned to its original grade after construction.
- All landscape and lighting will be in accordance with ordinance #2011-029 for protection of sea turtles.
- All landscape and planting shall comply with broward county land use policy 9.03.03 and with chapter 62b-55 of the florida administrative code.

SOIL PREPARATION, SOIL MIX, FERTILIZER, + MULCH NOTES

- Topsoil shall be clean and reasonably free of construction debris, weeds, rocks and noxious pests and disease. The topsoil for all planting areas shall be amended with a minimum of 40% percent of mulch or horticulturally acceptable organic material. The minimum topsoil depth shall be 6 inches for upper, mid and low level plant material and two inches for sodded grass areas.
- Ensure that all planting soil is fertile, friable, natural loam surface soil, reasonably free of subsoil, clay lumps, weeds and other litter, and free of roots, stumps and stones larger than one inch in any dimension, and other extraneous or toxic matter harmful to plant growth. should any soil amendment be necessary, the contractor shall bring this to the attention of the landscape architect.
- Apply approved herbicide- according to manufacturers rate and specs within limits of all areas to be planted. protect existing plants to remain from overspray or spray within root zone. contractor to ensure total weed eradication.
- Scarify subsoil to a depth of 3 inches.
- Planting mix for trees, shrubs, and groundcovers shall consist of a thoroughly blended mixture of (based on particle size):
 - 30% silt/clay
 - 70% sand
- Planting mix for backfill around root balls of palms:
 - 90% clean native sand or approved substitute
 - 10% topsoil
- Fertilize all trees, shrubs and groundcover with planting tablets 20-20-5 formula, 21 gram.
- All shrub beds shall be excavated to a minimum depth of 30" and back filled with the specified mixture.
- Smooth all prepared topsoil to 3.5" except within drip lines of existing trees and 4" below top of surrounding paving edges. Remove all rocks and other objects over 1" in diameter.
- Finish grade all prepared topsoil areas to a smooth, even surface assuring positive drainage away from the structures and eliminate any low areas which may collect water.
- Topsoil shall not be extremely acidic or alkaline, nor contain any toxic substance which may be harmful to plant growth. the ph shall be in the range of 5.5-6.5.
- Contractor shall mulch all planting material throughout and completely to a 3 inch depth with clean, weed free floramulch
- Minimum of 2" topsoil must be added under all sodded areas.

IRRIGATION NOTES

- Xeriscape principles have been applied to this landscape plan as specified in sfwmd's xeriscape plant guide ii and shall be applied all throughout landscape installation and maintenance.
- The contractor shall maintain temporary irrigation or provide hand watering for all relocated trees and palms from notice to proceed until permanent irrigation system is operable.
- The irrigation system shall be configured to accommodate existing trees and palms.
- All landscaped areas must be irrigated. irrigation design and installation shall be in accordance with city of sunrise code, section 16-163(b).

- Remove existing irrigation equipment which interferes with any construction. this includes, but is not limited to, controllers, sprinkler heads, pipe, quick couplers, backflow preventers, control wire and conduits. additionally the contractor is responsible for maintaining the existing system throughout the construction process.
- Landscape contractor shall coordinate all planting work with irrigation work. inspect irrigation system and insure that adequate water is available before beginning planting operations. irrigation systems will not provide sufficient quantities of water for newly planted materials. the landscape contractor is responsible for deep root hand watering.
- See irrigation plans for additional notes and details.

LANDSCAPE NOTES

- All plant material furnished by the landscape contractor unless otherwise specified shall be florida no. 1 grade or better, and shall be installed as specified in "grades and standards for nursery plants," published by the florida department of agriculture and consumer services. all plant material must be healthy, vigorous materials, free of pests and diseases.
- All sizes shown for plant material on the plan are to be considered as minimums. all plant material must meet or exceed these minimum requirements for both height and spread. any other requirements for specific shape or effect as noted on the plan or specifications will also be required for acceptance. any substitutions must be approved by landscape architect before planting.
- The contractor is responsible for all planting meeting specifications as noted before installation. contractor shall immediately remove all planting that does not meet specifications and be held responsible to replace it with appropriate planting.
- In the event of a variation between the plant lists and the actual quantity of plants shown, the plans hold true.
- All root balls shall conform to the size standards set forth
- Contractor to submit to the landscape architect the growers and/or site inspection certificate for plant materials two (2) weeks prior to commencement of work.
- All plant materials must be protected during transport and delivery to the job site with shade cloth or other acceptable means of windburn prevention.
- Contractors shall field verify all information prior to initiating planting installation. all existing planting shall remain intact and undisturbed unless otherwise noted on the plans.
- Landscape contractor shall field stake the location of all plant material prior to installation for the review and approval of the landscape architect.
- All trees must be florida #1, straight trunked, full headed, and meet all requirements specified.
- Contractor to guarantee plant material for a full year establishment period following date of substantial completion.
- Contractor to replace rejected plant material within one week of notice.
- Contractor to request inspection of project in writing. if all work is satisfactory and complete in accordance with conditions of contract documents, then the city and landscape architect shall declare substantially complete. substantial completion constitutes the beginning of the guarantee period.
- Installation- all plant material shall be installed in a sound workmanlike manner and according to good planting procedures with the quality of plant materials as hereinafter described. all elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
- Contractor is responsible for watering and maintaining all trees and landscape until final acceptance by owner. contractor shall insure that all drainage and percolation of all planting pits prior to installation of plant material. contractor is responsible for replacement of plants if dead or dying prior to final acceptance.
- Typically, shrub and groundcover plantings are shown as mass planting BEDS. Plants should be placed on a triangular spacing shown in the planting details. Plant center to center dimensions (o.c.) are listed on the plant list.
- Trees grown in grow bags or grow bag type material must have the grow bag removed entirely before planting.

- Balled and burlapped material shall have the top one half (1/2) of the burlap around the base of the trunk cut and pulled back. do not remove the burlap but wire cages, straps, etc. must be cut and removed completely before installation.
- Contractor shall refer to the landscape planting details, plant list, general notes, and any other materials from the landscape architect for complete landscape planting instructions.
- "Branch touching branch" provided at time of installation. all hedges - both cocoplum and silver buttonwood to be min. 24" at planting and 36" high within one year.
- The following guidelines shall be followed to ensure successful transplanting of trees:
 - any tree being relocated shall not be unnecessarily damaged during removal, transport, or replanting of that tree.
 - trees must be root pruned appropriately prior to removal.
 - during and following transplanting the root ball must be kept moist at all times.
 - transplanted trees shall be braced at least one full year.
 - transplanted trees shall not be fertilized at planting time but shall be watered sufficiently until the tree growth is reestablished.
 - relocated trees/palms will be moved in accordance with minimum standards set forth in ansi a-300
 - all crown pruning shall be done in accordance with national arborist association standards or palm pruning in accordance with city standards.
- Landscape contractor shall regrade all areas disturbed by plant removal, relocation, and/or installation work. Landscape contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation or installation.
- Contractor shall be responsible to replace all portions of existing sod areas damaged while completing planting installation, as well as existing sod areas damaged during construction with same grass species to the satisfaction of the landscape architect.
- General grading to approximately 1 inch shall be provided by the contractor. all finished site grading and final decorative berm shaping shall be provided by the landscape contractor.
- All landscape materials shall be maintained to provide continuous clear zones for sight visibility for pedestrians and vehicular traffic and landscape maintenance shall conform to standard index 546 criteria set forth in f.d.o.t. roadway and traffic design standards.

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No.	REVISIONS	DATE	BY

SCALE:	NTS
DESIGNED BY:	SWP
DRAWN BY:	SWP
CHECKED BY:	JDH

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 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
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SAWGRASS HOMESENSE

LANDSCAPE NOTES

PROJECT: 93-0041-801-10

DATE:	07/01/2022
DRAWING NO.	LP-2

LANDSCAPE DATA:

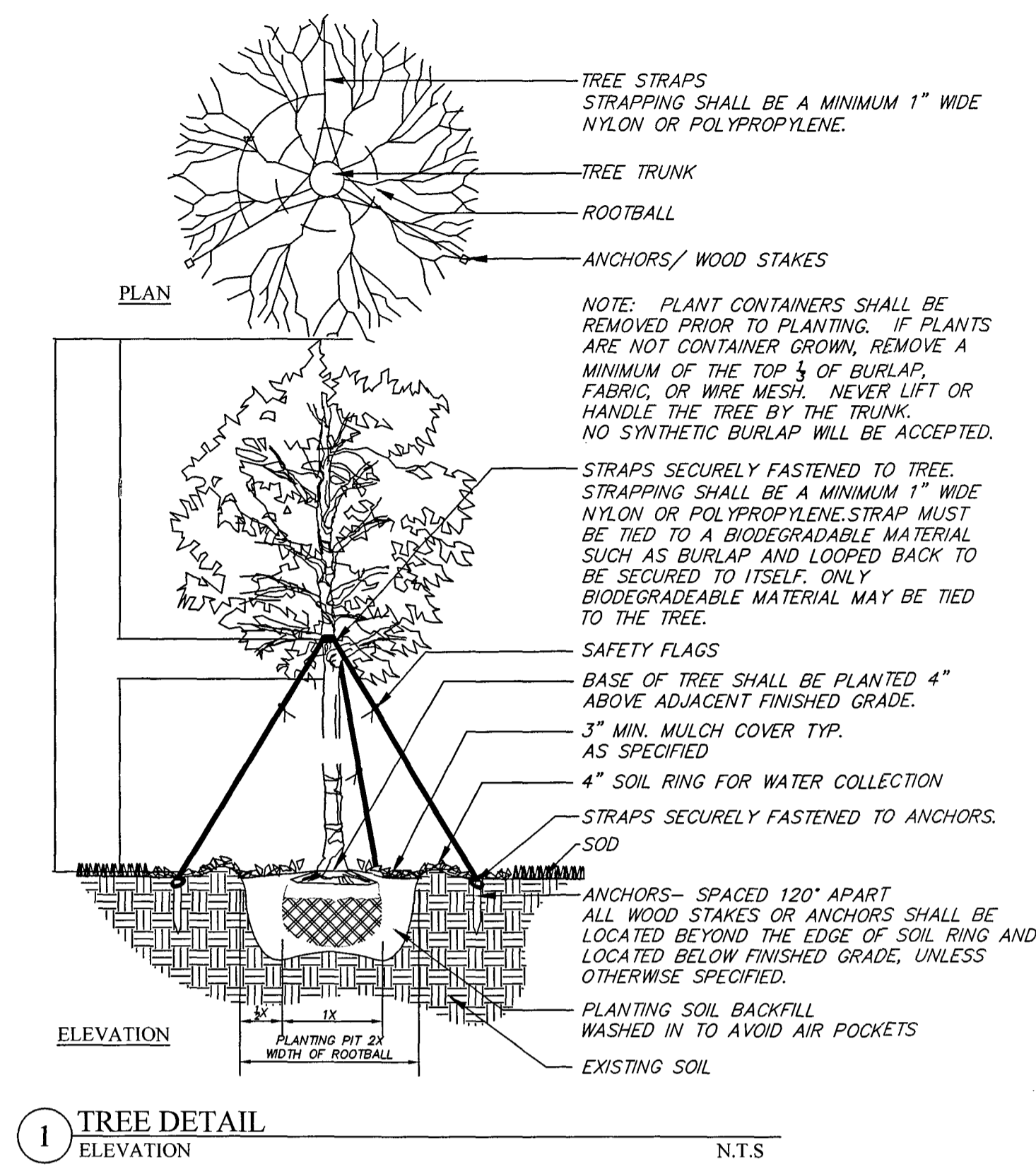
	Required	Provided
I. Pedestrian Zone (Sec. 16-151 (b) (2))		
South Elevation (Store Entrance)		
A. Required 20' from bldg 89 lf X 20'= Pervious= B. Required 1 tree/palm per 25' 89 lf / 25'= C. Required low,mid,upper shrubs Mid: 89 lf/2'= Low: 50% of Mid Level 45*50%= Upp.: 10% of Mid Level 45*10%= West Elevation (Loading/ BOH)	1,780 sqft. 890 sqft. 4 Trees 45 Shrubs 23 Shrubs 5 Shrubs	1,537 sqft. 991 sqft. 4 Trees 68 Shrubs 131 Shrubs 90 Shrubs
A. Required 20' from bldg 130.8 lf X 20'= Pervious= B. Required 1 tree/palm per 25' 130.8 lf / 25'= C. Required low,mid,upper shrubs Mid: 130.8 lf/2'= Low: 50% of Mid Level 66*50%= Upp.: 10% of Mid Level 66*10%= TOTAL	2,616 sqft. 1,308 sqft. 6 Trees 66 Shrubs 33 Shrubs 7 Shrubs	2,280 sqft. 1,488 sqft. 6 Trees* 211 Shrubs 199 Shrubs 97 Shrubs
III. Specimen Tree (Sec. 16-151 (b) (1)) 50% of Required Trees be 1/3 greater in height & spread	5 Trees	5 Trees*
10 trees x 50%= Tree Required Size Palm Required Size	16' 27'-32'	18' 36' OA
IV. Palm Maximum (Sec. 16-165 (d) (3)) Maximum of 30% of Required Trees can be Palms	3 Trees	4 Trees
10 trees x 30%= TOTAL	10 Trees / 183 Shrubs	10 Trees / 796 Shrubs

* EXISTING BLACK OLIVES COUNT TOWARD CALCULATIONS

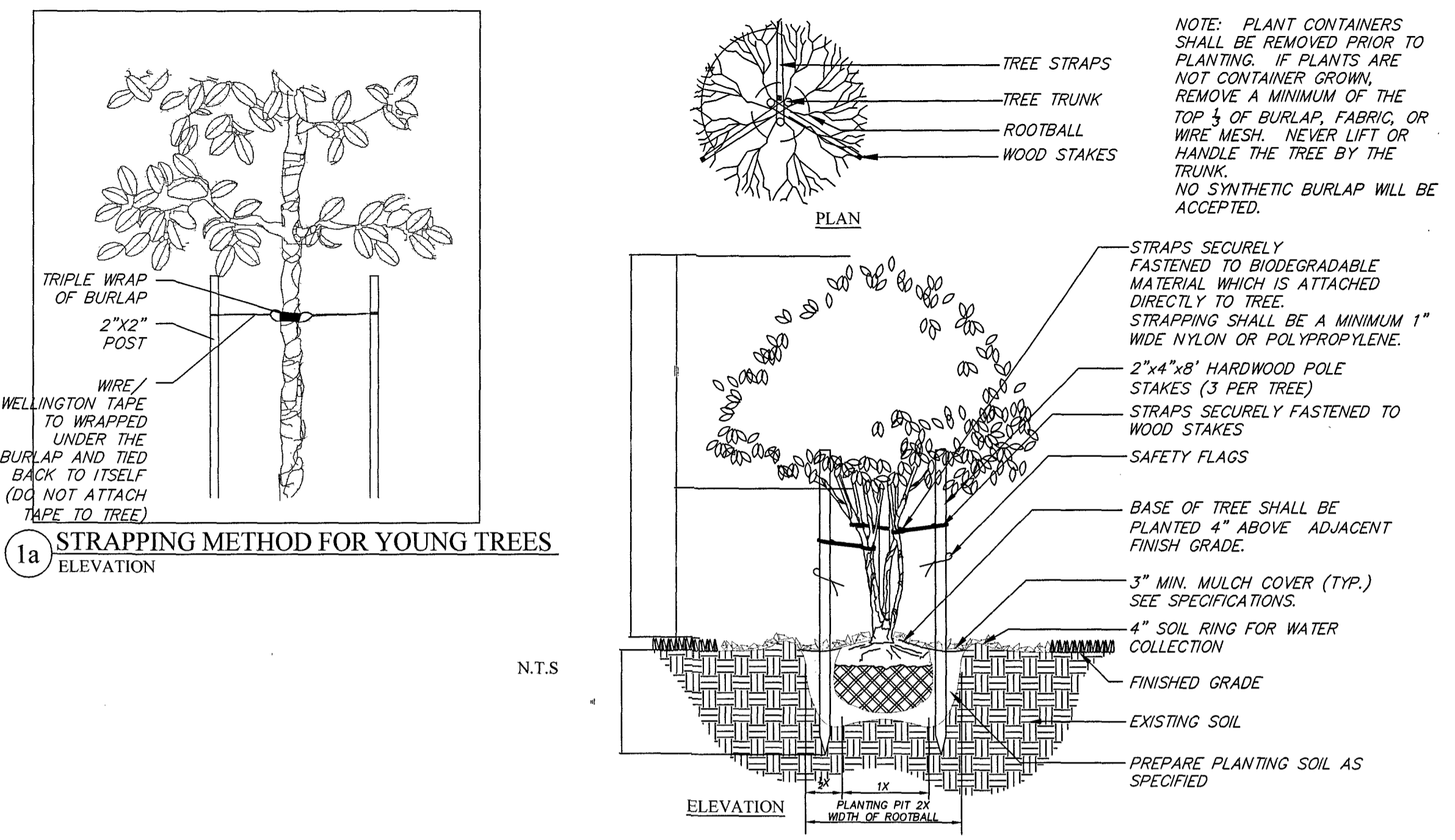
NOTE: WHERE DISCREPANCIES EXIST, THE CITY OF SUNRISE LAND DEVELOPMENT CODE ARTICLE VIII SHALL GOVERN.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	REMARKS	
	LT	3	Lagerstroemia faurii x 'Tuskegee'	Crape Myrtle	16" O.A., Multi-trunk		
EXISTING TREES/PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	REMARKS	
	E-BB	8	Bucida buceras	Black Olive	EXISTING TREE		
	E-LT	2	Lagerstroemia faurii x 'Tuskegee'	Crape Myrtle	EXISTING TREE		
	E-RRX	3	Roystonea regia	Royal Palm	EXISTING PALM		
	E-SPX	13	Sabal palmetto	Sabal Palm	EXISTING PALM		
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	REMARKS	
	RRX	2	Roystonea regia	Royal Palm	18" GW, 36" OA Minimum		
RELOCATED TREES/PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	REMARKS	
	SPX-R	2	Sabal palmetto	Relocated Sabal Palm	RELOCATED PALM		
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING	REMARKS
	CHX	10	Chamaedorea cataractarum	Cascade Palm	5' HT x 4' SPRD	60" o.c.	UPPER
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING	REMARKS
	FIM	330	Ficus microcarpa 'Green Island'	Green Island Ficus	12" HT x 12" SPRD	18" o.c.	LOW
	JAM	68	Jasminum multiflorum	Downey Jasmine	16" HT. X 16" SPRD.	24" o.c.	MID
	NEO	211	Nephrolepis oblitterata 'Kimberly'	Kimberly Fern	12" HT x 12" SPRD	20" o.c.	MID
	PLU	177	Plumbago auriculata 'Imperial Blue'	Blue Plumbago	24" Ht. x 24" Sprd.	24" o.c.	UPPER
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING	REMARKS
	SOD	61 sf	Stenotaphrum secundatum	St. Augustine Grass	SOD		



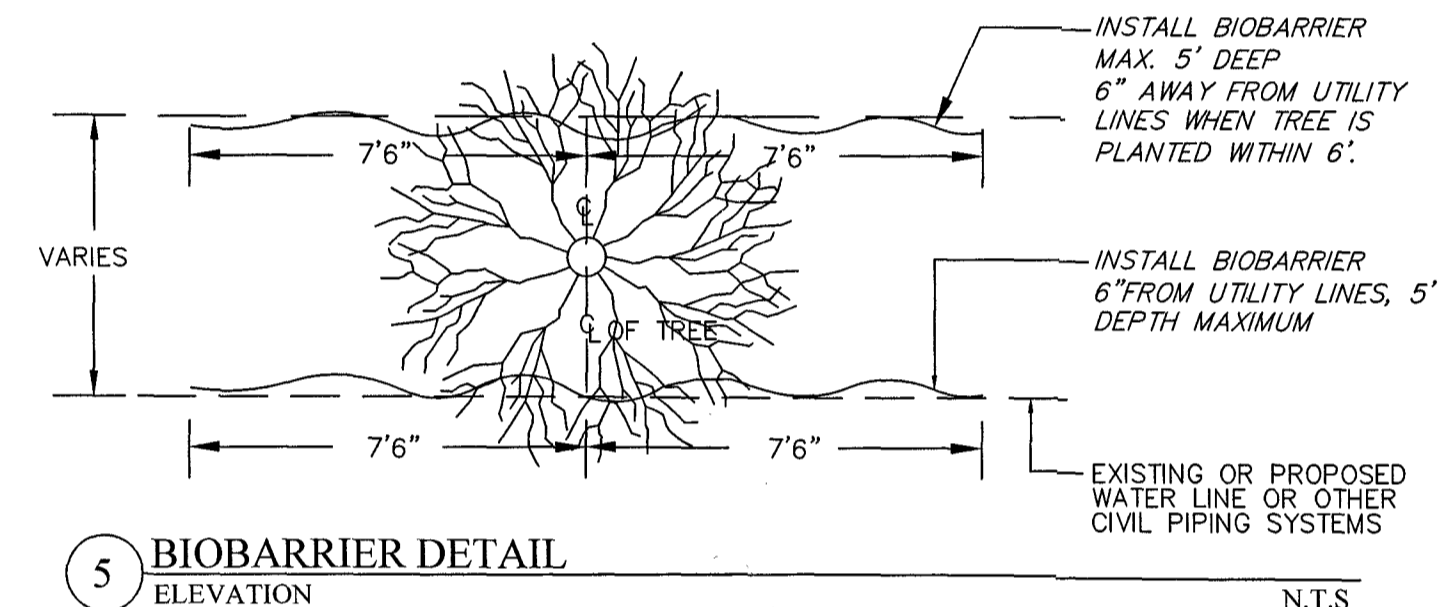
1 TREE DETAIL ELEVATION N.T.S.



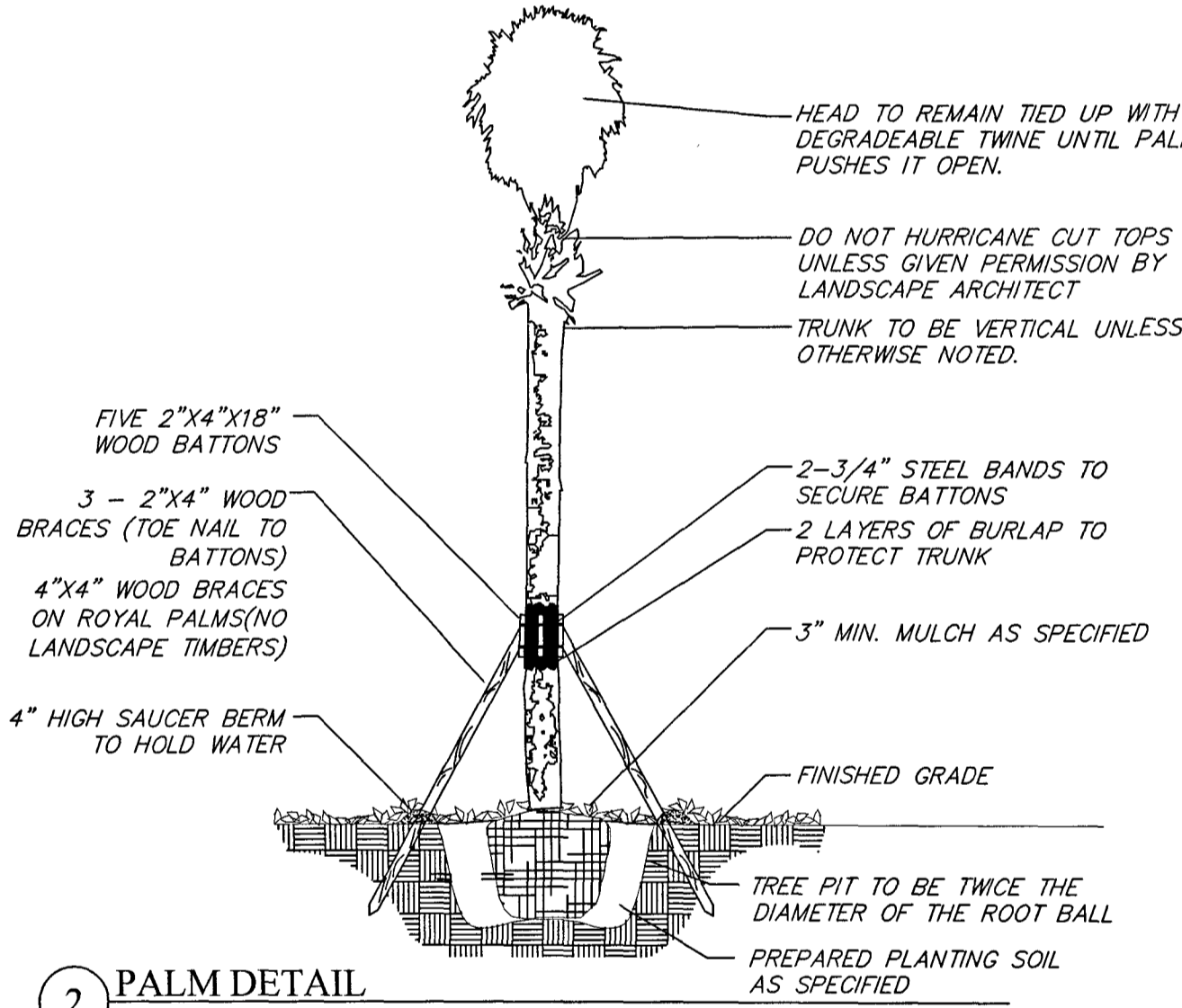
1a STRAPPING METHOD FOR YOUNG TREES ELEVATION



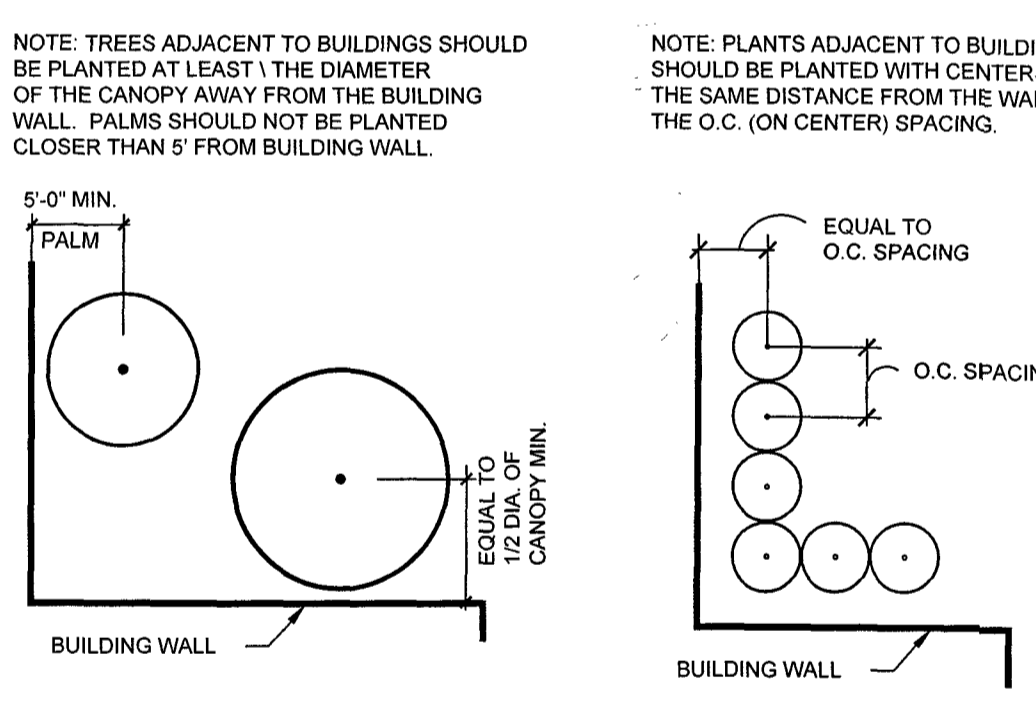
4 MULTI-TRUNK TREE PLANTING DETAIL ELEVATION N.T.S.



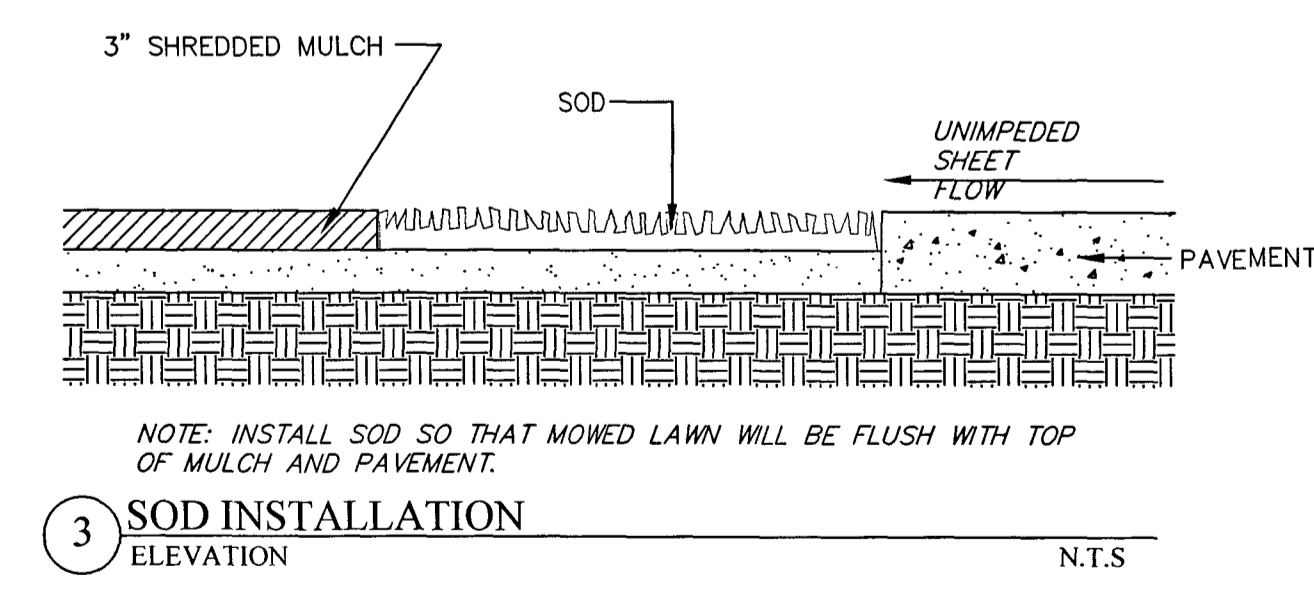
5 BIOBARRIER DETAIL ELEVATION N.T.S.



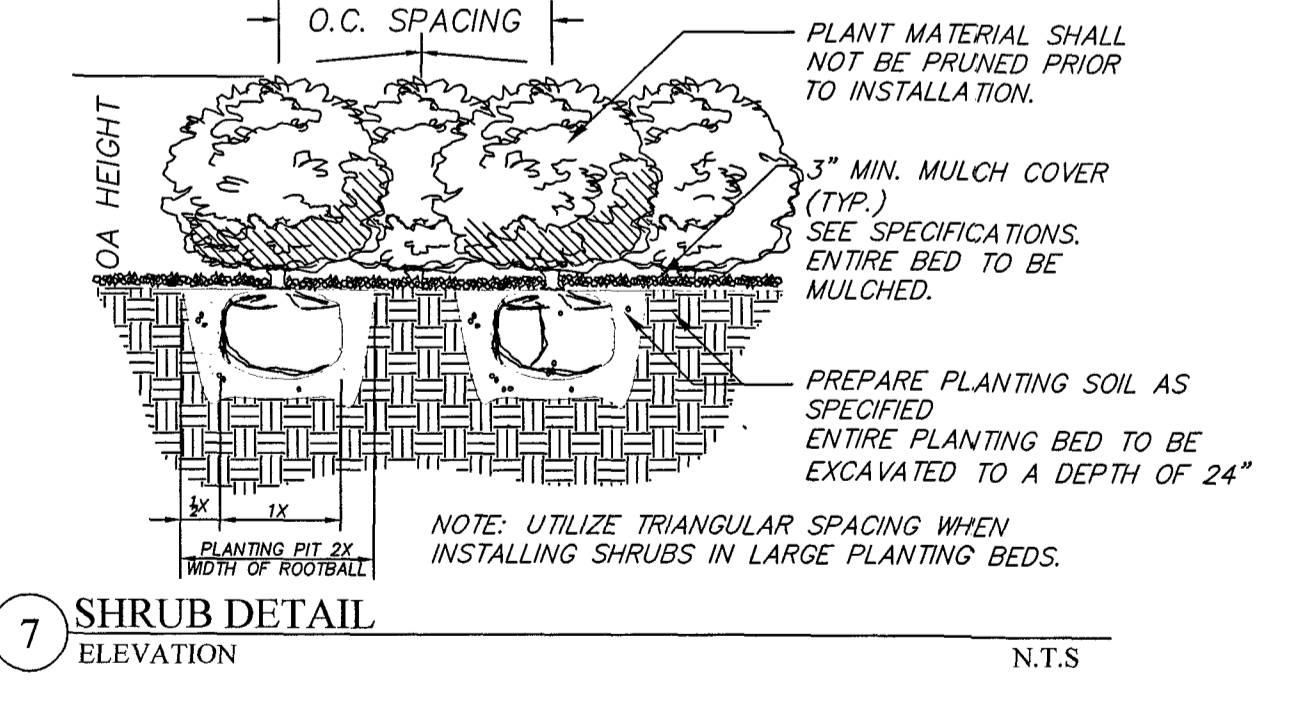
2 PALM DETAIL ELEVATION N.T.S.



6 PLANTING ADJACENT TO BUILDING PLAN N.T.S.



3 SOD INSTALLATION ELEVATION N.T.S.



7 SHRUB DETAIL ELEVATION N.T.S.

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FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. 0000114

SAWGRASS HOMESENSE

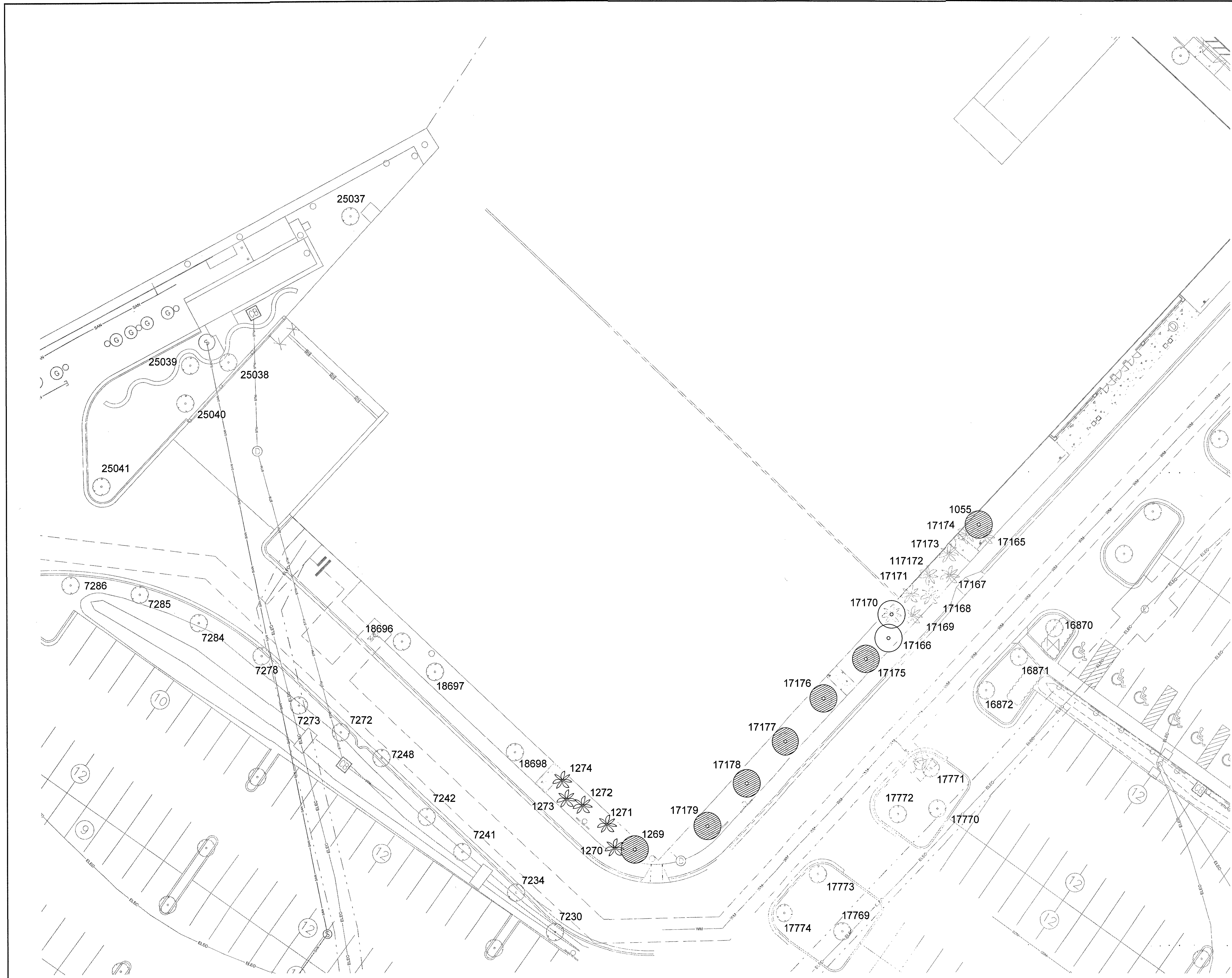
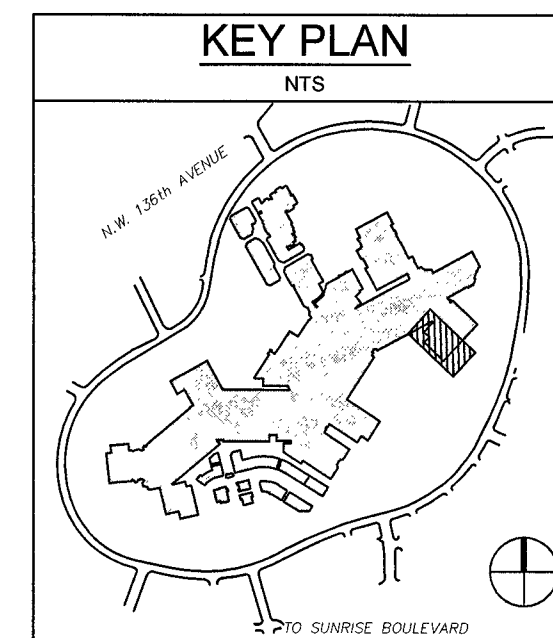
LANDSCAPE DETAILS

DATE: 07/01/2022

DRAWING NO. LP-3

PROJECT: 93-0041-801-10

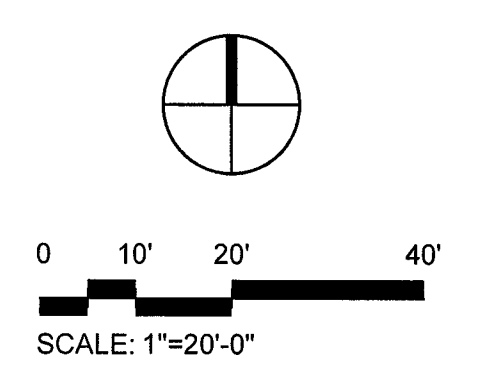
REGISTERED LANDSCAPE ARCHITECT
SCOTT W. PEAVLER
FLORIDA LICENSE NO. 66669
JULY 27, 2012
JUNE 28, 2022



LEGEND

- TREES/ PALMS TO REMAIN
- XX TREES/ PALMS TO BE REMOVED
- XX TREES/ PALMS TO BE RELOCATED

NOTE:
 1. CONTRACTOR TO COORDINATE WITH CITY GAS DEPARTMENT TO HAVE A GAS PERSONNEL STANDBY ONSITE DURING ANY EXCAVATION WITHIN THE 25' UTILITY EASEMENT ADJACENT TO SAWGRASS MILLS CIRCLE
 2. STUMPS OF ANY EXISTING TREES THAT HAVE BEEN REMOVED SHALL BE GRINDED DOWN TO 2" BELOW GRADE AND BACKFILLED. STUMP AND ROOT BALLS MUST NOT BE REMOVED DUE TO THE POTENTIAL OF DAMAGING EXISTING UTILITY LINES.



THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

811

IT'S THE LAW! DIAL 811 Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

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1" = 20'-0"

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SAWGRASS HOMESENSE

TREE DISPOSITION PLAN

SEAL: **LANDSCAPE ARCHITECT**
 JUN 28 2022
 Scott W. Peavler
 Florida, R.L. STATE # 66669
 June 28, 2022

DATE: 07/01/2022

DRAWING NO. TD-1

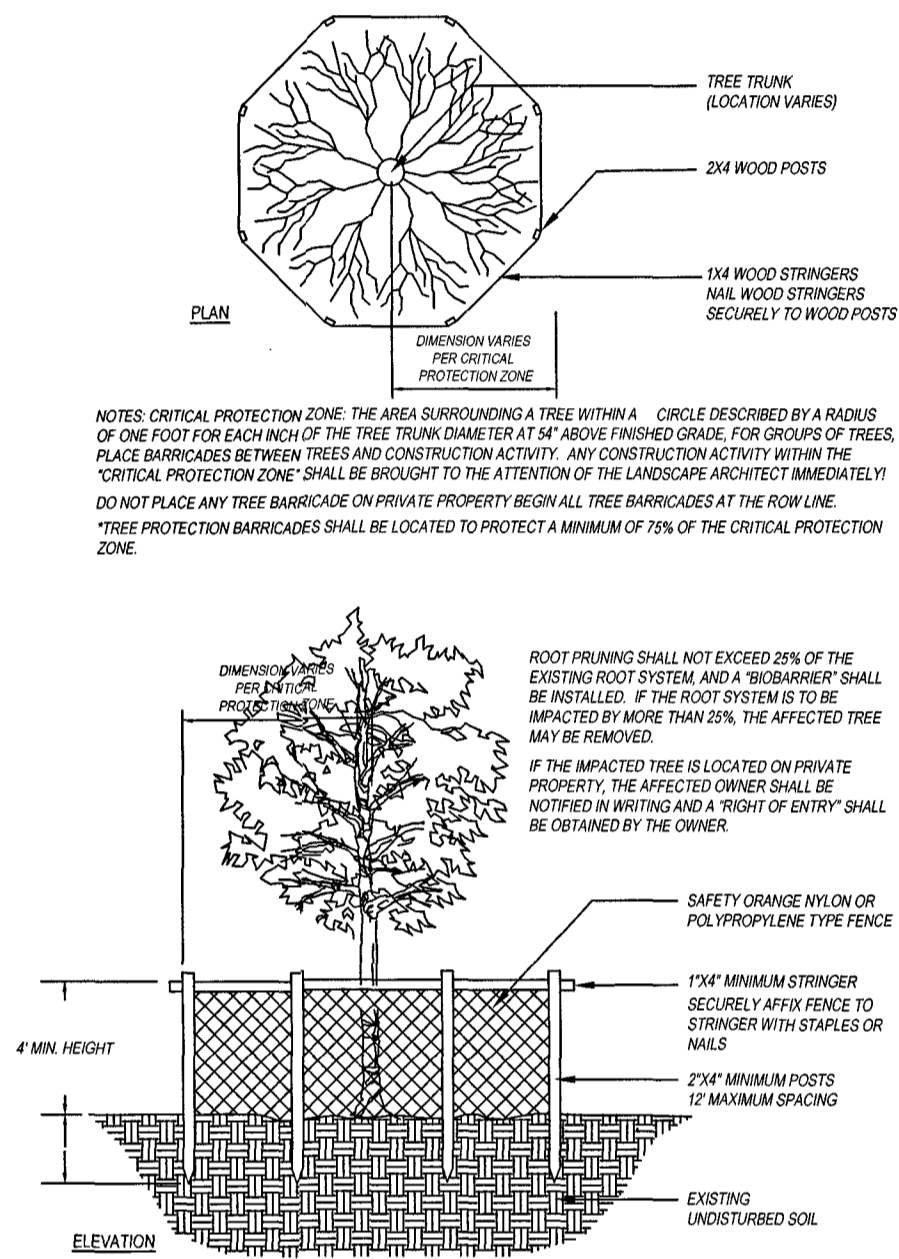
PROJECT: 93-0041-801-10

TREE DISPOSITION LIST:

No.	Botanical Name	Common Name	Caliper (in.)	Canopy (Dia.)	Canopy (SF)	Height CT (ft.)	Condition	Disposition
1055	Sabal palmetto	Sabal Palm	DEAD	0	0	25	DEAD	REMOVE
1269	Sabal palmetto	Sabal Palm	DEAD	0	0	25	DEAD	REMOVE
1270	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
1271	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
1272	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
1273	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
1274	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
7228	Quercus virginiana	Live Oak	12	16	201		POOR	PROTECT IN PLACE
7229	Quercus virginiana	Live Oak	15	24	452		POOR	PROTECT IN PLACE
7230	Swietenia mahagoni	Mahogany	24	30	707		POOR	PROTECT IN PLACE
7234	Swietenia mahagoni	Mahogany	24	22	380		POOR	PROTECT IN PLACE
7241	Swietenia mahagoni	Mahogany	30	24	452		POOR	PROTECT IN PLACE
7242	Bulnesia arborea	Verawood	6	16	201		FAIR	PROTECT IN PLACE
7248	Bulnesia arborea	Verawood	8	22	380		FAIR	PROTECT IN PLACE
7272	Swietenia mahagoni	Mahogany	12	14	154		POOR	PROTECT IN PLACE
7273	Swietenia mahagoni	Mahogany	30	24	452		POOR	PROTECT IN PLACE
7278	Swietenia mahagoni	Mahogany	30	26	531		POOR	PROTECT IN PLACE
7284	Bulnesia arborea	Verawood	8	18	254		FAIR	PROTECT IN PLACE
7285	Bulnesia arborea	Verawood	6	14	154		FAIR	PROTECT IN PLACE
7286	Bulnesia arborea	Verawood	6	16	201		FAIR	PROTECT IN PLACE
7287	Swietenia mahagoni	Mahogany	30	32	804		POOR	PROTECT IN PLACE
16870	Quercus virginiana	Live Oak	10	18	254		FAIR	PROTECT IN PLACE
16871	Swietenia mahagoni	Mahogany	23	27	573		POOR	PROTECT IN PLACE
16872	Swietenia mahagoni	Mahogany	19	33	855		POOR	PROTECT IN PLACE
17165	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17166	Sabal palmetto	Sabal Palm		10	79	25	FAIR	RELOCATE
17167	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17168	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17169	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17170	Sabal palmetto	Sabal Palm		10	79	25	FAIR	RELOCATE
17171	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17172	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17173	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17174	Sabal palmetto	Sabal Palm		10	79	25	FAIR	PROTECT IN PLACE
17175	Bucida buceras	Black Olive	30	36	1,018		POOR	REMOVE
17176	Bucida buceras	Black Olive	20	26	531		POOR	REMOVE
17177	Bucida buceras	Black Olive	12	18	254		POOR	REMOVE
17178	Bucida buceras	Black Olive	15	18	254		POOR	REMOVE
17179	Bucida buceras	Black Olive	24	34	908		POOR	REMOVE
17767	Lagerstromia fauriei	Crape Myrtle	15	8	50		FAIR	PROTECT IN PLACE
17768	Lagerstromia fauriei	Crape Myrtle	20	14	154		FAIR	PROTECT IN PLACE
17769	Lagerstromia fauriei	Crape Myrtle	20	18	254		FAIR	PROTECT IN PLACE
17770	Lagerstromia fauriei	Crape Myrtle	20	14	154		FAIR	PROTECT IN PLACE
17771	Quercus virginiana	Live Oak	10	22	380		FAIR	PROTECT IN PLACE
17772	Quercus virginiana	Live Oak	12	26	531		FAIR	PROTECT IN PLACE
17773	Quercus virginiana	Live Oak	10	22	380		FAIR	PROTECT IN PLACE
17774	Quercus virginiana	Live Oak	12	26	531		FAIR	PROTECT IN PLACE
18696	Bucida buceras	Black Olive	20	36	1,018		POOR	PROTECT IN PLACE
18697	Bucida buceras	Black Olive	20	26	531		POOR	PROTECT IN PLACE
18698	Bucida buceras	Black Olive	20	32	804		POOR	PROTECT IN PLACE
25037	Bucida buceras	Black Olive	30	38	1,134		POOR	PROTECT IN PLACE
25038	Bucida buceras	Black Olive	24	24	452		POOR	PROTECT IN PLACE
25039	Bucida buceras	Black Olive	24	24	452		POOR	PROTECT IN PLACE
25040	Bucida buceras	Black Olive	24	24	452		POOR	PROTECT IN PLACE
25041	Bucida buceras	Black Olive	24	48	1,810		FAIR	PROTECT IN PLACE

TREE MITIGATION:

Total Tree Canopy Removed=	2,966 SF
Total Tree Canopy to be Relocated=	157 SF
*50% of Relocated Canopy to be mitigated	
Total Tree Canopy Provided=	0 SF
Total Tree Mitigation Required=	3,044 SF
@300/ea =	10
Cat. 1 Tree	Mitigation is to be done by paying into the City of Sunrise Reforestation Account



1 TREE BARRICADE
PLAN/ELEVATION NTS

LEAVE BLANK - FOR CITY USE ONLY

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

CALL 48 HOURS BEFORE YOU DIG

IT'S THE LAW! DIAL 811

Know what's below. Call before you dig.

SUNSHINE STATE ONE CALL OF FLORIDA, INC.

No.	REVISIONS	DATE	BY

SCALE: NTS

DESIGNED BY: SWP

DRAWN BY: SWP

CHECKED BY: JDH

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114

SAWGRASS HOMESENSE

TREE DISPOSITION LIST

DATE: 07/01/2022

DRAWING NO. TD-2

PROJECT: 93-0041-801-10

REGISTERED LANDSCAPE ARCHITECT
SCOTT W. PEAVER
FLORIDA R.L.S. #14666976
JUNE 25, 2022
FLORIDA

IRRIGATION HEAD LEGEND

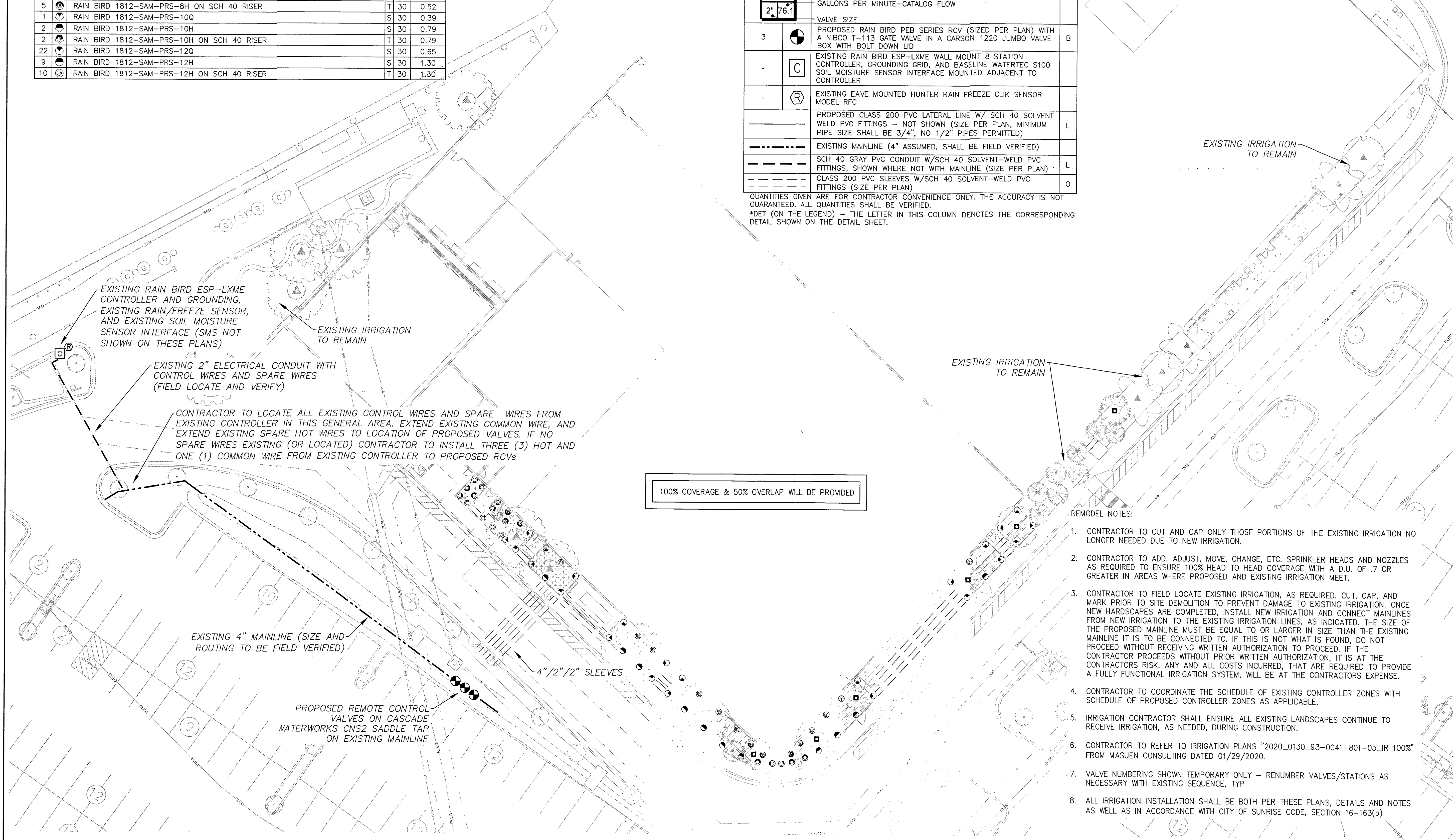
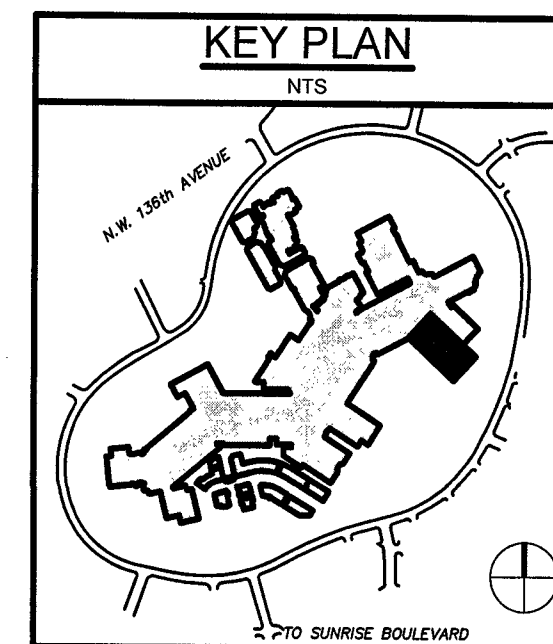
SYMBOL QUANTITY	SYMBOL	DESCRIPTION	DETAIL	DESIGN PS	DESIGN GPM PER	SYMBOL
6	□	EACH SYMBOL DENOTES TWO (2) RAIN BIRD 1804-SAM-1401 FLOOD BUBBLERS	Q	30	0.50	
2	○	RAIN BIRD 1806-SAM-PRS-8Q	R	30	0.26	
1	○	RAIN BIRD 1806-SAM-PRS-8H	R	30	0.52	
8	○	RAIN BIRD 1812-SAM-PRS-8Q	S	30	0.26	
5	○	RAIN BIRD 1812-SAM-PRS-8H	S	30	0.52	
5	○	RAIN BIRD 1812-SAM-PRS-8H ON SCH 40 RISER	T	30	0.52	
1	○	RAIN BIRD 1812-SAM-PRS-10Q	S	30	0.39	
2	○	RAIN BIRD 1812-SAM-PRS-10H	S	30	0.79	
2	○	RAIN BIRD 1812-SAM-PRS-10H ON SCH 40 RISER	T	30	0.79	
22	○	RAIN BIRD 1812-SAM-PRS-12Q	S	30	0.65	
9	○	RAIN BIRD 1812-SAM-PRS-12H	S	30	1.30	
10	○	RAIN BIRD 1812-SAM-PRS-12H ON SCH 40 RISER	T	30	1.30	

EXISTING MAINLINE LOCATION IS SHOWN FOR GRAPHIC CLARITY PURPOSES ONLY. IF MODIFICATIONS ARE NECESSARY, INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO THE IRRIGATION SPECIFICATIONS AND DETAILS.

IRRIGATION LEGEND

QTY	SYM	DESCRIPTION	DET.
1	□	STATION NUMBER	
2	○	GALLONS PER MINUTE-CATALOG FLOW	
	○	VALVE SIZE	
3	○	PROPOSED RAIN BIRD PEB SERIES RCV (SIZED PER PLAN) WITH A NIBCO T-113 GATE VALVE IN A CARSON 1220 JUMBO VALVE BOX WITH BOLT DOWN LID	B
	○	EXISTING RAIN BIRD ESP-LXME WALL MOUNT 8 STATION CONTROLLER, GROUNDING GRID, AND BASELINE WATERTEC S100 SOIL MOISTURE SENSOR INTERFACE MOUNTED ADJACENT TO CONTROLLER	
	○	EXISTING EAVE MOUNTED HUNTER RAIN FREEZE CLIK SENSOR MODEL RFC	
	---	PROPOSED CLASS 200 PVC LATERAL LINE W/ SCH 40 SOLVENT WELD PVC FITTINGS - NOT SHOWN (SIZE PER PLAN, MINIMUM PIPE SIZE SHALL BE 3/4", NO 1/2" PIPES PERMITTED)	L
	---	EXISTING MAINLINE (4" ASSUMED, SHALL BE FIELD VERIFIED)	
	---	SCH 40 GRAY PVC CONDUIT W/SCH 40 SOLVENT-WELD PVC FITTINGS, SHOWN WHERE NOT WITH MAINLINE (SIZE PER PLAN)	L
	---	CLASS 200 PVC SLEEVES W/SCH 40 SOLVENT-WELD PVC FITTINGS (SIZE PER PLAN)	O

QUANTITIES GIVEN ARE FOR CONTRACTOR CONVENIENCE ONLY. THE ACCURACY IS NOT GUARANTEED. ALL QUANTITIES SHALL BE VERIFIED.
 *DET (ON THE LEGEND) - THE LETTER IN THIS COLUMN DENOTES THE CORRESPONDING DETAIL SHOWN ON THE DETAIL SHEET.



EXISTING RAIN BIRD ESP-LXME CONTROLLER AND GROUNDING, EXISTING RAIN/FREEZE SENSOR, AND EXISTING SOIL MOISTURE SENSOR INTERFACE (SMS NOT SHOWN ON THESE PLANS)

EXISTING 2" ELECTRICAL CONDUIT WITH CONTROL WIRES AND SPARE WIRES (FIELD LOCATE AND VERIFY)

CONTRACTOR TO LOCATE ALL EXISTING CONTROL WIRES AND SPARE WIRES FROM EXISTING CONTROLLER IN THIS GENERAL AREA. EXTEND EXISTING COMMON WIRE, AND EXTEND EXISTING SPARE HOT WIRES TO LOCATION OF PROPOSED VALVES. IF NO SPARE WIRES EXISTING (OR LOCATED) CONTRACTOR TO INSTALL THREE (3) HOT AND ONE (1) COMMON WIRE FROM EXISTING CONTROLLER TO PROPOSED RCVs

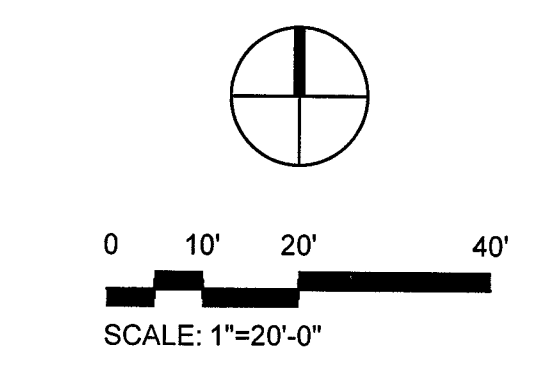
EXISTING 4" MAINLINE (SIZE AND ROUTING TO BE FIELD VERIFIED)

PROPOSED REMOTE CONTROL VALVES ON CASCADE WATERWORKS CNS2 SADDLE TAP ON EXISTING MAINLINE

100% COVERAGE & 50% OVERLAP WILL BE PROVIDED

REMODEL NOTES:

- CONTRACTOR TO CUT AND CAP ONLY THOSE PORTIONS OF THE EXISTING IRRIGATION NO LONGER NEEDED DUE TO NEW IRRIGATION.
- CONTRACTOR TO ADD, ADJUST, MOVE, CHANGE, ETC. SPRINKLER HEADS AND NOZZLES AS REQUIRED TO ENSURE 100% HEAD TO HEAD COVERAGE WITH A D.U. OF .7 OR GREATER IN AREAS WHERE PROPOSED AND EXISTING IRRIGATION MEET.
- CONTRACTOR TO FIELD LOCATE EXISTING IRRIGATION, AS REQUIRED, CUT, CAP, AND MARK PRIOR TO SITE DEMOLITION TO PREVENT DAMAGE TO EXISTING IRRIGATION. ONCE NEW HARDSCAPES ARE COMPLETED, INSTALL NEW IRRIGATION AND CONNECT MAINLINES FROM NEW IRRIGATION TO THE EXISTING IRRIGATION LINES, AS INDICATED. THE SIZE OF THE PROPOSED MAINLINE MUST BE EQUAL TO OR LARGER IN SIZE THAN THE EXISTING MAINLINE IT IS TO BE CONNECTED TO. IF THIS IS NOT WHAT IS FOUND, DO NOT PROCEED WITHOUT RECEIVING WRITTEN AUTHORIZATION TO PROCEED. IF THE CONTRACTOR PROCEEDS WITHOUT PRIOR WRITTEN AUTHORIZATION, IT IS AT THE CONTRACTOR'S RISK. ANY AND ALL COSTS INCURRED, THAT ARE REQUIRED TO PROVIDE A FULLY FUNCTIONAL IRRIGATION SYSTEM, WILL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO COORDINATE THE SCHEDULE OF EXISTING CONTROLLER ZONES WITH SCHEDULE OF PROPOSED CONTROLLER ZONES AS APPLICABLE.
- IRRIGATION CONTRACTOR SHALL ENSURE ALL EXISTING LANDSCAPES CONTINUE TO RECEIVE IRRIGATION, AS NEEDED, DURING CONSTRUCTION.
- CONTRACTOR TO REFER TO IRRIGATION PLANS "2020_0130_93-0041-801-05_IR 100%" FROM MASUEN CONSULTING DATED 01/29/2020.
- VALVE NUMBERING SHOWN TEMPORARY ONLY - RENUMBER VALVES/STATIONS AS NECESSARY WITH EXISTING SEQUENCE, TYP
- ALL IRRIGATION INSTALLATION SHALL BE BOTH PER THESE PLANS, DETAILS AND NOTES AS WELL AS IN ACCORDANCE WITH CITY OF SUNRISE CODE, SECTION 16-163(b)



811 KNOW WHAT'S BELOW ALWAYS CALL 811 BEFORE YOU DIG
 It's fast, it's free, it's the law. Call 811 two business days before digging.

Masuen Consulting LLC
 Water Management Consultants
 301 S. Washington, Suite F
 Newport, WA 99156
 Telephone (360) 928-1533
 Fax (800) 928-1534
 PROUDLY DESIGNED AND PRODUCED IN THE USA

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

SCALE: 1" = 20'-0"
 DESIGNED BY: TFP
 DRAWN BY: TFP
 CHECKED BY: JJMO

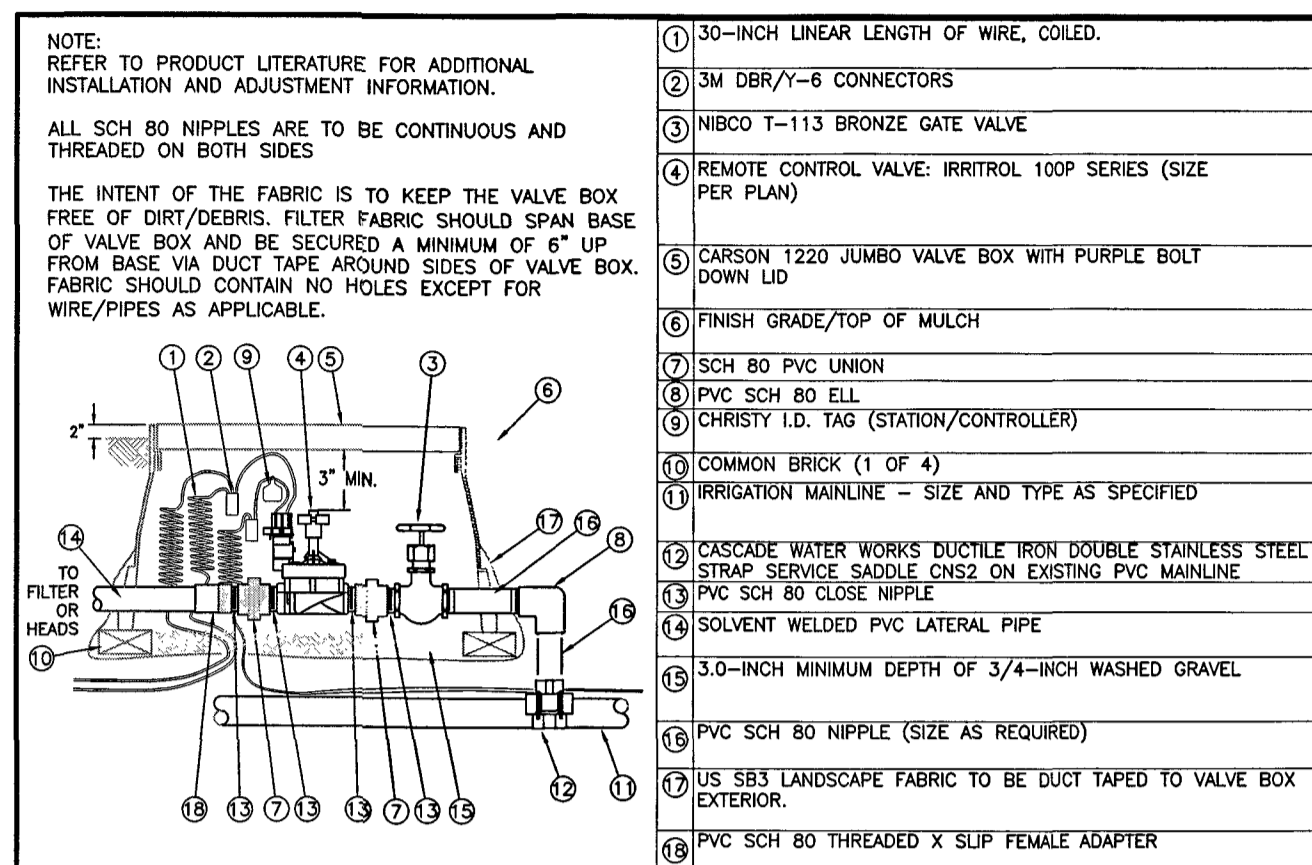
CRAVEN THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409 TEL: (954) 739-6400
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS No. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS No. C000114
MATERIAL SHOWN HEREIN IS THE PROPERTY OF CRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. © 2022 CRAVEN THOMPSON & ASSOCIATES, INC. COPYRIGHT © 2022

SAWGRASS HOMESENSE

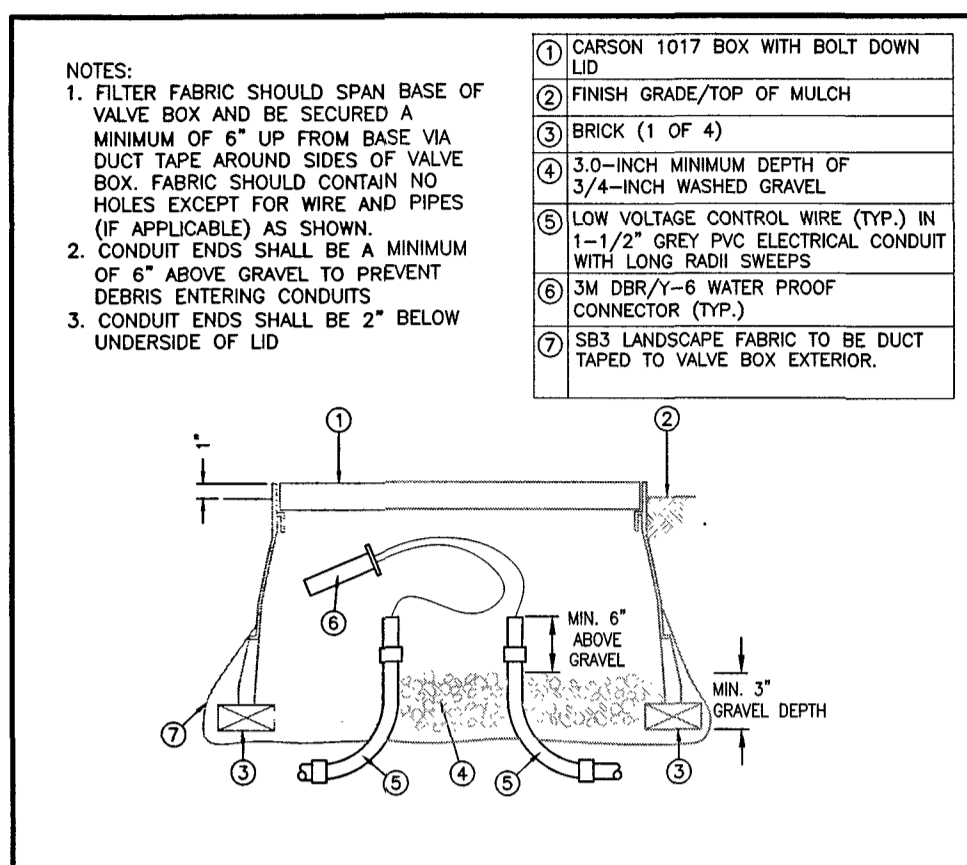
IRRIGATION PLAN

DATE: 07/01/2022
 DRAWING NO.: IR-1
 PROJECT NO.: 93-0041-801-10

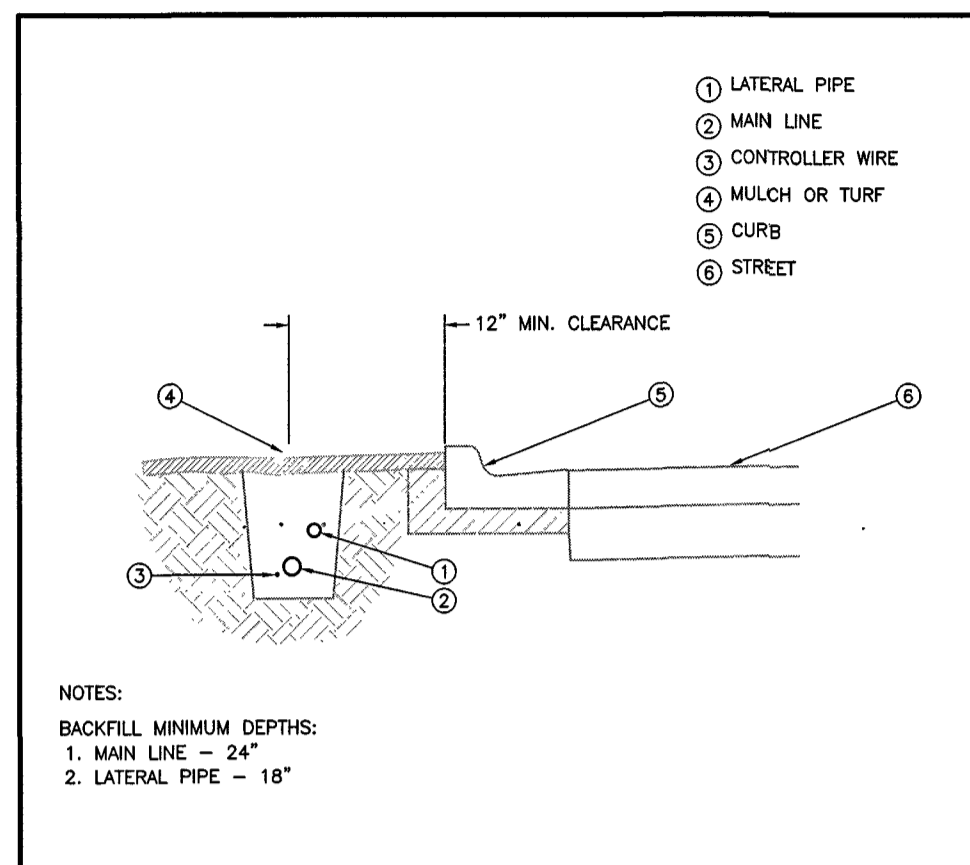
REGISTERED LANDSCAPE ARCHITECT
 REGISTERED PROFESSIONAL ENGINEER
 JUN 23 2022
 Scott W. Cavler
 Florida R.C.A. No. 66669
 P.E. No. 12822



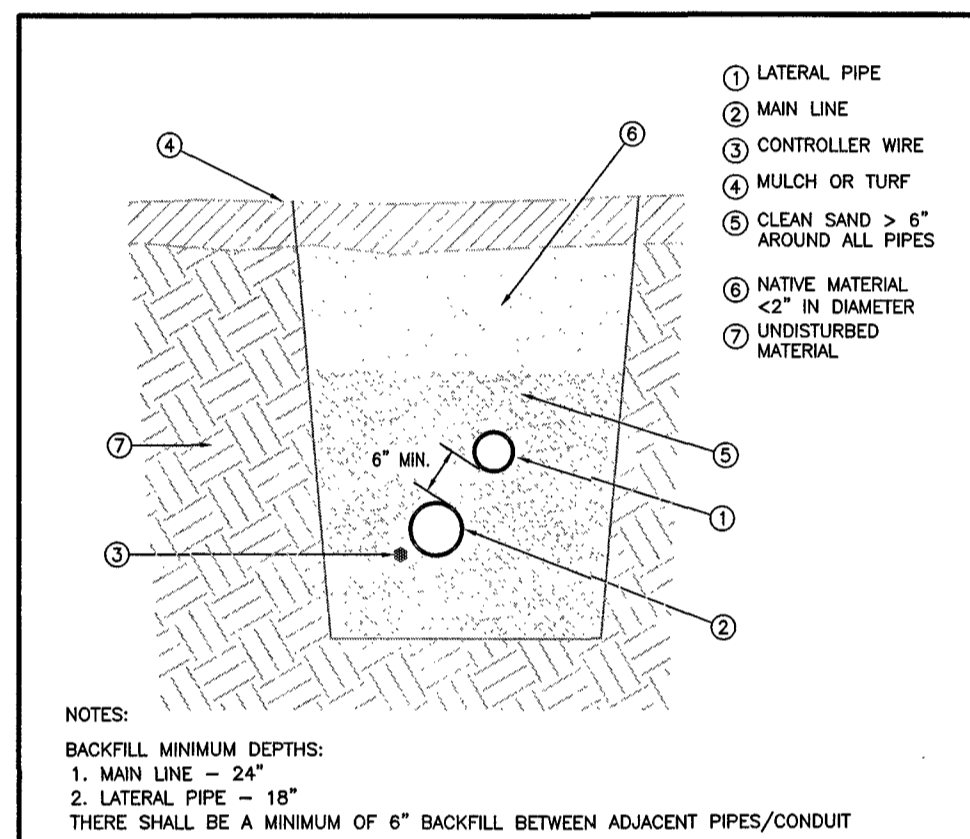
B1 RCV W/GATE VALVE AND SADDLE TAP



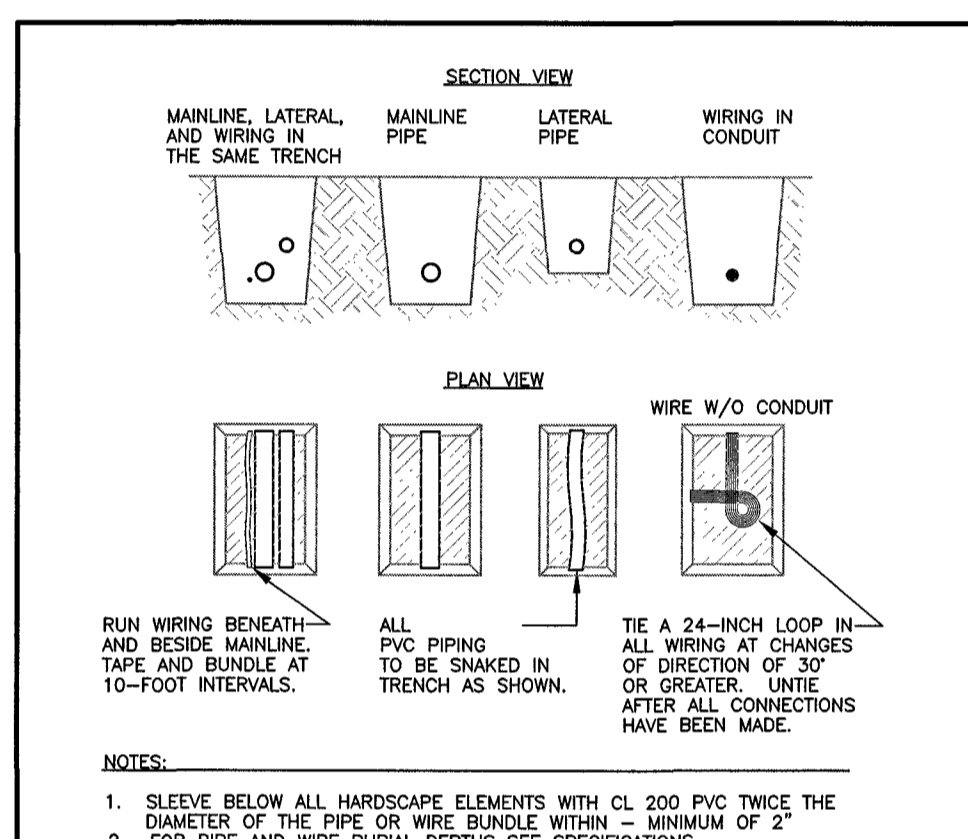
C WIRE SPLICE



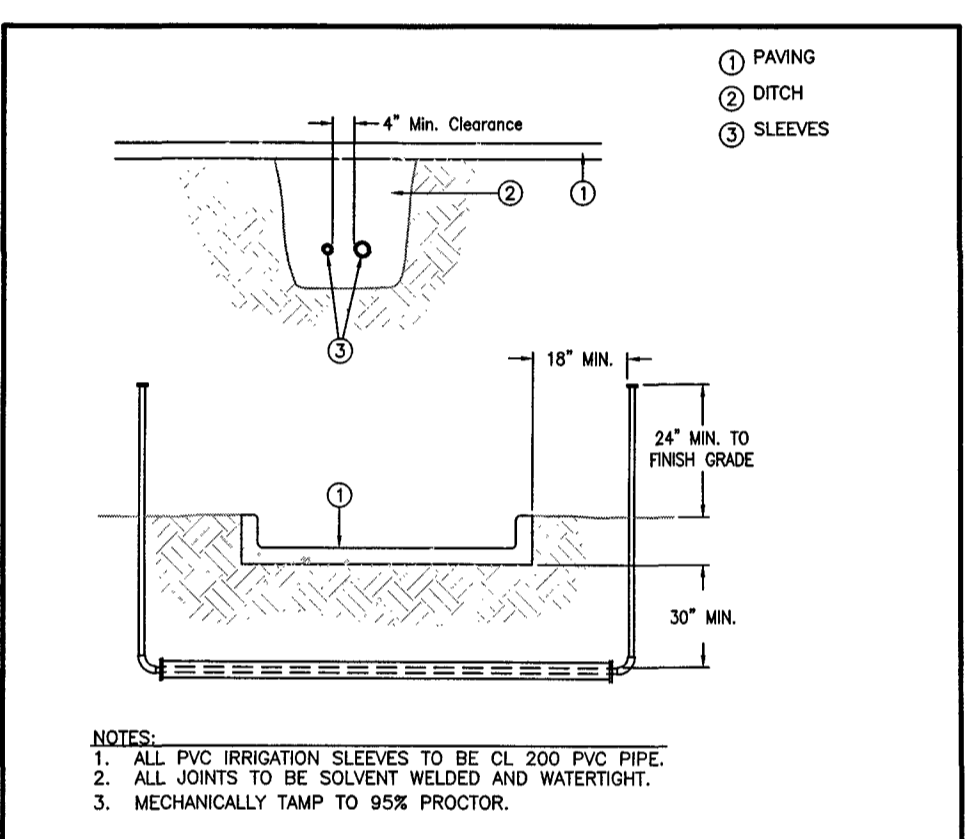
L MAINLINE AND LATERAL PIPING DETAIL



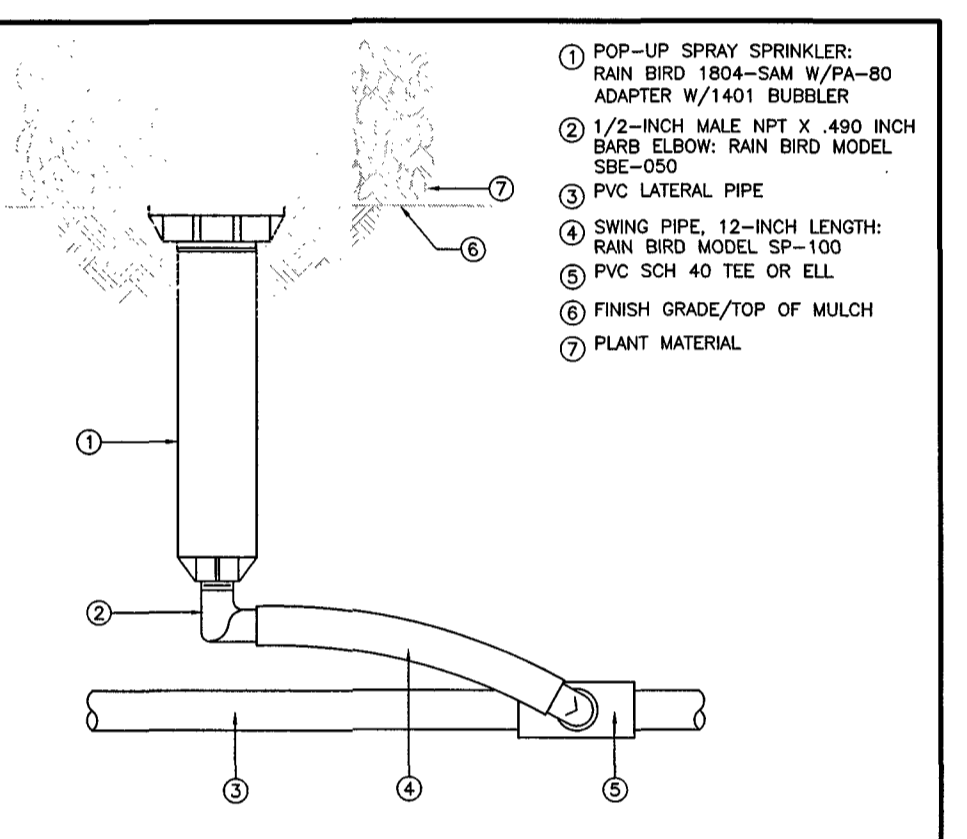
L MAINLINE AND LATERAL BACKFILL DETAIL



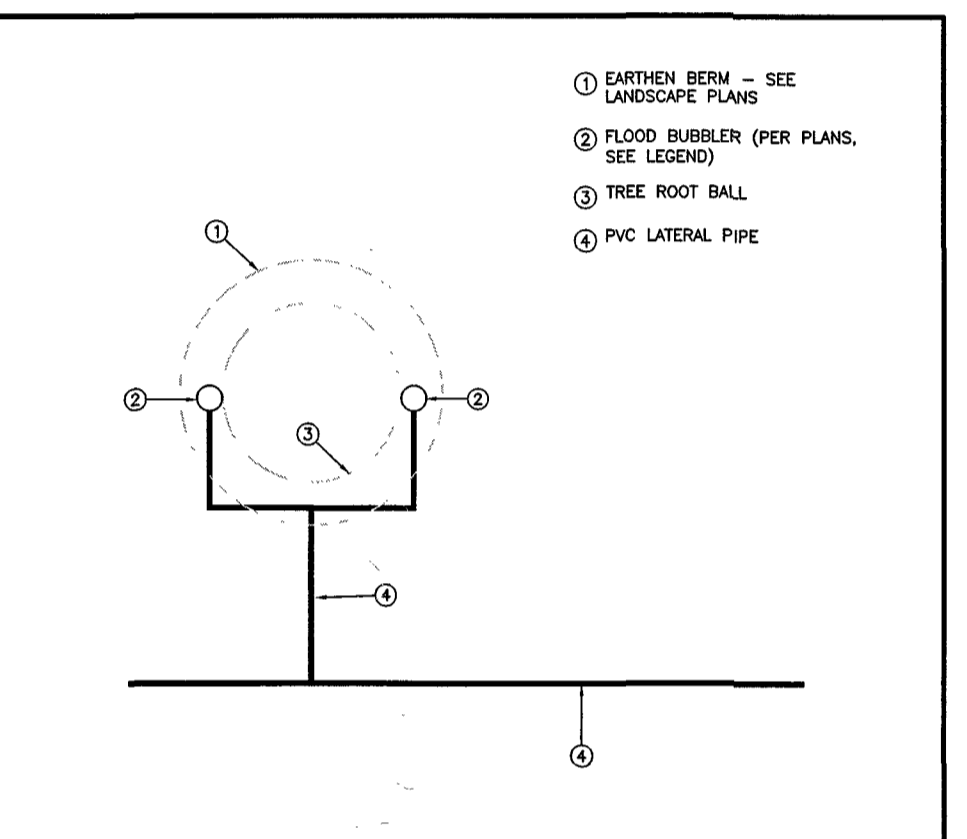
L PIPE AND WIRE TRENCHING



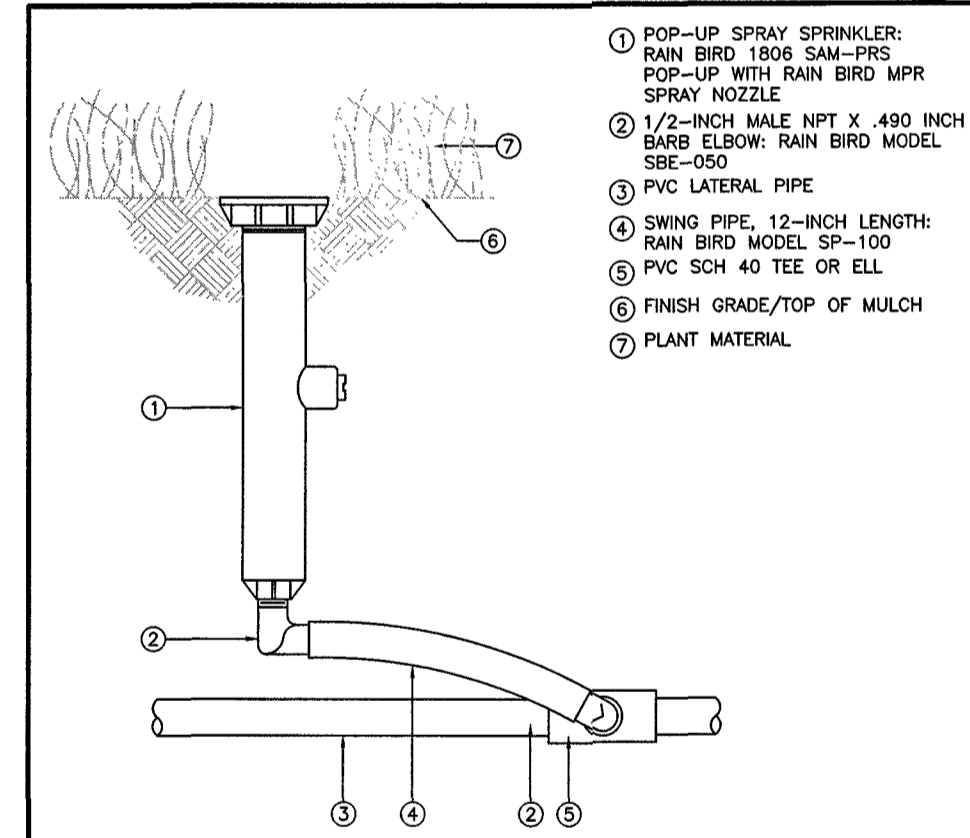
O SLEEVING



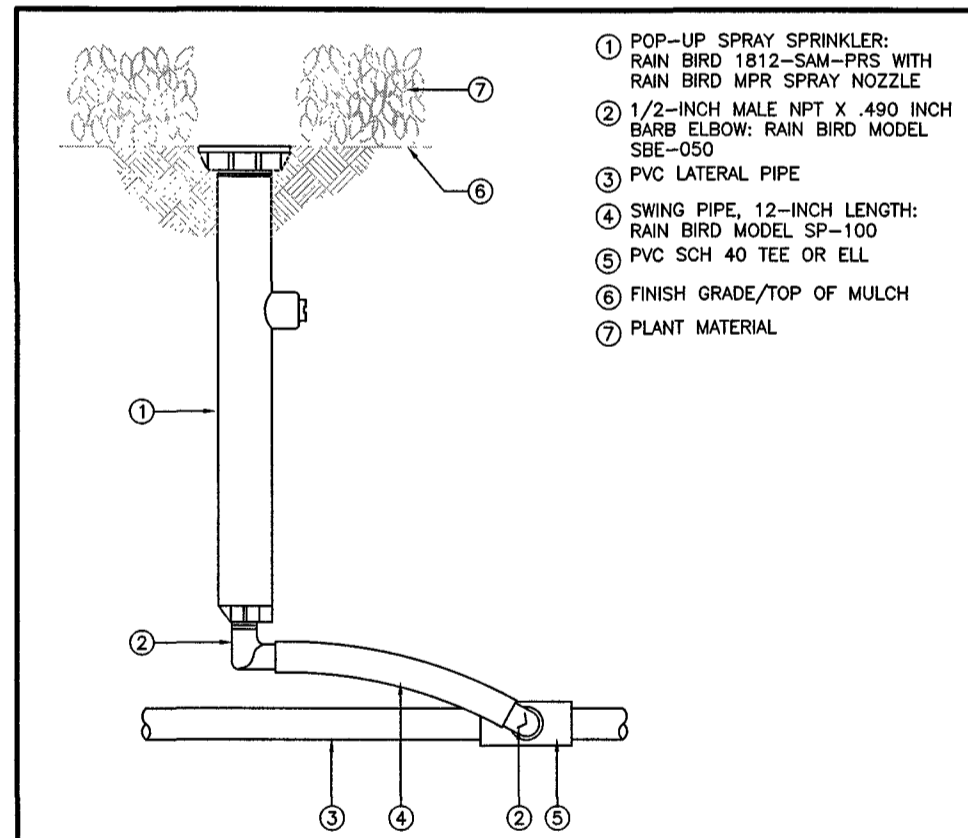
O RAIN BIRD 1804-SAM POP-UP WITH 1401 BUBBLER



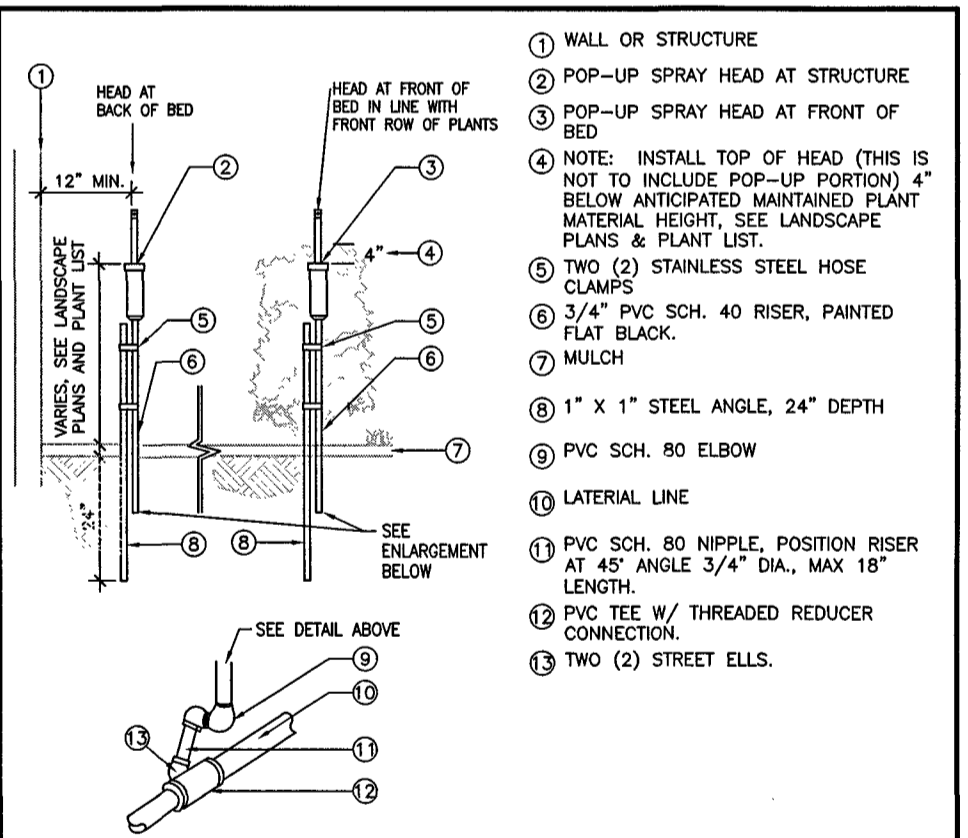
O BUBBLER PLACEMENT



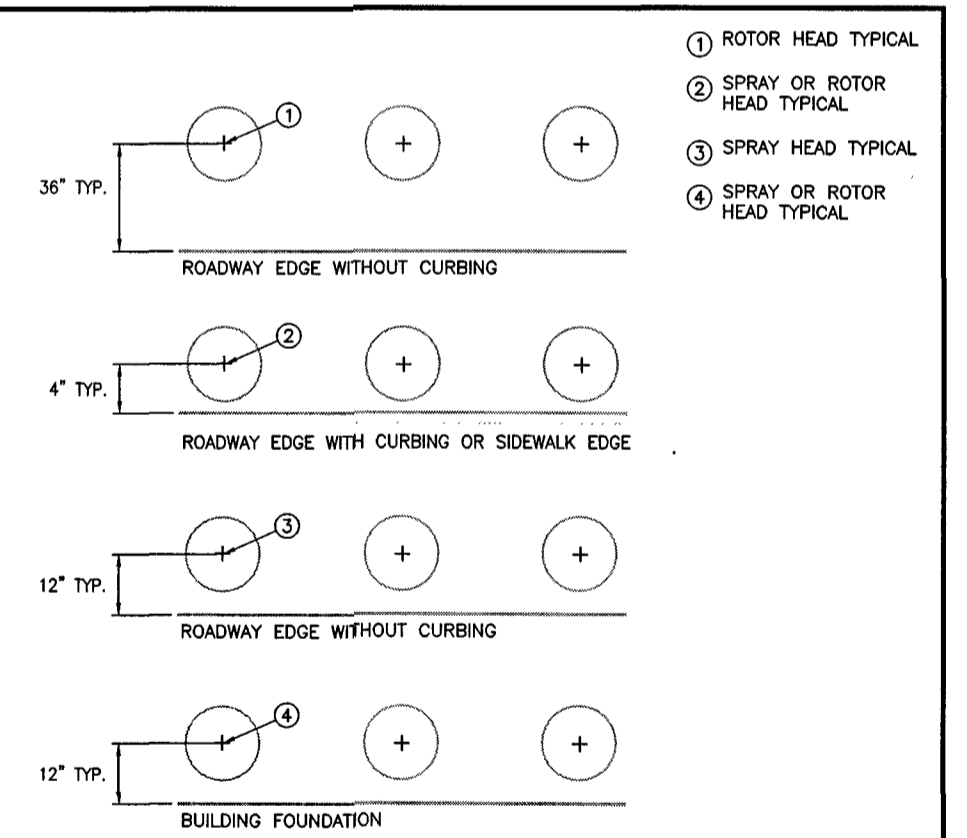
R RAIN BIRD 1806 SAM-PRS SPRAY



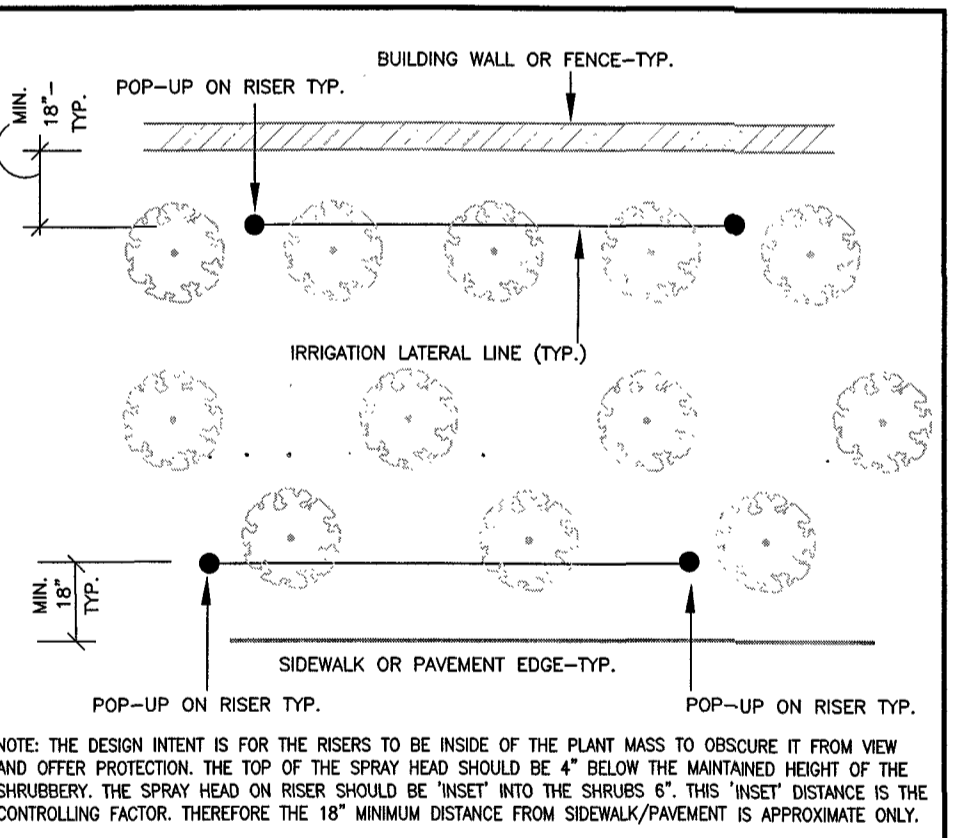
S RAIN BIRD 1812 SAM-PRS SPRAY



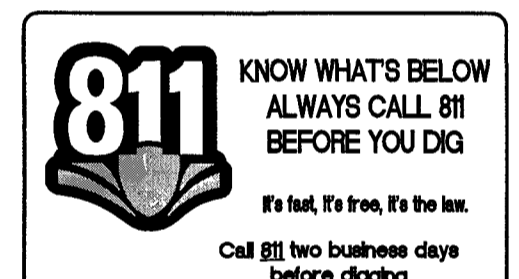
T POP-UP HEAD ON RISER



T POP-UP HEAD TO HARDSCAPE LOCATION DETAIL-A



T POP-UP HEAD ON RISER LOCATION DETAIL-B



Masuen Consulting LLC
Water Management Consultants
301 S. Washington, Suite F
Newport, WA 99156
Telephone (866) 928-1533
Fax (800) 928-1534
PROUDLY DESIGNED AND PRODUCED IN THE USA

LEAVE BLANK - FOR CITY USE ONLY

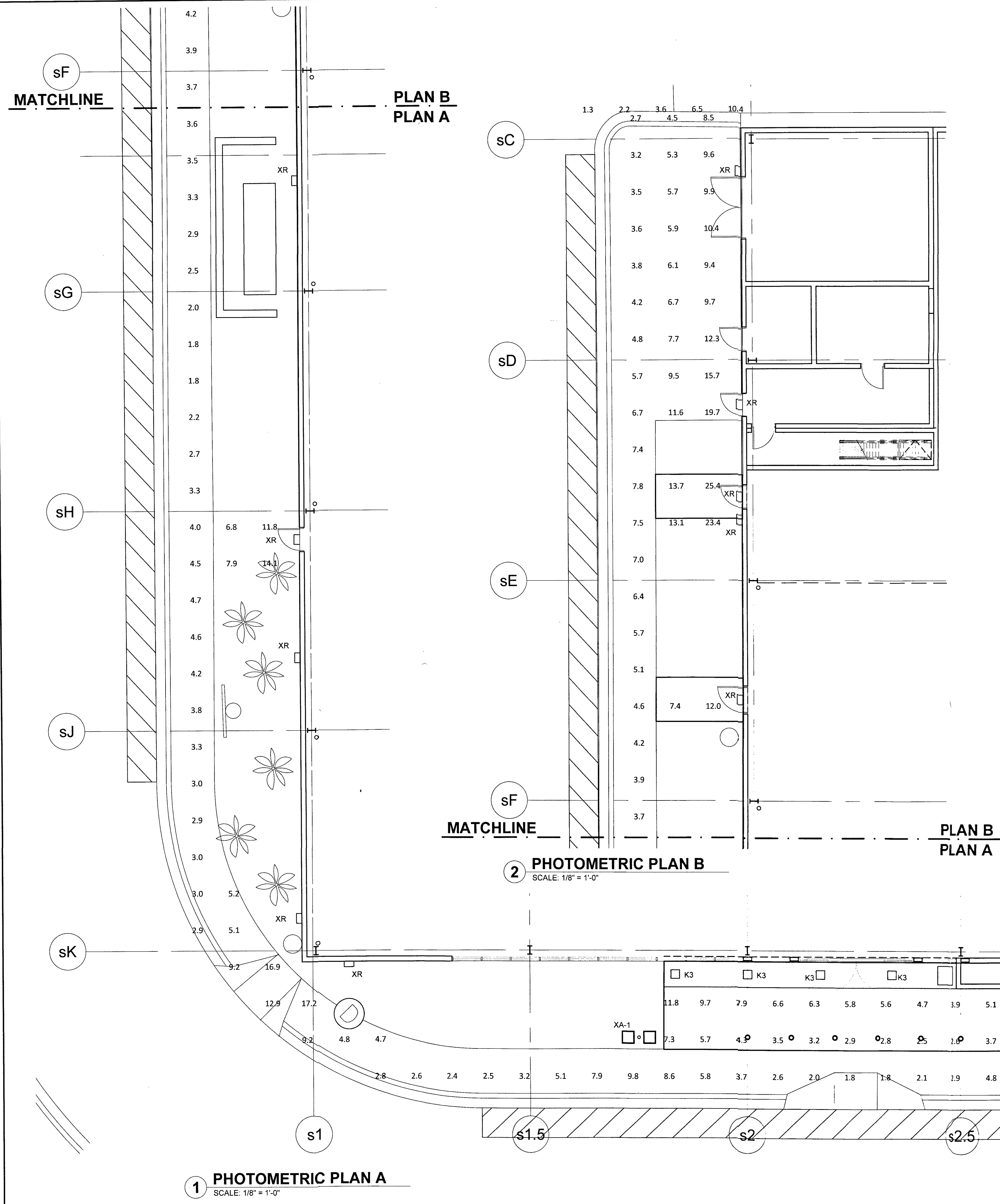
SCALE:	NTS		
DESIGNED BY:	TFP		
DRAWN BY:	TFP		
CHECKED BY:	JJ/MO		
No.	REVISIONS	DATE	BY

CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (954) 739-6409 TEL: (954) 739-6400
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114

SAWGRASS HOMESENSE

IRRIGATION DETAILS

DATE: 07/01/2022
DRAWING NO.: IR-2
PROJECT NO.: 93-0041-801-10



GENERAL NOTES:
 1. LIGHTING SHALL BE DESIGNED AND INSTALLED TO MEET SECTION 16-150 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE

Symbol	Qty	Label	Arrangement	LLF	Description	Arr. Lumens	Arr. Watts	Total Watts
-	4	K3	Single	1.000	NC14SOLEDOA-22L-40-E_FT0114-MW-FO	1057	22	88
-	2	XA-1	Back-Back	0.920	BL18_LL21	7560	120	240
-	13	XR	Single	0.920	1490-90WLED-120-277-BZ	7460	90	1170

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
WALK	Illuminance	Fc	6.27	25.4	1.8	3.48	14.11

LEAVE BLANK - FOR CITY USE ONLY

No.	REVISIONS	DATE	BY

SCALE AS NOTED
 DESIGNED BY
 DRAWN BY
 CHECKED BY

D'AGOSTINO IZZO QUIRK ARCHITECTS, INC.
 1310 Broadway
 Somerville, MA 02144
 TEL: (617) 623-3000

HOMESENSE - SAWGRASS MILLS

PHOTOMETRIC PLAN

SEAL

DATE: 7/1/2022
 DRAWING NO. PH01



STAFF REPORT

HARVARD ACADEMY (REVISED SITE PLAN)

Summary

This is an application for Revised Site Plan approval for an expansion to an existing child day care facility known as Harvard Academy, located at 8955 NW 50 Street, as shown on the location map. The property is zoned B-3 (General Business District) and the underlying land use is Commercial on the City's Future Land Use Map. The Revised Site Plan requires City Commission approval per Section 16-32 of the Land Development Code (LDC).

General Information

On March 26, 1985, the City Commission approved a Site Plan, via Resolution No. 85-76, for a day care facility and two office buildings. The day care facility was constructed; however, the office buildings were not constructed. On December 23, 1996, the City Commission approved a Revised Site Plan, via Resolution No. 96-260, to expand the existing day care facility and to add a pool and basketball court. On July 26, 2005, the City Commission approved a Revised Site Plan, via Resolution No. 85-76-05-A, for an addition on the north side of the building for a multi-purpose room.

Project Description

The applicant proposes to expand the existing 9,936 square foot day care facility with an addition of 4,043 square feet to the west side of the building, replacing the existing pool and bringing the total building area to 13,979 square feet. The proposed addition includes three (3) new classrooms, a teachers' lounge, a media center, and an indoor gym. Currently there are twenty-five (25) parking spaces onsite and the applicant is proposing to add eight (8) additional spaces.

Architecturally, the proposed addition is designed to coordinate with the existing building, including Chicago brick and beige stucco with crown molding and dark brown metal eyebrows over new windows.

Staff Evaluation

Staff has reviewed the Revised Site Plan and find it consistent with the Land Development Code.

Staff Recommendation to the Planning and Zoning Board, July 7, 2022

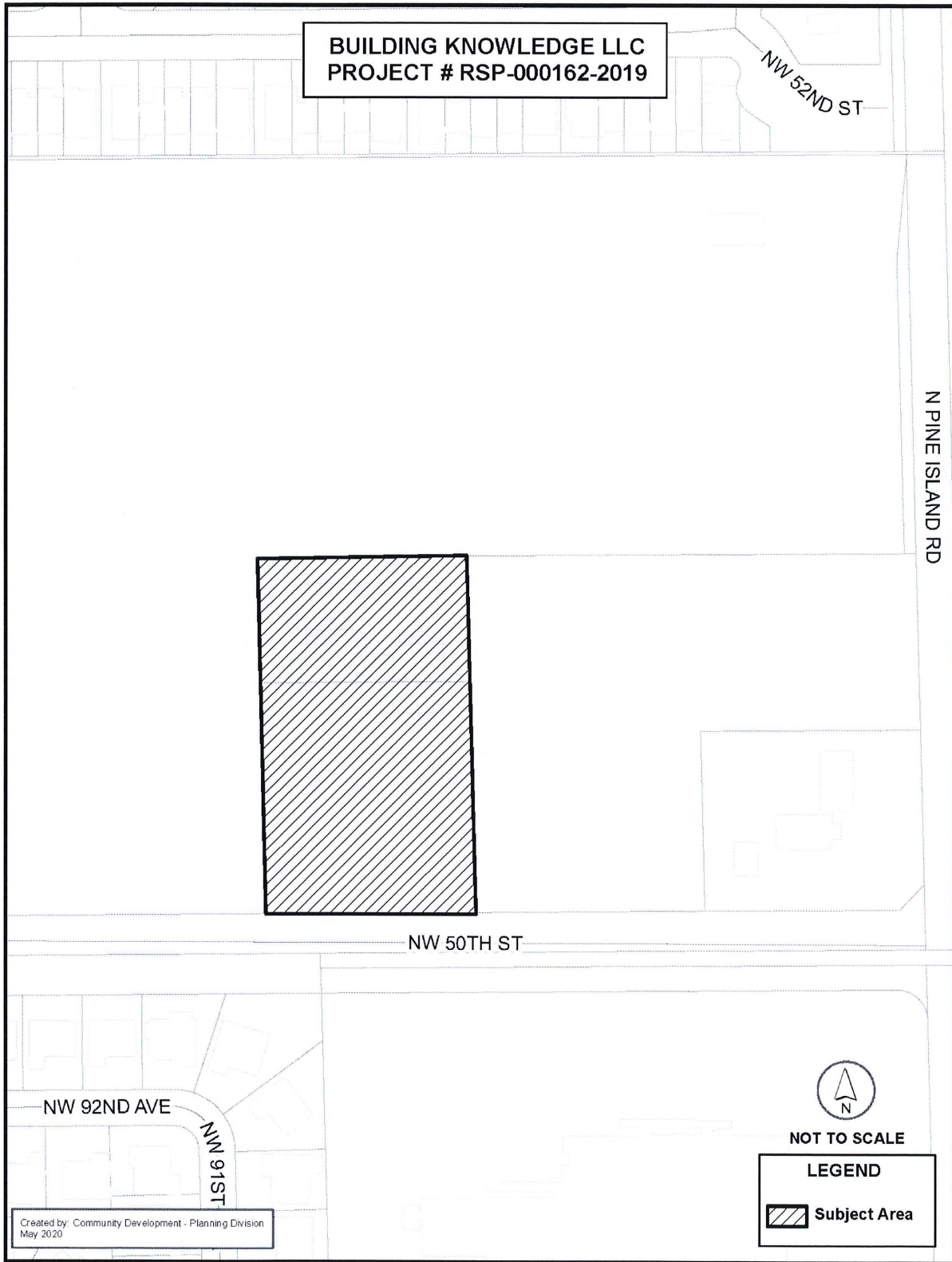
This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval subject to the following conditions:

1. The proposed expansion must be soundproofed to a minimum sound transmission class of sixty (60) decibels per LDC Subsection 16-79(d)(1).

Planner: Marianne Edge, AICP
File No. RSP-000162-2019 (84:11027)



Location Map



JUN 23 2022

RECEIVED

HARVARD ACADEMY

Owner: 8955 NW LLC

8955 NW 50 STREET

SUNRISE, FL 33351

To: City of Sunrise Florida

Community Development Depart. – Planning Division

1601 NW 136 Ave, Sunrise, Fl 33323

June 22, 2022

To Whom It May Concern:

I am writing as an owner and on behalf of the Harvard Academy Family. As we seek to develop an addition to our facility located at 8955 NW 50 Street, Sunrise, Fl 33351, business use Day Care facility B-3 Zone. Our current total SQF is 9936 and proposing to increase by 4043 for a total of 13979 SQF. Our hours of operation are 6:30 AM to 6:30 PM, Monday to Friday. The addition will consist of 3 new classrooms, an indoor Gym, a Media center, and a teacher's lounge. Our current enrollment is 154 children which we anticipate will increase to approximately 193 enrollees. Our current license is for 203 maximum children in which we are not seeking to change however, as per our conversation with DCF we are able to increase by a maximum of 39 additional children. Our current playground is approximately 11,719 SQF with a shaded area of approximately 5937 SQF.; see attached drawing with areas highlighted. Fence is provided around playground areas. The entry location is covered porch and will not be affected by proposed addition. We will be removing an existing pool. Parking locations will be increased as proposed and we have never experienced parking issues currently or in the past. The property has a long drive aisle in which drivers entering the site can circulate which limits stacking at the right-of-way. The proposed addition is not anticipated to generate significant additional traffic to the already approved day care use and is not anticipated to have any negative impacts on any nearby roadways. The day care facility's drop-off times will remain the same.

We will be keeping consistency of colors and architecture for the proposed addition to match existing building. As you may know, our childcare facility has been operating for more than 33 years! At this moment we would like to expand our facility to give our children more indoor space and to expand, as demand is increasing in our area. There will be no new programs, just additional space for the students. We have also currently seen an increase in after school programs with the Sports complex next door. We feel this will be a

positive impact on the community, providing safe and pleasant environment for our children.

Proposed addition will have no impact on surrounding properties by way of increased noise, light, storage and use of dangerous materials, intensity of development. On the East side we have a vacant lot and on the North and South it is the Sports park of Sunrise.

Our Comprehensive Plan as follow:

The proposed development is consistent with the following goals and policies of the Future Land Use Element in the City of Sunrise's Comprehensive Plan:

Goal 2: Provide for a varied and diverse mix of commercial opportunities to serve the residents of the City of Sunrise and the South Florida region.

The day care is conveniently located near other commercially zoned property, as well as nearby residential neighborhoods.

Policy 2.1.1: Permitted uses in the Commercial land use category will be consistent with the Broward County Land Use Plan (BCLUP).

The day care use is consistent with the City's and the County's Commercial land use category and is consistent with the Broward County Land Use Plan.

Policy 2.1.2: Permitted uses for the Commercial land use category are as set forth in Implementation Section of this Element.

The day care use is consistent with the Implementation Section, which states that uses permitted in areas designated Commercial include retail, office and business uses, and community facilities.

Future Land Policy 2.2.1: The City of Sunrise Land Development Code (LDC) further regulates the intensity of commercial use by the establishment of several commercial zoning districts and providing some commercial uses be allowed by special exception only.

This application is seeking approval for an amendment to the existing Special Exception use consistent with the City of Sunrise LDC.

Policy 2.2.4 All new commercial development must receive site plan approval in accordance with the City of Sunrise Land Development Code (LDC).

Policy 2.2.5: Regulate signs in order to promote community aesthetics and scenic beauty in the City and protect the health, safety and welfare of the City residents.

We look forward to working together with the City of Sunrise.

Sincerely,



Cynthia Perez

HARVARD ACADEMY

8955 NW 50 STREET
SUNRISE, FL 33351

Drop-off/Pick-up Operations

City of Sunrise
Community Development Department

JUL 07 2020

RECEIVED

To: City of Sunrise Florida
Community Development Depart. – Planning Division
1601 NW 136 Ave, Sunrise, Fl 33323

June 30, 2020

To Whom It May Concern:

Drop-off times are from 6:30am-9am. There is a car loop for the older children to be dropped off in the morning early morning around 6:30am-7:30am (before care). The younger students get taken inside by the parents to be checked in. Parents who are required to go inside the building will park their cars in a parking spot. Preschool students arrive anywhere from 6:30am no later than 9am. Pick up times are for our VPK students is at 12pm. Pick-up for parents of preschool children must park their cars and retrieve their child from the classroom. 3pm-6:30pm is pick-up time for the rest of the preschool students depending on the parent's schedule.

We look forward to working together with the City of Sunrise.

Sincerely,

Cynthia Perez











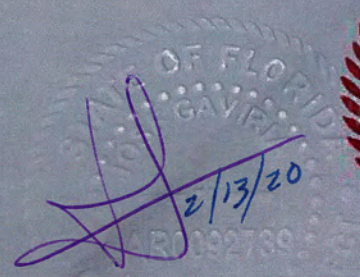




Harvard Academy

Addition to Existing Building

8955 NW 50th St, Sunrise, FL 33351



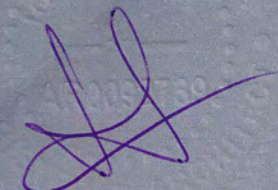


HARVARD ACADEMY

Addition to Existing Building

8955 NW 50th St, Sunrise, FL 33351

SOUTHWEST RENDERING



AA26003969



architecture
tel 786.488.0571
2100 SW 24th Street Miami FL 33145

2

1/31/2020

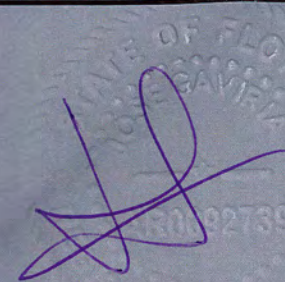


HARVARD ACADEMY

Addition to Existing Building

8955 NW 50th St, Sunrise, FL 33351

EAST RENDERING



AA26003969



architecture
tel 786.488.0571
2100 SW 24th Street Miami FL 33145

3

1/31/2020

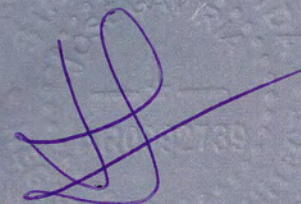


HARVARD ACADEMY

Addition to Existing Building

8955 NW 50th St, Sunrise, FL 33351

SOUTHWEST ELEVATION



AA26003969



architecture
tel 786.488.0571
2100 SW 24th Street Miami FL 33145

4

1/31/2020

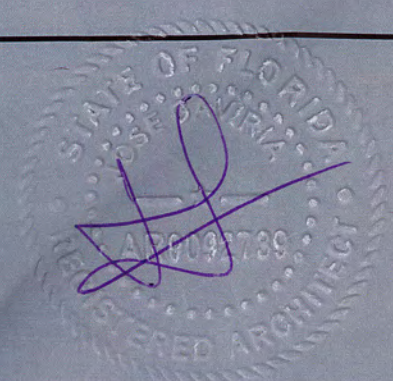


HARVARD ACADEMY

Addition to Existing Building

8955 NW 50th St, Sunrise, FL 33351

EAST ELEVATION



AA26003969



architecture
tel 786.488.0571
2100 SW 24th Street Miami FL 33145

5

1/31/2020

HARVARD ACADEMY - ADDITION SITE PLAN APPROVAL SET

8955 NW 50th STREET, SUNRISE, FL 33351



APPLICABLE CODES

THE DESIGN AND CONSTRUCTION OF THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND STANDARDS. SHOULD THERE BE A CONFLICT BETWEEN ANY CODE REQUIREMENTS, COMPLY WITH THE REQUIREMENT THAT PROVIDES THE GREATEST DEGREE OF LIFE SAFETY.

- 1) 2017 FLORIDA BUILDING CODE (FBC) - 6TH EDITION
- 2) 2017 FLORIDA PLUMBING CODE (FBCP) - 6TH EDITION
- 3) 2017 FLORIDA MECHANICAL CODE (FBCM) - 6TH EDITION
- 4) 2017 FLORIDA FIRE PREVENTION CODE (FFPC) - 6TH EDITION
- 5) 2017 FLORIDA ACCESSIBILITY CODE (FBCA) - 6TH EDITION
- 6) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- 7) NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 1 & NFPA 101) 2018 EDITION
- 8) CITY OF SUNRISE CODE OF ORDINANCES

LEGAL DESCRIPTION

PARCEL ID'S:
4941 17 12 0010 / 4941 17 12 0020

LEGAL DESCRIPTION:
ALL OF PARCEL "A", OF "SIMPSON PLAT NO. 1", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 110, PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

BEARINGS SHOWN HEREON WERE BASED ON NORTH AMERICAN DATUM OF 1927 COORDINATE VALUES SHOWN ON THE STONERKEITH RESURVEY OF SECTION 17-49-41, AS RECORDED IN MISCELLANEOUS P.B. 3 AT PG. 44 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; AND AS TRANSFORMED TO THE NORTH AMERICAN DATUM 1983, WITH THE 1990 ADJUSTMENT. REFERENCE LINE IS THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 17, TOWNSHIP 49 SOUTH RANGE 41 EAST BEARING SOUTH 89°32'00" WEST.

FLOOD INFO - ELEVATION DATUM DESIGN

SITE DESIGN ELEVATION IS BASED ON (N.A.V.D. 88)
FLOOD ZONE AH
FINISH FLOOR ELEVATION - EXISTING +10.25' (N.A.V.D. 88)
FINISH FLOOR ELEVATION - PROPOSED +10.25' (N.A.V.D. 88)
BASE FLOOD ELEVATION 9.00'

CONSTRUCTION AND MATERIALS NOTE:
CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH CITY OF SUNRISE MINIMUM REQUIREMENTS.



ARCHITECT
GS ARCHITECTURE
2100 SW 24th STREET
MIAMI, FL 33145
PH 786 488 0571
AA26003969

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TE TADEOS ENGINEERS, INC
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C: 305-903-8816
lic. No. 73932

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MAQUEIRA ENG. CONSULTANTS
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Miami, Florida 33155
305 669 5595 ext 302
305 669 5596
cad@maqueira.com

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305-460-1115
2347 SW 8th Street
Miami, FL 33135
www.collaborativeindependent.com

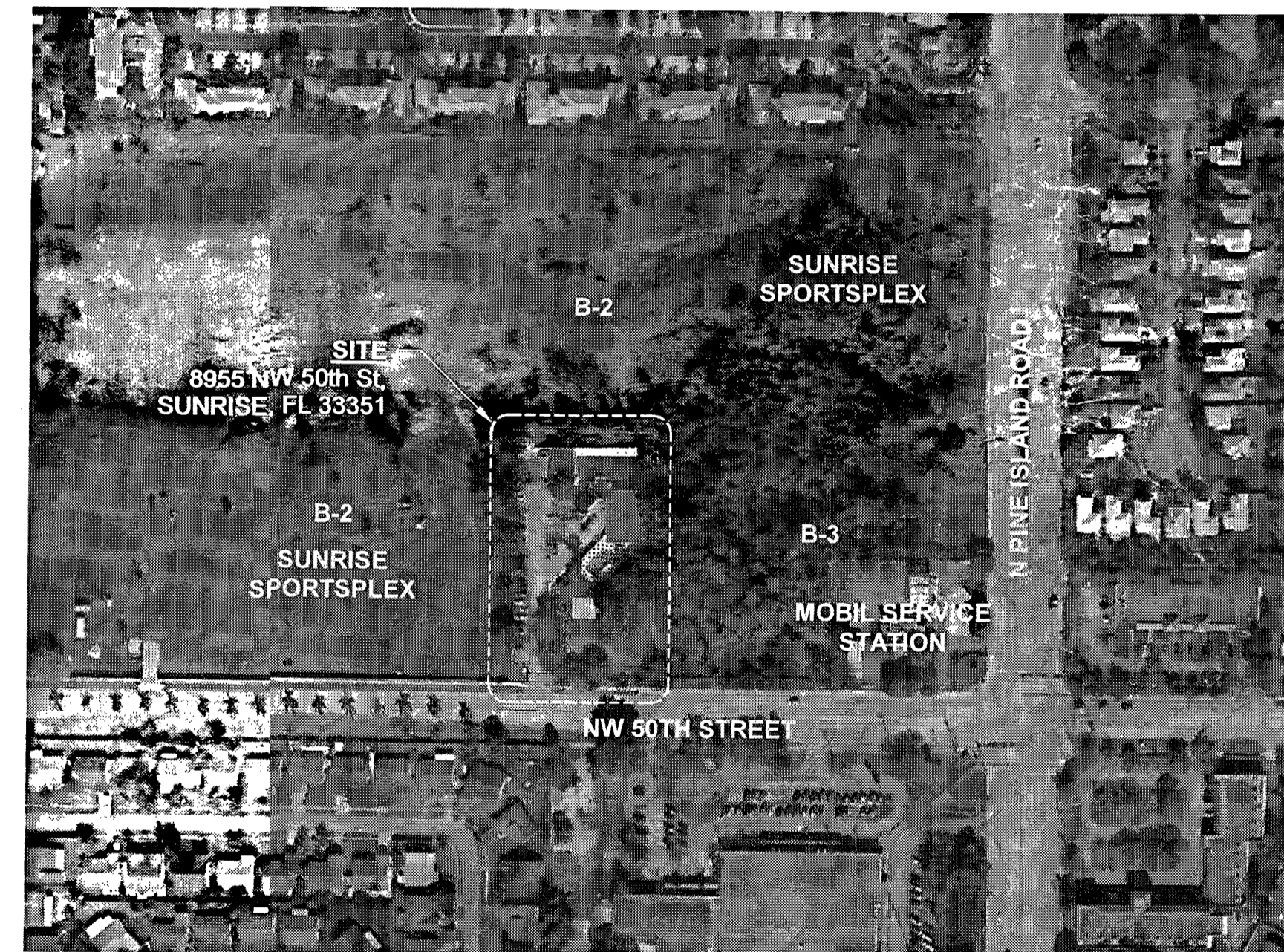
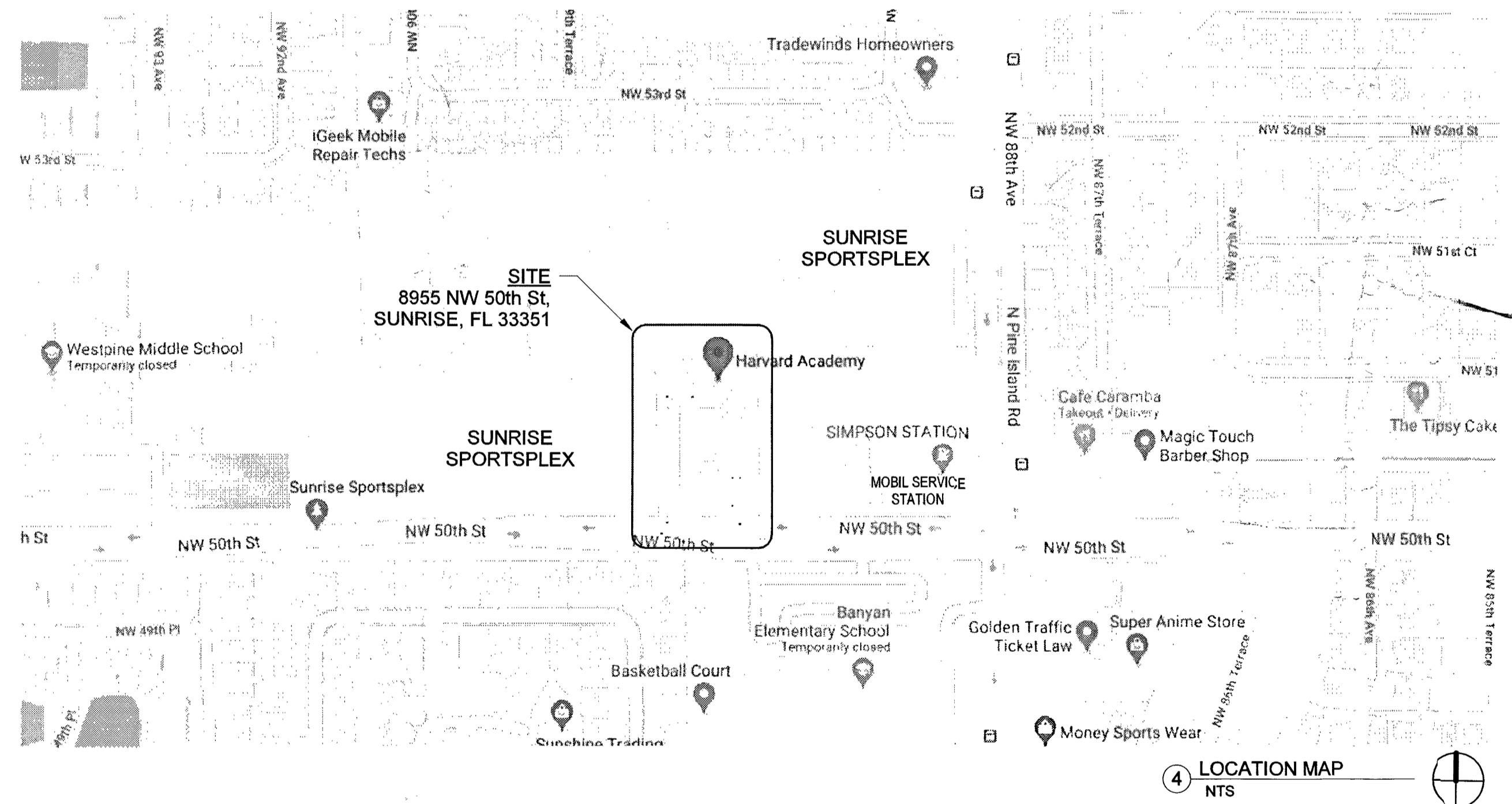
LANDSCAPE ARCHITECT
MARSH KRIPLEN
305-322-2898
1251 SW 20th Street
Miami, FL 33145
LA6667007

CIVIL ENGINEER
KIMLEY-HORN
355 Alhambra Circle, Suite 1400.
Coral Gables, FL 33134
786 623 3560

REVISION LOG

No.	Description	Date

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DRAWING INDEX

SHEET #	SHEET NAME	SHEET ISSUE DATE	CURRENT REV	CURRENT REV DESCRIPTION	CURRENT REV DATE
A0-00	COVER SHEET	03/31/2021			
A0-01	SITE PLAN & PROJECT DATA	03/31/2021			
A0-02	SITE PLAN DETAILS	03/31/2021			
C-500	TRAFFIC, SIGNAGE & MARKING PLAN	03/20/2020			
S	SURVEY	03/20/2020			
A1-01	FLOOR PLAN	03/20/2020			
A2-01	BUILDING ELEVATIONS	03/20/2020			
A2-02	BUILDING SECTIONS	03/20/2020			
TD-1	TREE MITIGATION PLAN & LISTS	03/20/2020			
TD-2	TREE MITIGATION NOTES & TREE PROTECTION DETAIL & NOTES	03/20/2020			
LA-1	OVERALL PLANTING SITEPLAN	03/20/2020			
LA-2	PLANTING DETAILS & NOTES	03/20/2020			
LA-3	IRRIGATION PLAN	03/20/2020			
LA-4	IRRIGATION NOTES & DETAILS	03/20/2020			
LA-5	SHADE DIAGRAMS	10/07/21			
E-1	PHOTOMETRIC PLAN	03/20/2020			

**HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET**
8955 NW 50th St, SUNRISE, FL 33351

COVER SHEET

City of Sunrise
Community Development Department
Feb 16 2022
RECEIVED

City of Sunrise
Community Development Department
OCT 08 2021
RECEIVED

SEAL & SIGNATURE

JOSE GAVIRIA, ARCHITECT
STATE OF FLORIDA A.R. 92739

DATE

03/31/2021

SITE PLAN SHEET NO.

A0-00

ARCHITECT
GS ARCHITECTURE
 2100 SW 24th STREET
 MIAMI, FL 33145
 PH 786 488 3571
 AA26003969

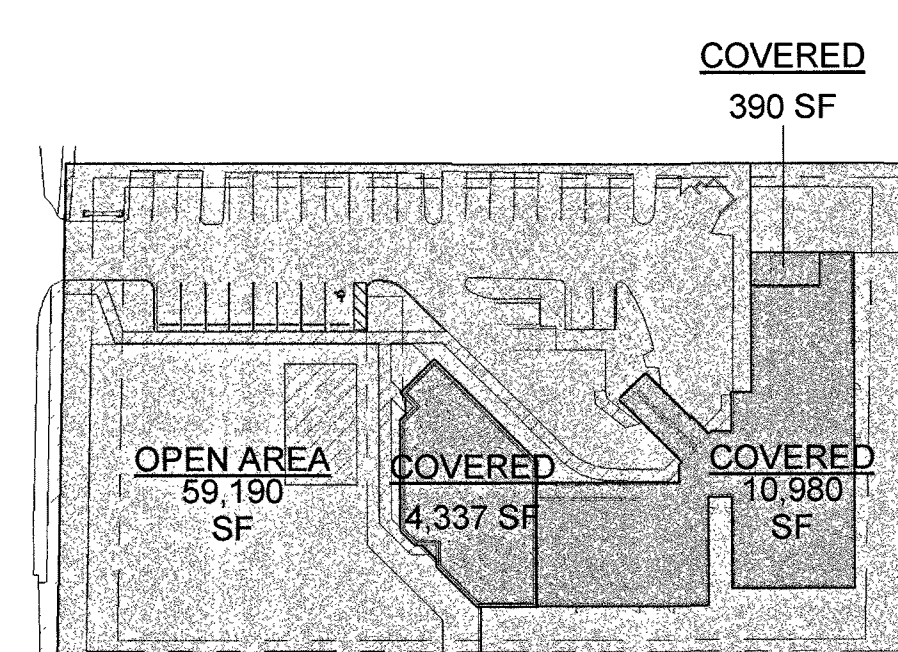
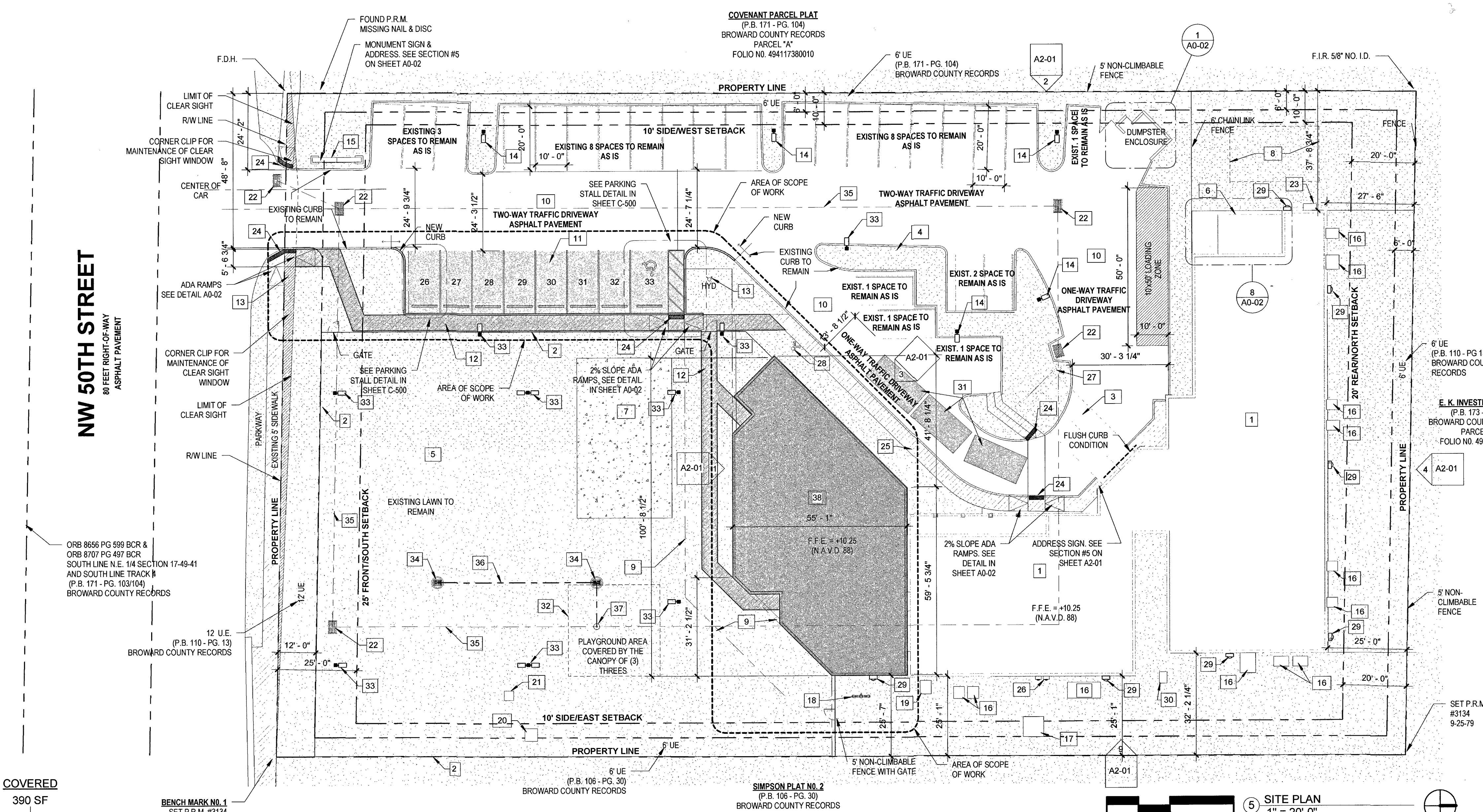
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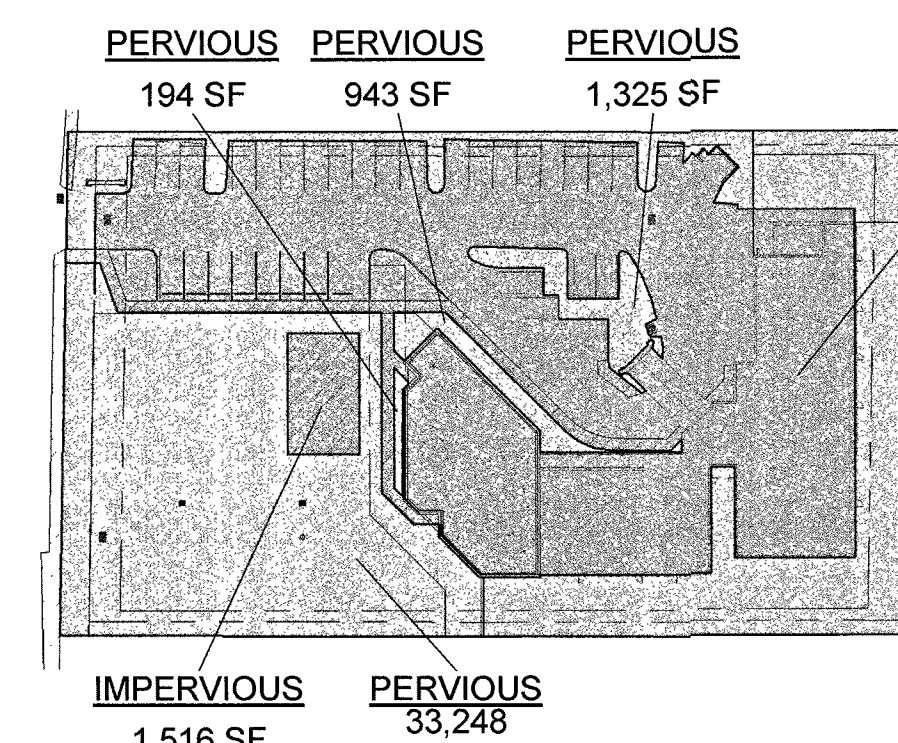
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 786 623 3560



1 PROPOSED LOT COVERAGE DIAGRAM
 1" = 80'-0"



2 PERVIOUS VS IMPERVIOUS DIAGRAM
 1" = 80'-0"

PROPOSED LOT COVERAGE CALCS

NAME	AREA	PERCENTAGE
COVERED	10,980 SF	15%
COVERED	4,337 SF	6%
COVERED	360 SF	1%
COVERED	15,708 SF	21%
OPEN AREA	59,190 SF	79%
OPEN AREA	59,190 SF	79%
Grand total	74,898 SF	100%

PERV/IMPERV AREA CALCULATION

NAME	AREA	PERCENTAGE
IMPERVIOUS	37,671 SF	50%
IMPERVIOUS	1,516 SF	2%
IMPERVIOUS	39,187 SF	52%
PERVIOUS	33,248 SF	44%
PERVIOUS	943 SF	1%
PERVIOUS	194 SF	0%
PERVIOUS	1,325 SF	2%
PERVIOUS	35,711 SF	48%
TOTAL	74,898 SF	100%

ALL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.

SITE DATA & DEVELOPEMENT PROGRAM

I. GENERAL LOT INFORMATION

ZONING CLASSIFICATION: B-3
 FOLIO NUMBER: 4941 17 12 0010 / 4941 17 12 0020
 PROPERTY ADDRESS: 8955 NW 50th St, SUNRISE, FL 33351
 FEMA ZONE: AH
 EXISTING LAND USE: C-COMMERCIAL - DAY CARE / PRE-K
 ADJACENT LAND USE: TO THE EAST, WEST AND NORTH: C-COMMERCIAL
 ADJACENT ZONING CLASSIFICATION: PROPERTY TO THE EAST: B-3
 PROPERTY TO THE WEST/NORTH: B-2

II. LOT DISPOSITION

	REQUIRED/ALLOWED	PROVIDED
a) LOT AREA:	30,000 S.F. MIN	74,898 sf
b) LOT WIDTH:	150 ft	210 ft
c) LOT COVERAGE EXISTING	35% max = 26,214SF	15% = 10,980 SF
c) LOT COVERAGE PROPOSED	35% max = 26,214SF	21% = 15,708 SF (SEE DIAGRAM IN THIS SHEET)
d) FAR EXISTING	0.50 x 74,898SF=37,448SF	9,936 sf (0.13 FAR RATIO)
e) FAR PROPOSED	0.50 x 74,898SF=37,448SF	9,936 + 4,043 SF SOUTH TOTAL: 13,979 SF (0.19 FAR RATIO)
f) PERVIOUS AREA	15% LOT AREA MIN. 15% OF 74,898 SF = 11,234 SQ. FT. MIN	48% - 35,705 SQ. FT. INCL
g) IMPERVIOUS AREA	85% LOT AREA MAX. 85% OF 74,898 SF = 63,663 SQ. FT. MIN	52% - 39,193 SQ. FT. INCL

III. BUILDING SETBACKS

	REQUIRED/ALLOWED	PROVIDED
PRINCIPAL FRONT	25FT MIN.	142'-5" (FRONT/SOUTH)
SIDE	10FT MIN	37'-8" (SIDE/WEST) & 25'-1" (SIDE/EAST)
REAR	20FT MIN	25'-0" (REAR/NORTH)

VI. BUILDING HEIGHT

	MAX. ALLOWABLE	PROVIDED
NUMBER OF STORES	250 FT	1 STORY - 12 FT

IX. PARKING ANALYSIS

DAY CARE / PRE-SCHOOL

REQUIRED/ALLOWED: DAY CARE CENTER, ADULT DAY CARE CENTER: ONE (1) SPACE FOR EACH FIVE (5) ENROLLEES BASED ON LICENSE CAPACITY, PLUS ONE (1) SPACE FOR EVERY THREE HUNDRED (300) SQUARE FEET OF OFFICE AREA. IN ADDITION, A MINIMUM OF THREE (3) STACKING SPACES SHALL BE PROVIDED IN CLOSE PROXIMITY TO THE ENTRANCE OF THE BUILDING TO PROVIDE EASY INGRESS AND EGRESS FROM THE BUILDING.

EXISTING: REQUIRED 9,936/400 = 24.84 = 25 SPACES
 REQUIRED HC PARKING SPACES = 1/25 SPACES
 CURRENT LICENCE CAPACITY = 203
 SUB TOTAL FOR EXISTING CAPACITY : 25 SPACES

ADDITION: 39 ENROLLEES ADDED = 8 SPACES
 OFFICE USE = 0 SF = 0 SPACES
 TOTAL LICENCE CAPACITY AFTER ADDITION = 242
 SUBTOTAL REQ FOR ADDED ENROLLEES: 8 SPACES

SUB TOTAL REQ = 33 SPACES

HANDICAPPED PARKING: 2 SPACES

LOADING SPACES: 1 SPACE

X. GROSS & NET AREA

TOTAL GROSS AREA	74,898 SQ. FT.	(1.72 ACRES)
TOTAL NET AREA	74,898 SQ. FT.	(1.72 ACRES)

XI. FLOOD INFO - ELEVATION DATUM DESIGN

FLOOD ZONE	AH
FINISH FLOOR ELEVATION - EXISTING	+10.25' (N.A.V.D. 88)
FINISH FLOOR ELEVATION - PROPOSED	+10.25' (N.A.V.D. 88)
BASE FLOOD ELEVATION	+9.00'

SITE PLAN LEGEND

- EXISTING 1 STORY BUILDING TO REMAIN
- 5' NON-CLIMBABLE FENCE
- EXISTING CANOPY/CAR PORT
- EXISTING MEDIAN
- EXISTING LAWN
- EXISTING COVERED PATIO
- BASKETBALL COURT
- PLAYGROUND AREA 1
- EXISTING 15' FIRE DEPT EASEMENT
- ASPHALT DRIVEWAY
- NEW ROW OF PARKING SPACES, ASPHALT TO MATCH EXISTING ON SITE.
- NEW CONCRETE SIDEWALK
- EXISTING FIRE HYDRANT
- EXISTING LIGHTING POLE
- EXISTING MONUMENT SIGN
- A/C CONCRETE PAD
- FPL CONCRETE PAD
- BACKFLOW PREVENTER
- IRRIGATION EQUIPMENT
- ELECTRIC SERVICE
- UNDERGROUND STORAGE TANK
- EXISTING CATCH BASIN
- CONCRETE PAD
- DETECTABLE WARNING
- EXISTING SIDEWALK
- MAIN & FPL METER BOX
- EXISTING PORTICO TO REMAIN
- FIRE CONNECTION
- EXISTING FLOOD LIGHT FIXTURE
- WATER METER
- THREE (3) STACKING CARS SPACES
- PLAYGROUND AREA 2
- PROPOSED LIGHT POLE
- PROPOSED CATCH BASIN
- EXISTING 15' C.M.P. & EXFIL TRENCH
- PROPOSED EXFIL. TRENCH
- PROPOSED MANHOLE
- PROPOSED ADDITION

REVISION LOG

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY

HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET
 8955 NW 50th St, SUNRISE, FL 33351

SITE PLAN & PROJECT DATA

SEAL & SIGNATURE

 DATE: 04/13/2022
 SITE PLAN SHEET NO. **A0-01**
 JOSE GAVIRIA, ARCHITECT
 STATE OF FLORIDA A.R. 92739



architecture

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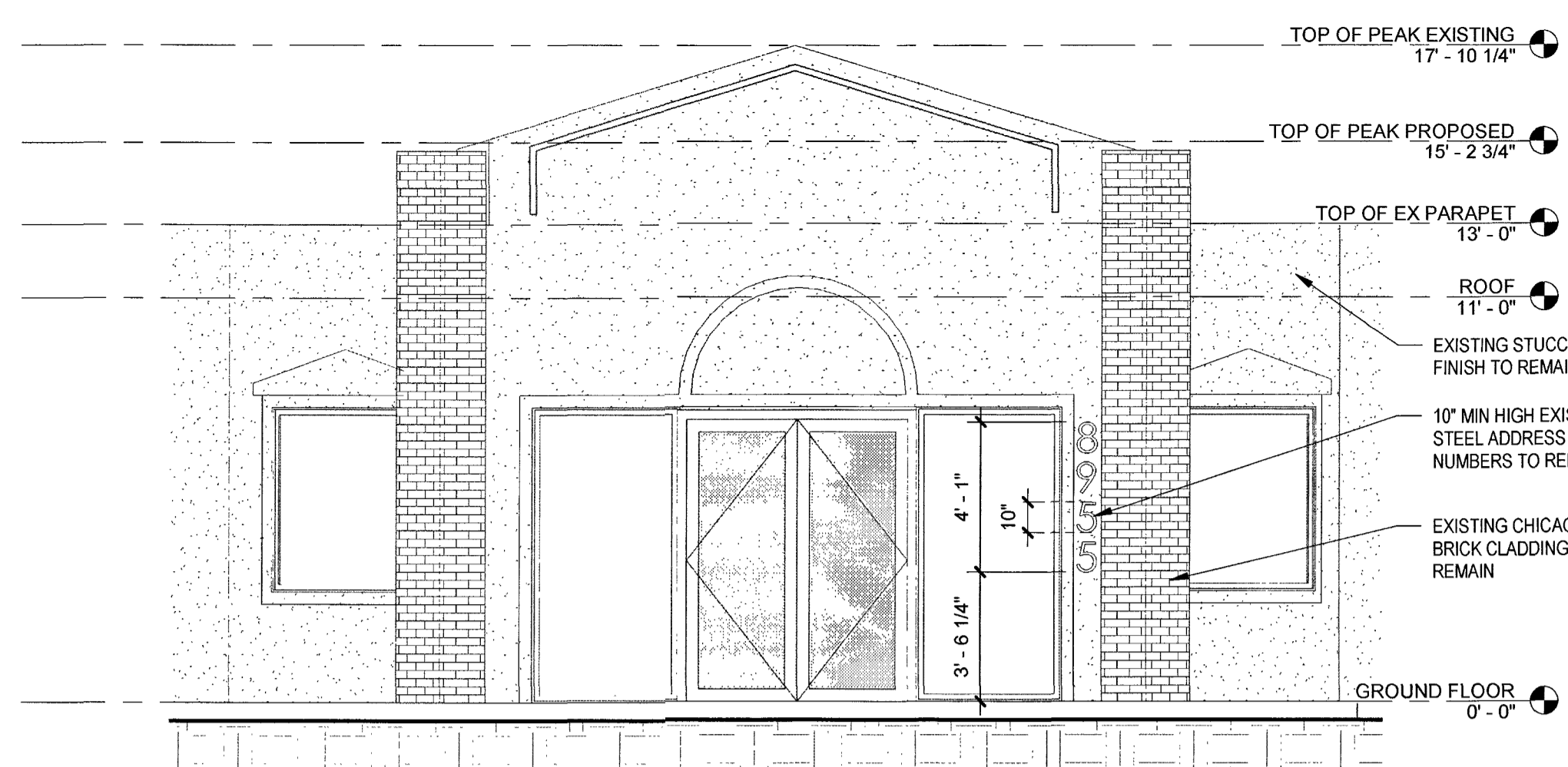
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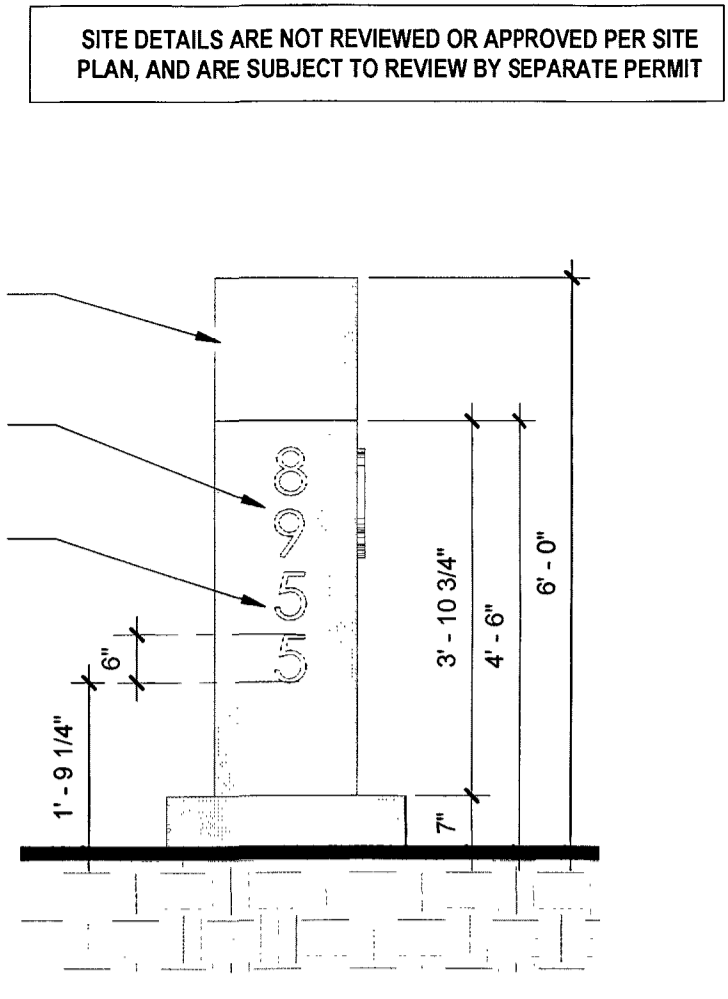
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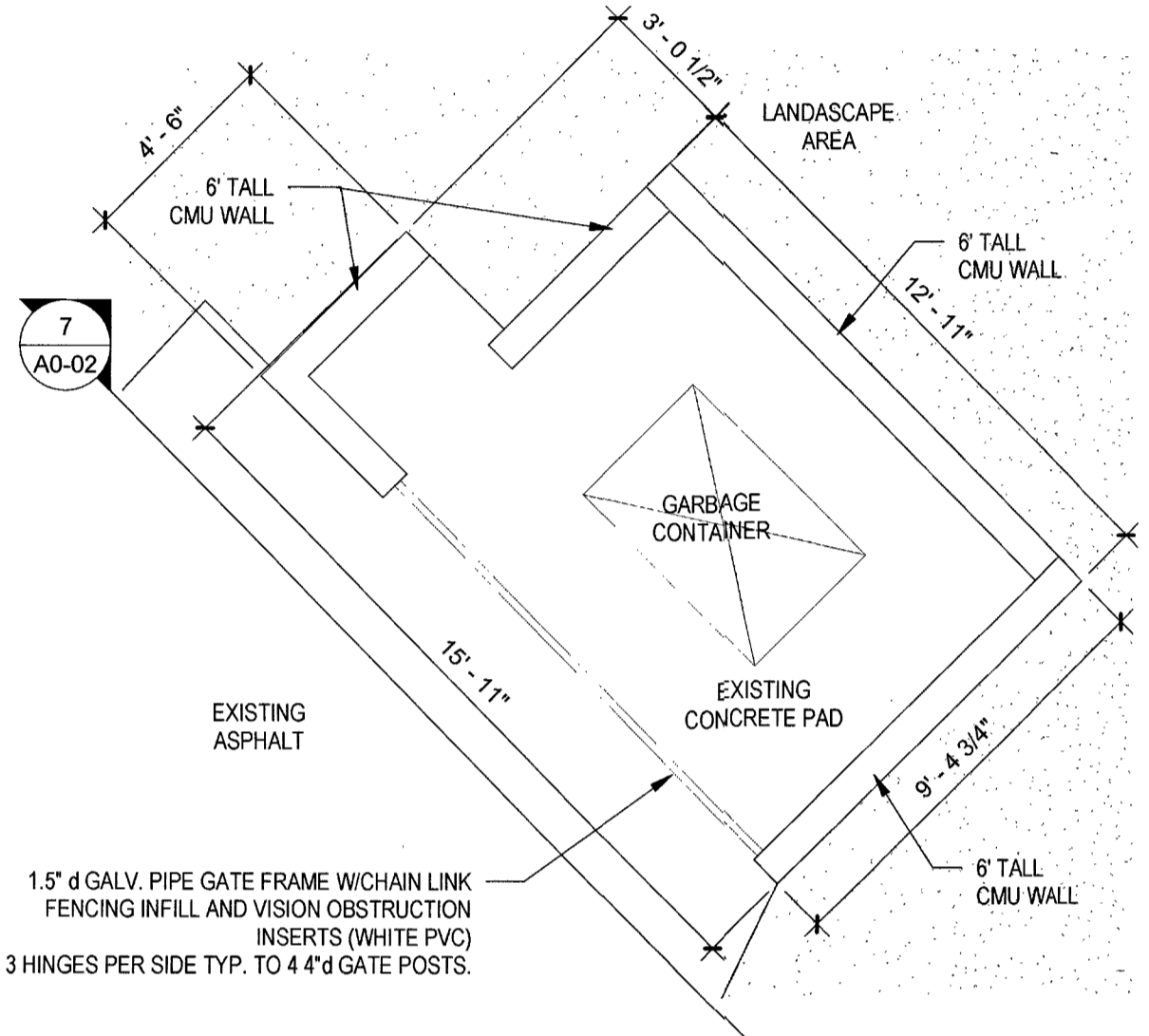
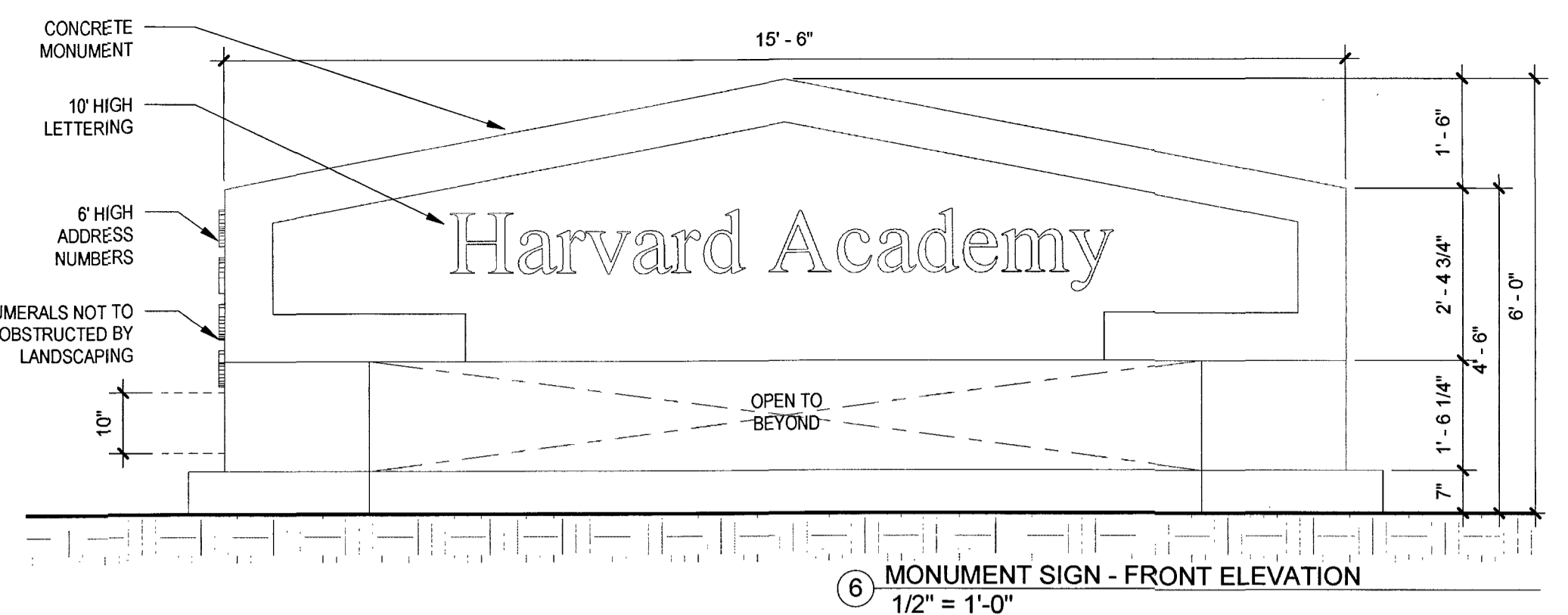
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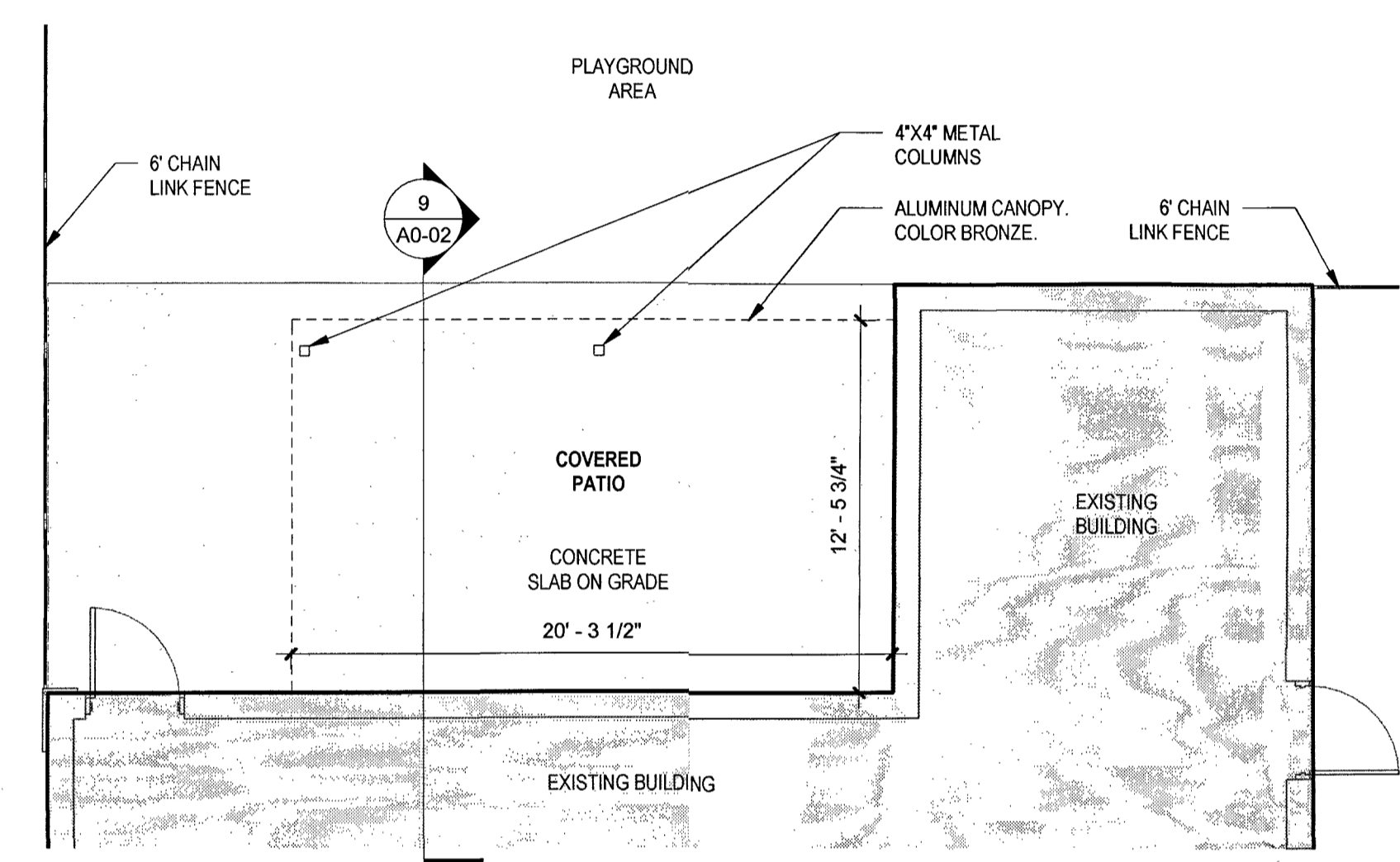
5 BUILDING ADDRESS SIGN 2
1/4" = 1'-0"



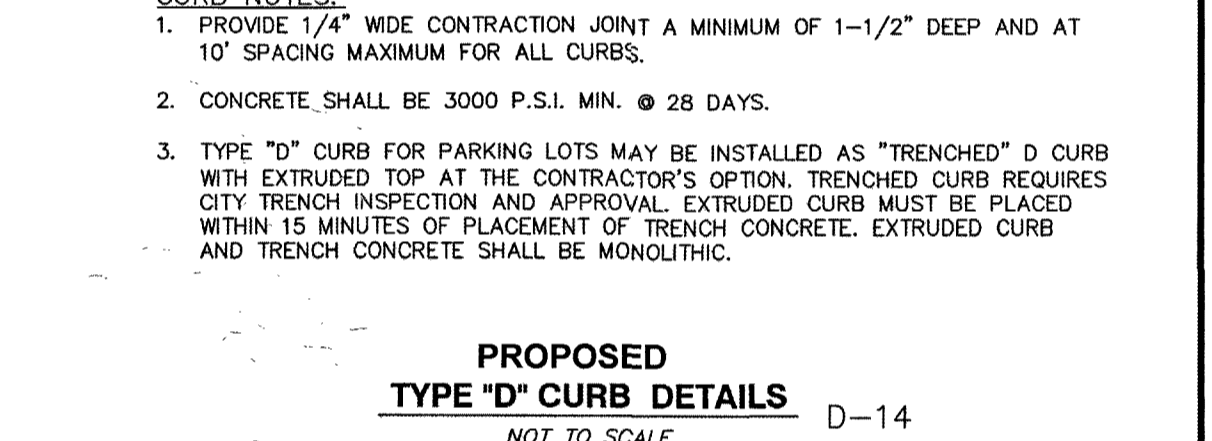
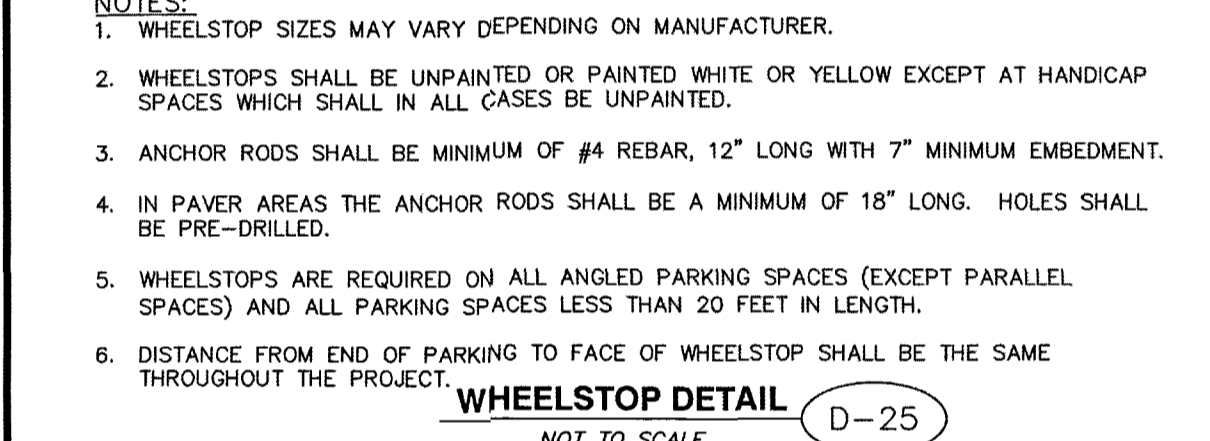
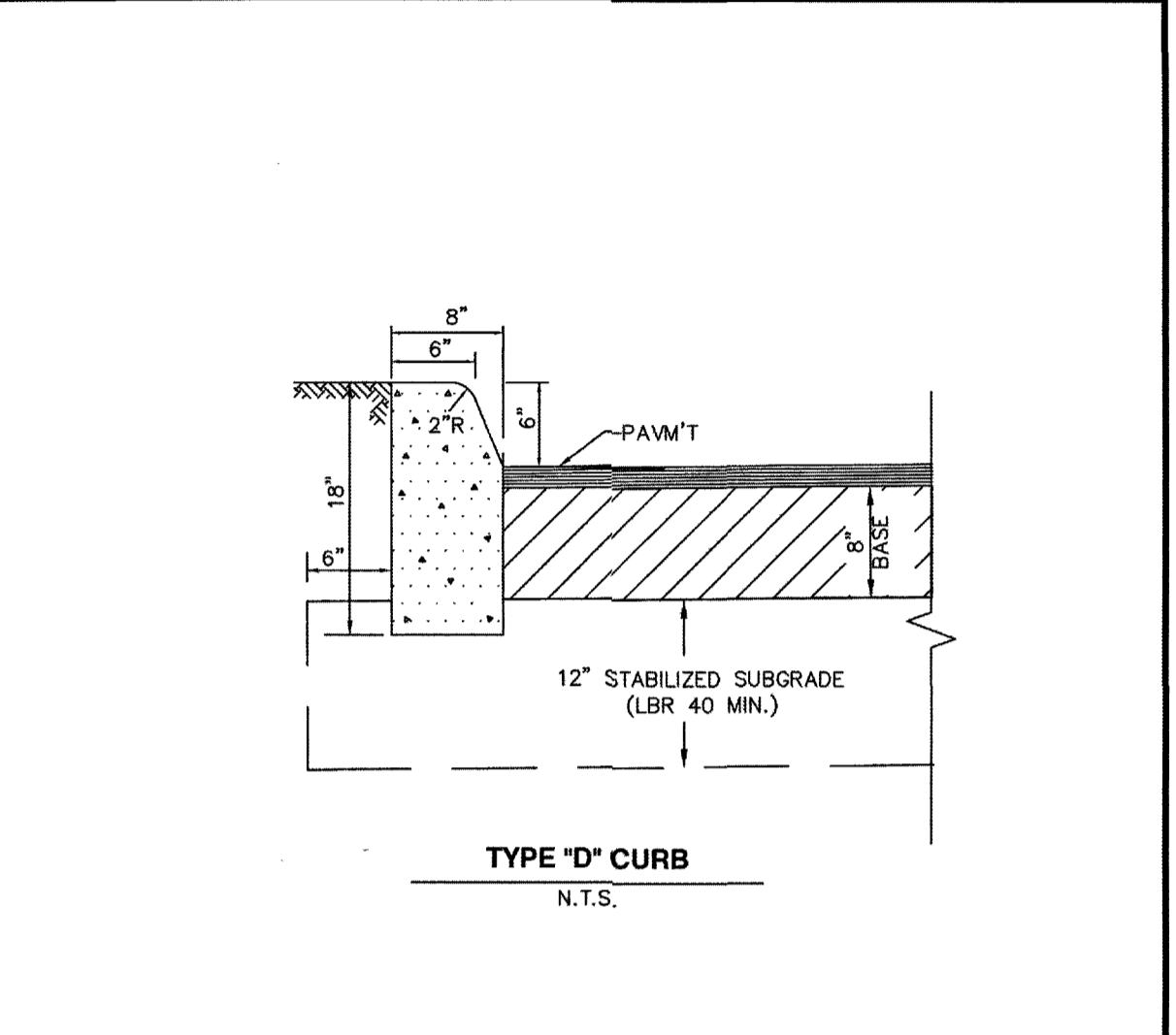
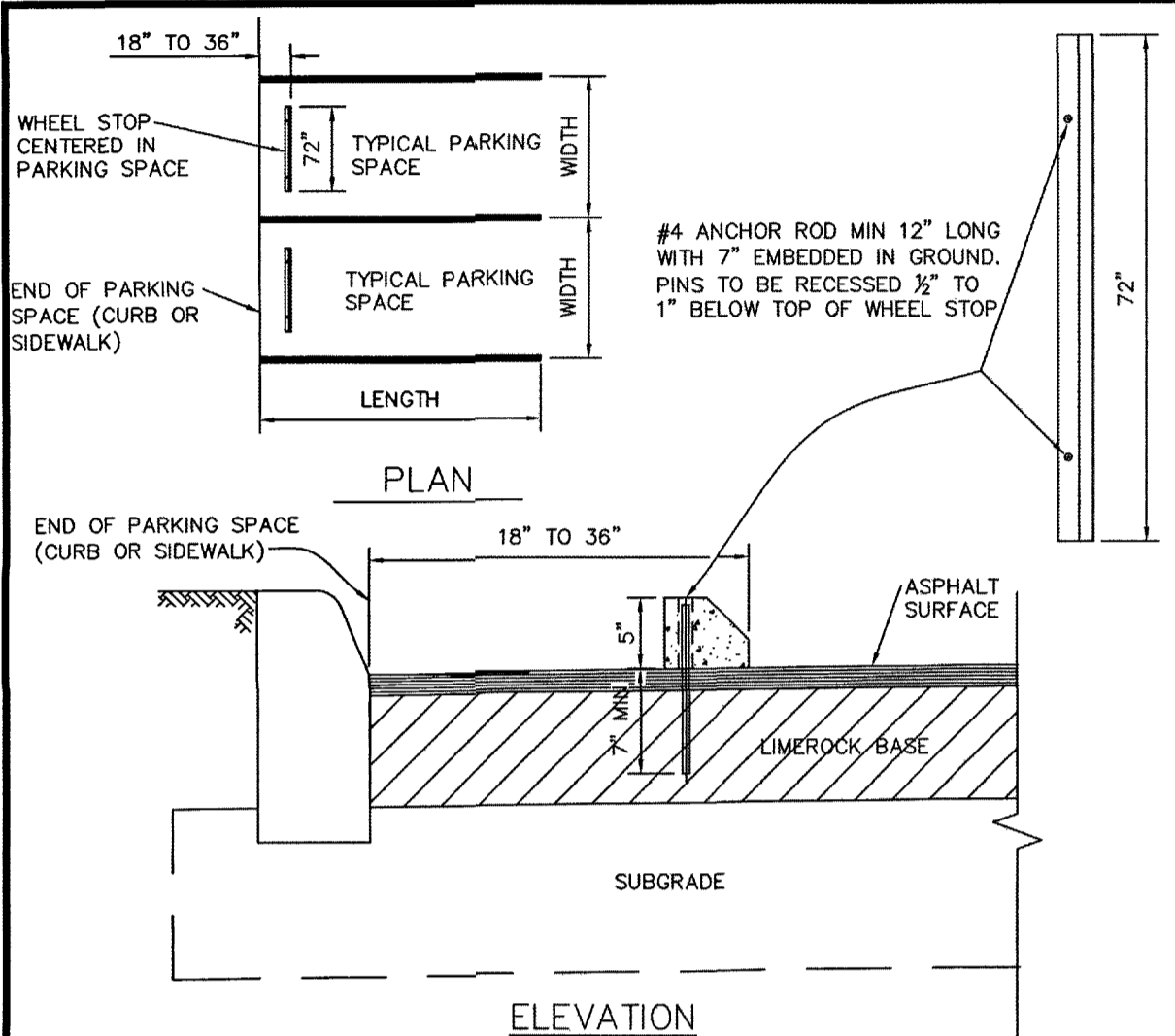
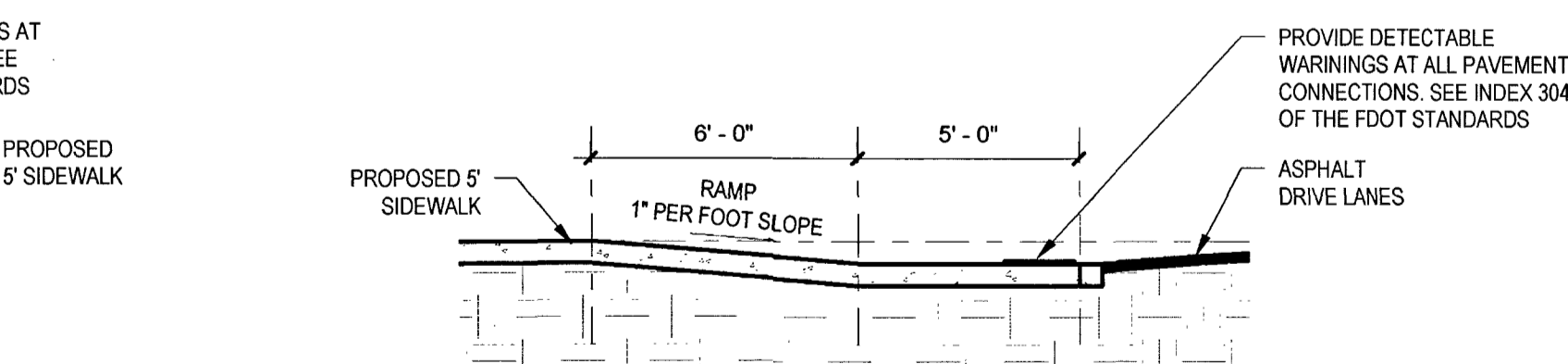
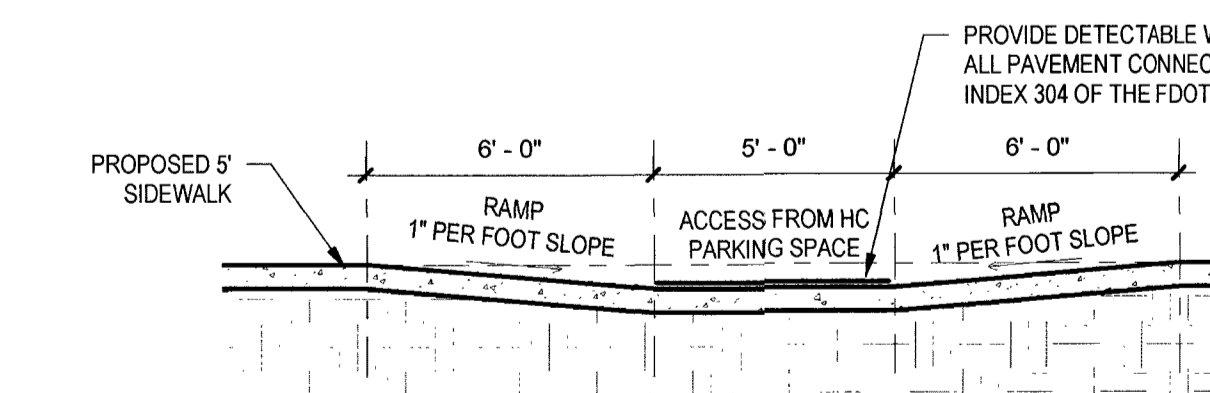
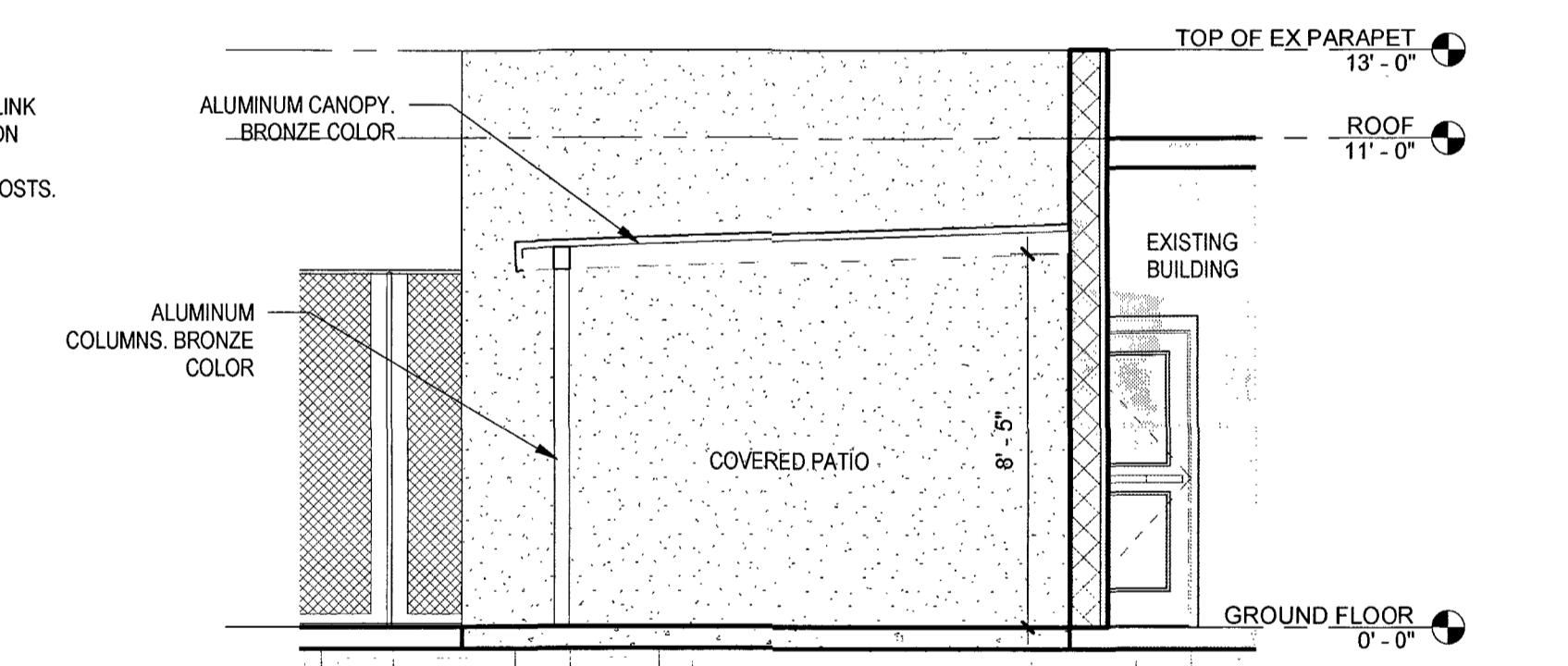
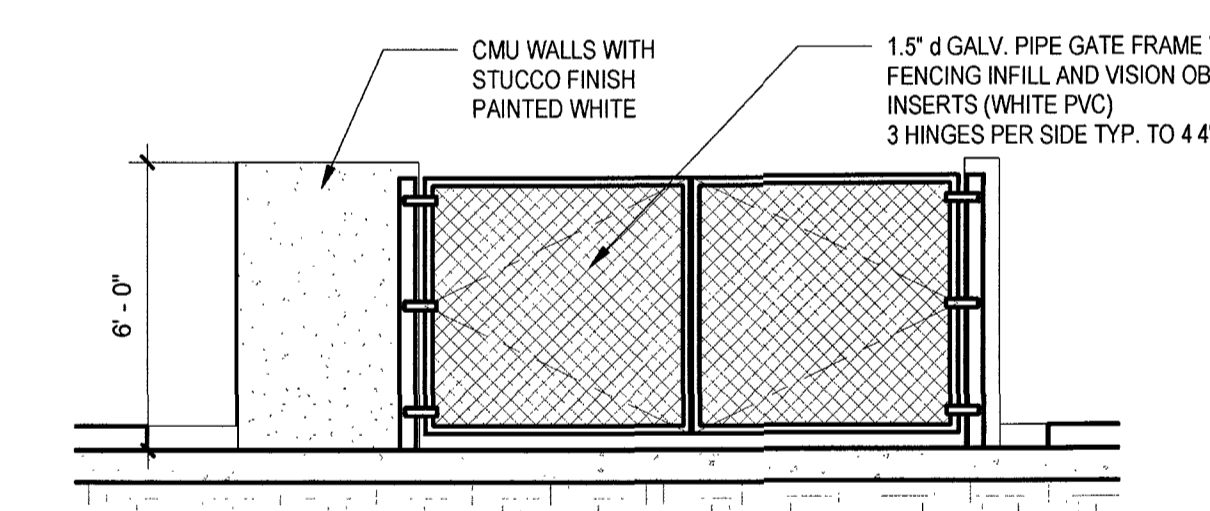
2 BUILDING ADDRESS SIGN 1 - ON MONUMENT SIGN SIDE
1/2" = 1'-0"



1 DUMPSTER ENCLOSURE DETAIL
1/4" = 1'-0"



8 NW COVERED PATIO
3/16" = 1'-0"



HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET
8955 NW 50th St, SUNRISE, FL 33351

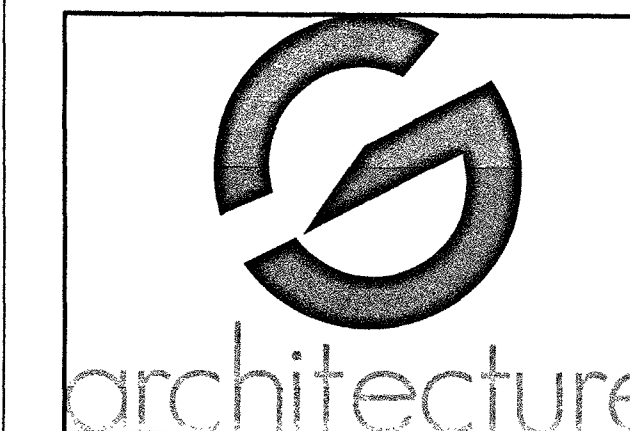
SITE PLAN DETAILS

SEAL & SIGNATURE

DATE
03/31/2021

SITE PLAN SHEET NO.
A0-02

JOSE GAVIRIA, ARCHITECT
STATE OF FLORIDA A.R. 92739



ARCHITECT
GS ARCHITECTURE

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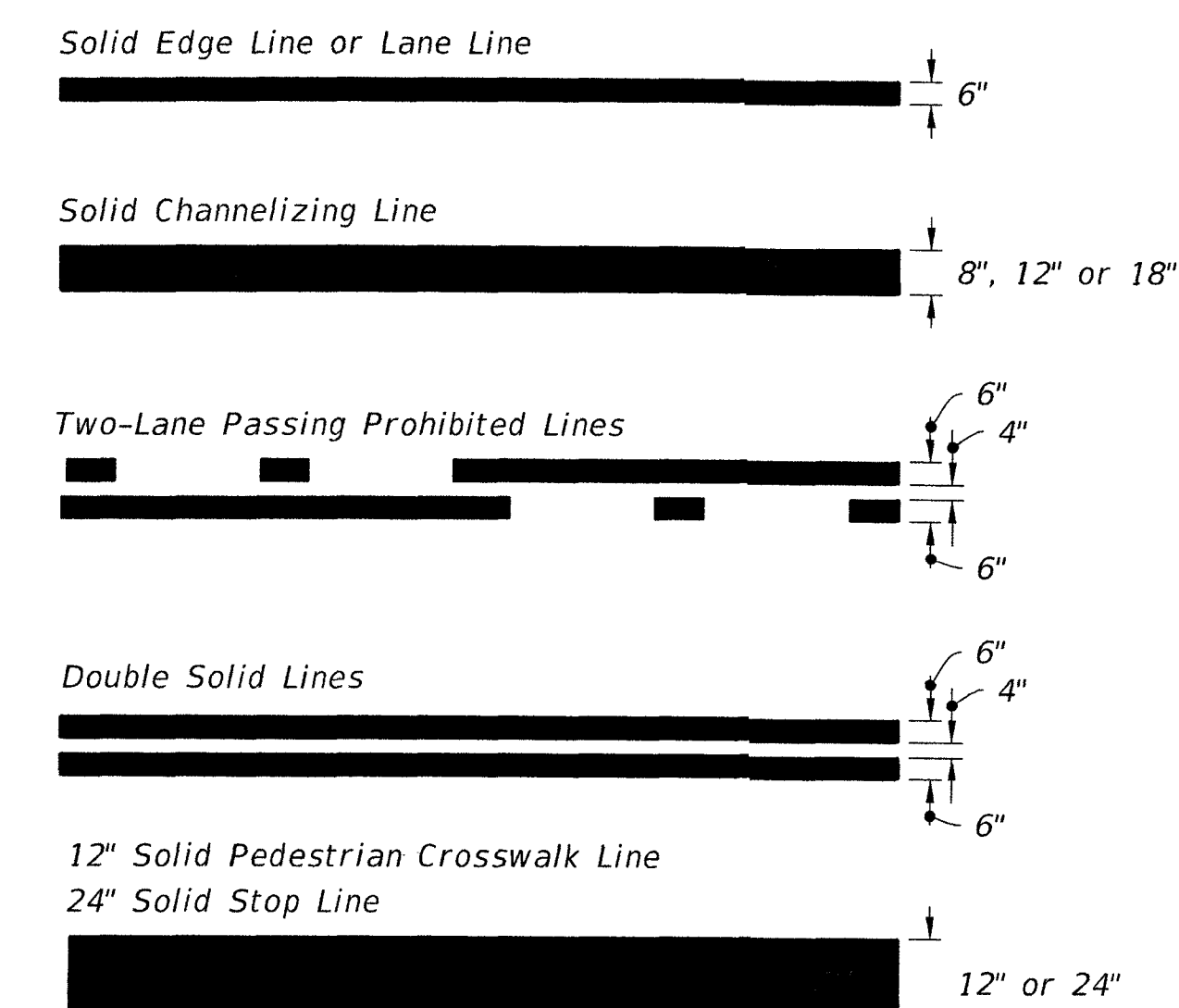
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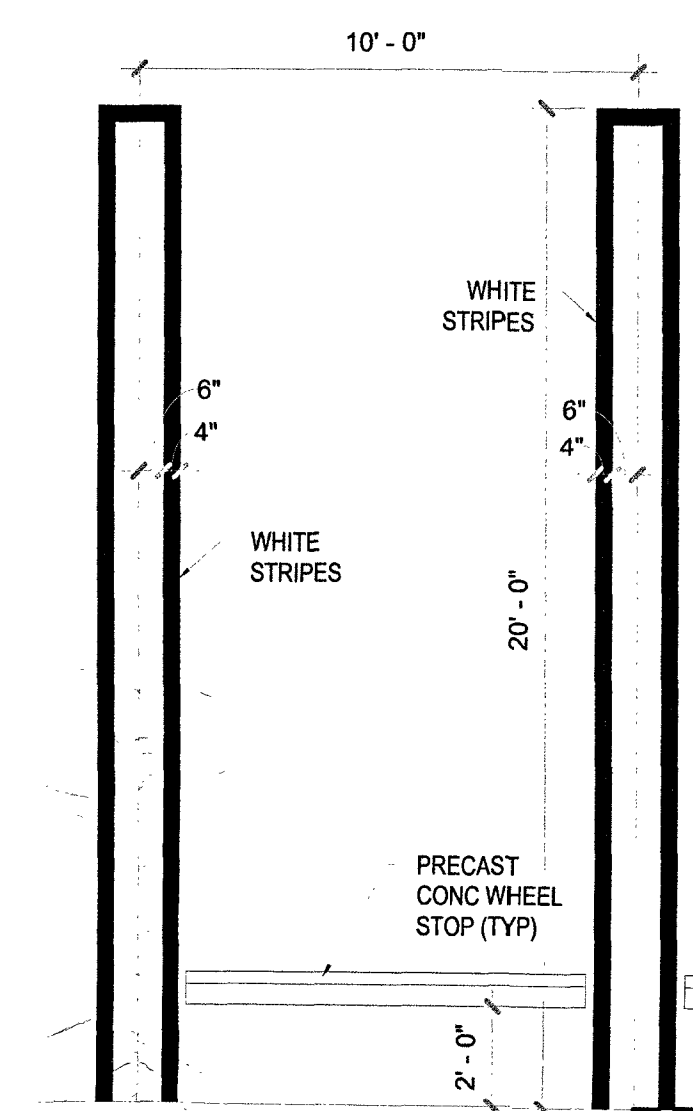
5451 PIERCE STREET

HOLLYWOOD, FL 33021

786-302-7693



PAVEMENT MARKINGS PER FDOT STANDARD INDEX 711-001
SCALE: N.T.S.

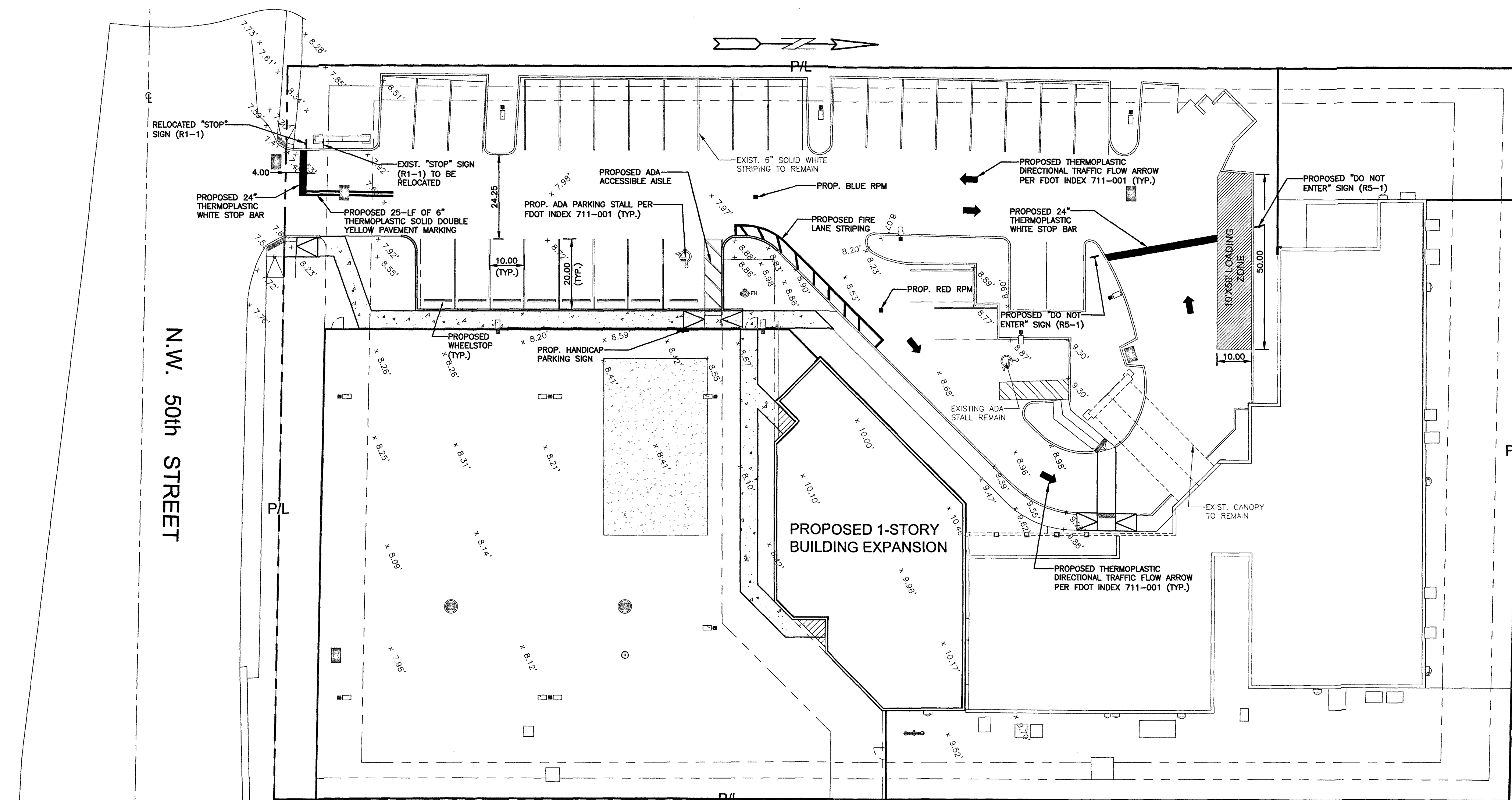


STANDARD PARKING DETAIL
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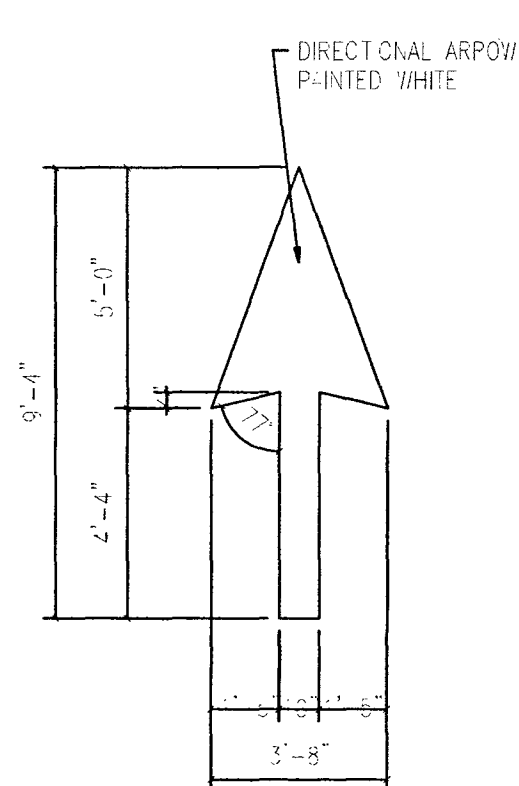
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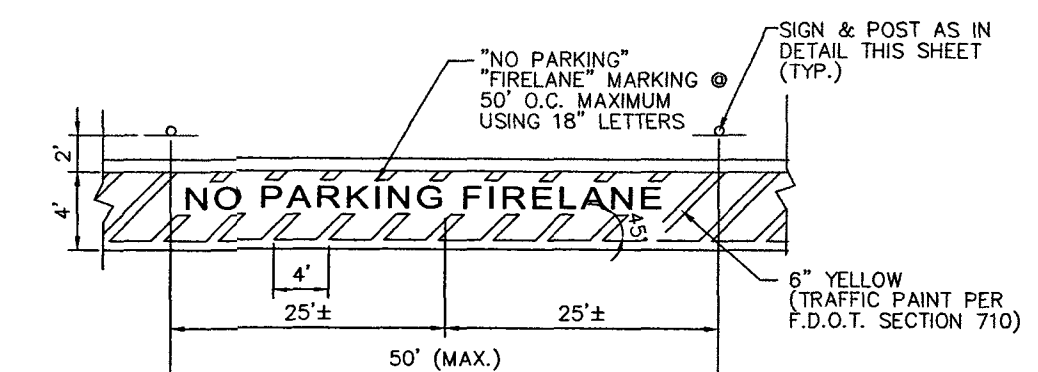
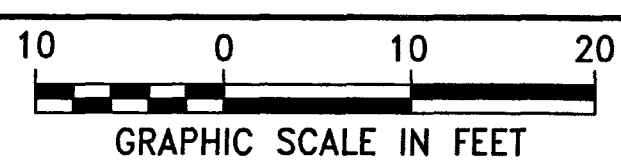
NOTE: ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS TO BE PROVIDED ON THE SITE PLAN IN CONFORMANCE WITH BCTE AND MUTCD STANDARDS.



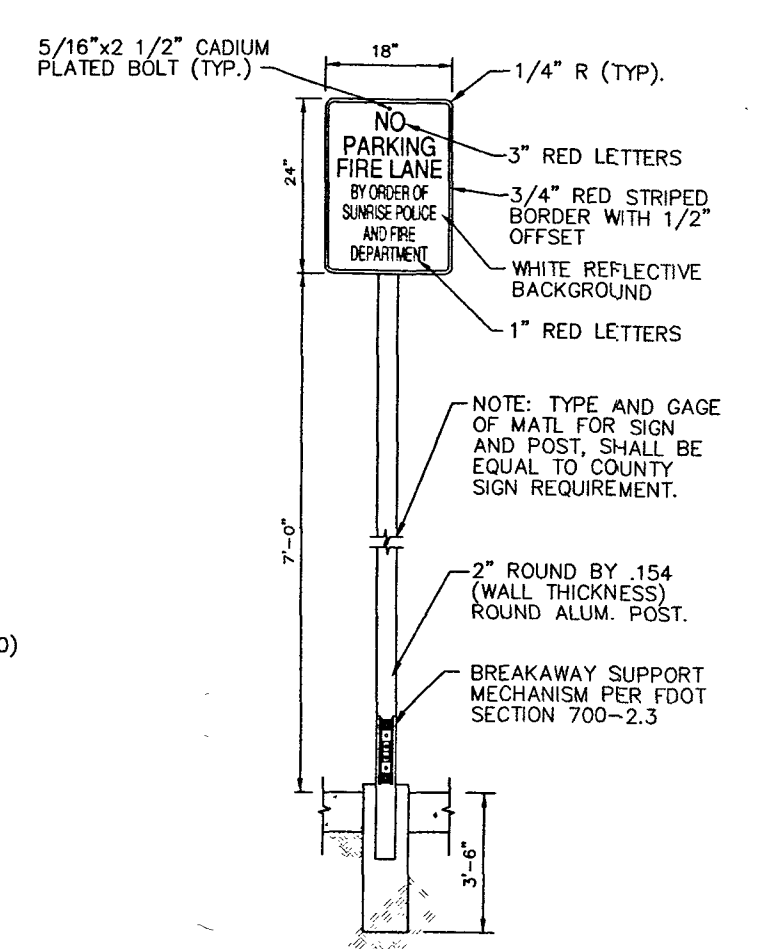
DIRECTIONAL ARROW DETAIL
N.T.S.



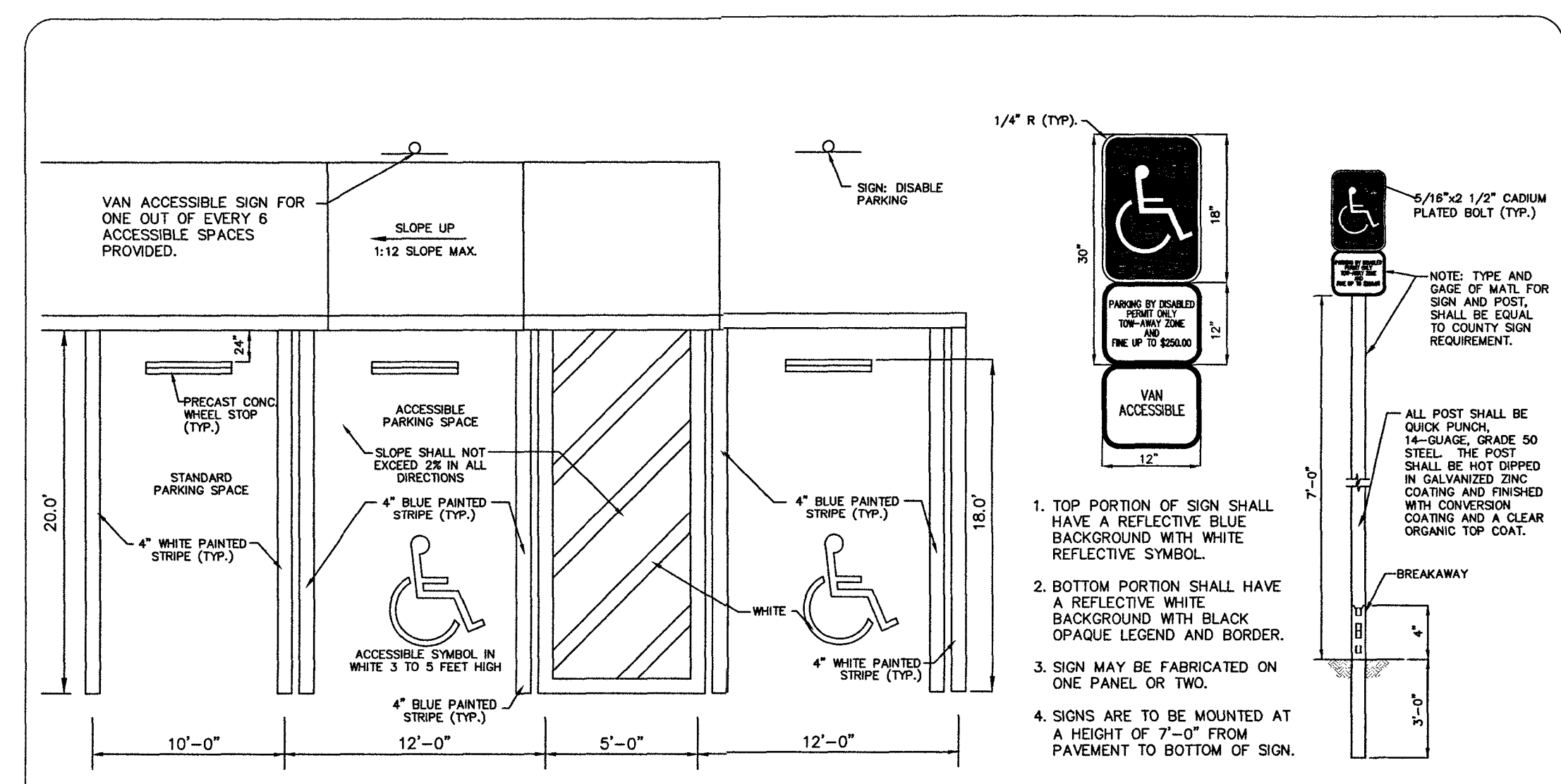
Call 811 or visit sunshine811.com two full business days before digging to have buried facilities located and marked.
Check positive response codes before you dig!



FIRE LANE DETAIL



SIGN DETAIL



PARKING SPACE DETAIL

DISABLED ACCESS SIGN

COMMUNITY DEVELOPMENT DEPARTMENT - ENGINEERING DIVISION STANDARD
DATE: 8/13
DETAIL NO.



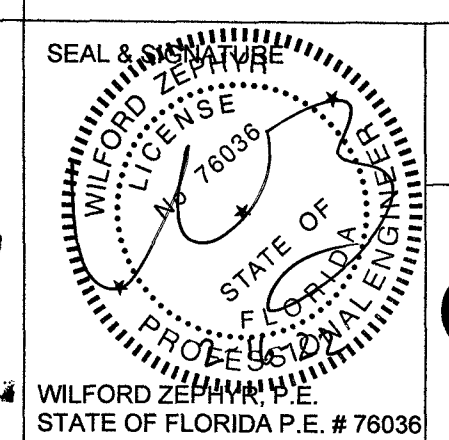
COMMUNITY DEVELOPMENT DEPARTMENT - ENGINEERING DIVISION STANDARD
DATE: 8/13
DETAIL NO.

ZEPHYR ENGINEERING
WILFORD ZEPHYR, P.E.
5451 PIERCE STREET, HOLLYWOOD, FL 33021
(786)302-7693
wzephyreng@gmail.com
CA#: 31158

HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET
8955 NW 50th St, SUNRISE, FL 33351

TRAFFIC SIGNAGE
AND MARKING PLAN

City of Sunrise
Community Development Department
FEB 16 2022
RECEIVED

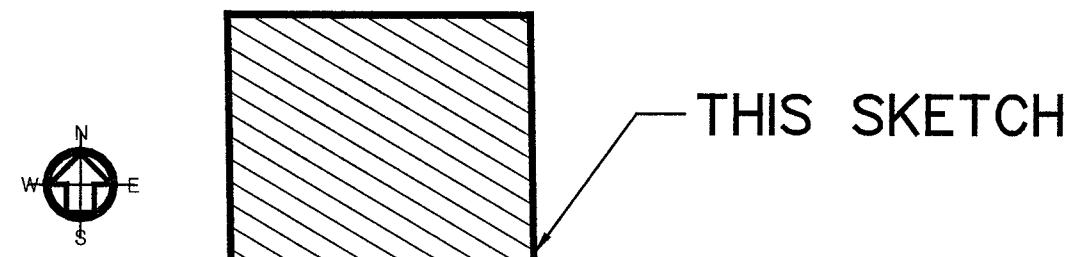


DATE
01/14/2022

SHEET NO.

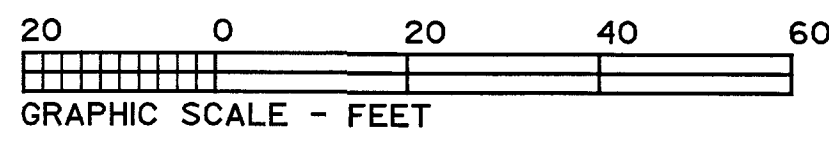
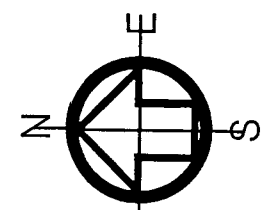
C-500

WILFORD ZEPHYR, P.E.
STATE OF FLORIDA P.E. # 76030



LOCATION SKETCH
(NOT TO SCALE)

N. PINE ISLAND ROAD



LEGAL DESCRIPTION:
PARCEL "A", SIMPSON PLAT NO. 1, ACCORDING TO THE PLAT THEREOF,
AS RECORDED IN PLAT BOOK 110, PAGE 13, OF THE PUBLIC RECORDS
OF BROWARD COUNTY, FLORIDA.

STANDARD ABBREVIATIONS:

- A/C - AIR CONDITIONER PAD
- ACSM - AMERICAN CONGRESS ON SURVEYING AND MAPPING
- ALTA - AMERICAN LAND TITLE ASSOCIATION
- ADJ - ADJACENT
- BFP - BACK FLOW PREVENTOR
- B.C.R. - BROWARD COUNTY RECORDS
- B.M. - BENCHMARK
- BOC - BACK OF CURB
- (C) - CALCULATED
- CS - CATCH BASIN
- CLF - CHAIN LINK FENCE
- CONC. - CONCRETE
- C.B.S. - CONCRETE BLOCK STRUCTURE
- D.A. - DELTA ANGLE
- D.C.R. - DADE COUNTY RECORDS
- DDCV - DOUBLE DETECTOR CHECK VALVE
- D.E. - DRAINAGE EASEMENT
- E.O.W. - EDGE OF WATER
- ELEV. - ELEVATION
- F.F. - FINISHED FLOOR
- F.P.L. - FLORIDA POWER & LIGHT CO.
- FD - FOUND
- G.F. - GARAGE FLOOR
- INV. - INVERT
- IR - IRON PIPE
- IR - IRON ROD
- IRC - IRON ROD & CAP
- ARC - ARC LENGTH
- LME - LAKE MAINTENANCE EASEMENT
- LB - LICENSED BUSINESS
- (L.D.) - LEGAL DESCRIPTION
- (M) - MEASURED
- M.H. - MANHOLE
- MISC. - MISCELLANEOUS
- N/D - NAL AND DISK
- N/T - NAL AND TAB
- NGVD - NATIONAL GEODETIC VERTICAL DATUM
- NSPS - NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
- N/A - NON-APPLICABLE
- NAVD - NORTH AMERICAN VERTICAL DATUM
- N - NORTH
- N.T.S. - NOT TO SCALE
- NO. - NUMBER
- OS - OFFSET
- O/S - OVERHEAD WIRES
- O.R.B. - OFFICIAL RECORD BOOK
- P.B.C.R. - PALM BEACH COUNTY RECORDS
- PG. - PAGE
- P.C.P. - PERMANENT CONTROL POINT
- P.R.M. - PERMANENT REFERENCE MONUMENT
- (P) - PLAT
- P.B. - PLAT BOOK
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCEMENT
- P.C.C. - POINT OF COMPOUND CURVE
- P.C. - POINT OF CURVATURE
- P.R.C. - POINT OF REVERSE CURVE
- P.T. - POINT OF TANGENCY
- P.S.M. - PROFESSIONAL SURVEYOR AND MAPPER
- PROP. - PROPOSED
- RADIUS - RADIUS
- R.O.W. - RIGHT OF WAY
- SOUTH - SOUTH
- SEC. - SECTION
- SQ. FT. - SQUARE FEET
- STATE PLANE - STATE PLANE
- STATE ROAD - STATE ROAD
- TOP - TOP
- T.O.P. - TOP OF PIPE
- TYP. - TYPICAL
- U.E. - UTILITY EASEMENT
- U.P. - UTILITY POLE
- WEST - WEST

BOUNDRY SURVEY (UPDATED)	ETS	SAG
	10-11-21	SAG
BOUNDRY SURVEY (UPDATED)	5-12-20	CM
BOUNDRY SURVEY (UPDATED)	10-11-17	CM
ADJUDIC	DATE	BY

VIC-SCOTT LAND SURVEYING & MAPPING
 Certificate of Authorization No. L.B. 6983
 6043 Wickham Boulevard, Suite L
 North Lauderdale, FL 33068
 Phone: (954) 722-8500
 vic-scott@earthlink.net

HARVARD ACADEMY	CHECKED BY:	PAGE NO.
	DESIGNED BY:	FIELD BOOK NO.
	DRAWN BY:	
	DATE: 9-12-16	

NOTES:

- REPRODUCTIONS OF THIS SURVEY ARE NOT VALID UNLESS SEALED BY THE SIGNING SURVEYOR.
- THIS DRAWING IS THE PROPERTY OF VIC-SCOTT LAND SURVEYING & MAPPING, AND SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT PERMISSION OF VIC-SCOTT LAND SURVEYING & MAPPING.
- THE LANDS SHOWN HEREON WERE NOT REVIEWED FOR RIGHTS-OF-WAY, EASEMENTS, OR OTHER SIMILAR MATTERS OF RECORD. ALL EASEMENTS PER RECORD PLAT UNLESS OTHERWISE NOTED.
- LEGAL DESCRIPTION FURNISHED BY CLIENT.
- THIS SURVEY DOES NOT PURPORT TO IDENTIFY IMPROVEMENTS BELOW GRADE, IF ANY, EXCEPT AS SPECIFICALLY NOTED HEREON.
- THERE ARE NO KNOWN ENCROACHMENTS UPON THIS PROPERTY EXCEPT AS NOTED HEREON (SIDEWALK ON PRIVATE PROPERTY).
- BUILDING TIES ARE PERPENDICULAR OR RADIAL TO BOUNDARY LINES UNLESS NOTED OTHERWISE.
- ANGLES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS WITHIN THE PLAT ENTITLED "SIMPSON PLAT NO. 1", AS RECORDED IN PLAT BOOK 110, PAGE 13, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- ELEVATIONS SHOWN HEREON ARE RELATIVE TO N.A.V.D. 1988.
- FLOOD ELEVATION INFORMATION:
 COMMUNITY NO. - 120038 PANEL NO. - 1201100335 LOWEST FLOOR ELEVATION - 10.23
 DATE OF FIRM - 8-18-14 SUFFIX - H LOWEST ADJACENT GRADE - 9.3
 FIRM ZONE - AH BASE FLOOD ELEVATION - 9 DIAGRAM NO. - 1B
- PROPERTY ADDRESS: 8955 NW 50th STREET, SUNRISE, FL 33351
- CONTAINING 74,898 SQUARE FEET, MORE OR LESS.
- 15' UTILITY EASEMENT, AS SHOWN HEREON, FURNISHED TO THIS OFFICE BY CLIENT.
- CERTIFIED TO: 8955 NW LLC
 Professional Bank, its successors and/or assigns
 Chicago Title Insurance Company
 1st Trust Title, Inc.

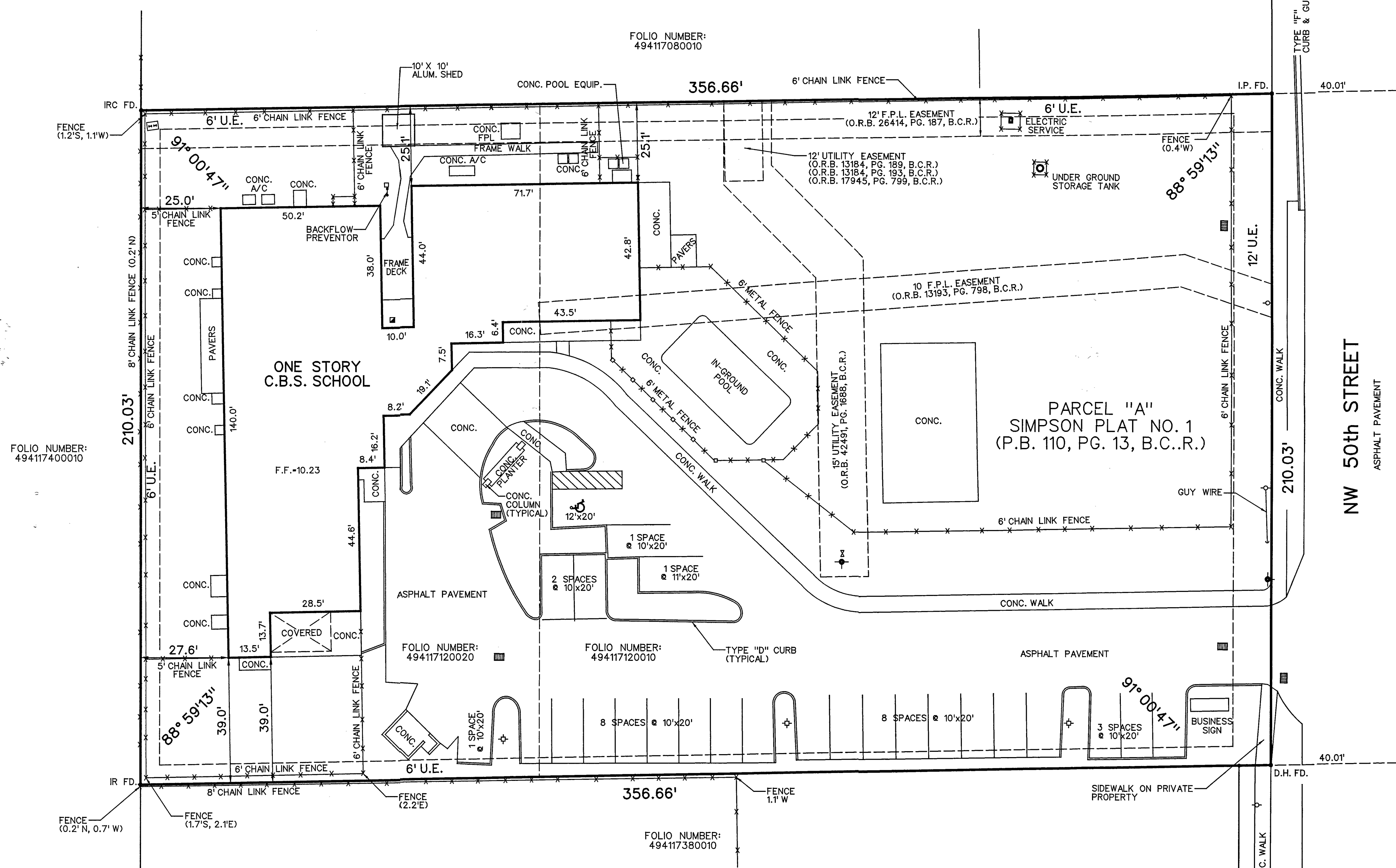
BOUNDARY SURVEY (UPDATE)
SCALE: 1" = 20'

SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON COMPLIES WITH THE STANDARDS OF PRACTICE FOR SURVEYS AS CONTAINED IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THAT SAID SURVEY IS TRUE TO THE BEST OF MY KNOWLEDGE AND BELIEF.

SCOTT A. GUZZI, PSM
 PROFESSIONAL SURVEYOR AND MAPPER
 FLORIDA REGISTRATION NUMBER 5108
 DATE OF LAST FIELD WORK: 10-11-21

LEGEND:

- SET 3/4" IR & CAP (LB 6893)
- △ NAL & TAB
- PCP
- ⊙ PRM
- +1.5 ELEVATION
- ⊕ FIRE HYDRANT
- ⊖ CENTERLINE
- ⊕ LIGHT POLES
- MANHOLE (SANITARY)
- MANHOLE (STORM)
- CATCH BASIN
- ELECTRIC SERVICE
- TELEPHONE JUNCTION BOX
- WATER METER
- CABLE TV BOX
- ◇ UTILITY POLE



FOLIO NUMBER:
494117400010

FOLIO NUMBER:
494117080010

ONE STORY
C.B.S. SCHOOL

PARCEL "A"
SIMPSON PLAT NO. 1
(P.B. 110, PG. 13, B.C.R.)

FOLIO NUMBER:
494117120020

FOLIO NUMBER:
494117120010

FOLIO NUMBER:
494117380010

ARCHITECT
GS ARCHITECTURE
 2100 SW 24th STREET
 MIAMI, FL 33145
 PH 786 488 0571
 AA26003969

STRUCTURAL ENGINEER
TE TADEOS ENGINEERS, INC
 LUIS O. de la HOZ OLIVERA, P.E., C.G.C.
 14030 NW 82nd Ave.
 Miami Lakes, FL 33016
 luis@tadeosengineering.com
 P: 305-647-5205
 C: 305-903-8816
 Lic. No. 73932

MEP ENGINEER
MAQUEIRA ENG. CONSULTANTS
 ROLANDO MAQUEIRA, PE
 7220 SW 39th Terrace
 Miami Lakes, FL 33016
 305 669 5595 ext 302
 305 669 5596
 cad@maqueira.com

LANDSCAPE DESIGN
COLLABORATIVE INDEPENDENT
 305-450-1115
 2347 SW 5th Street
 Miami, FL 33135
 www.collaborativeindependent.com

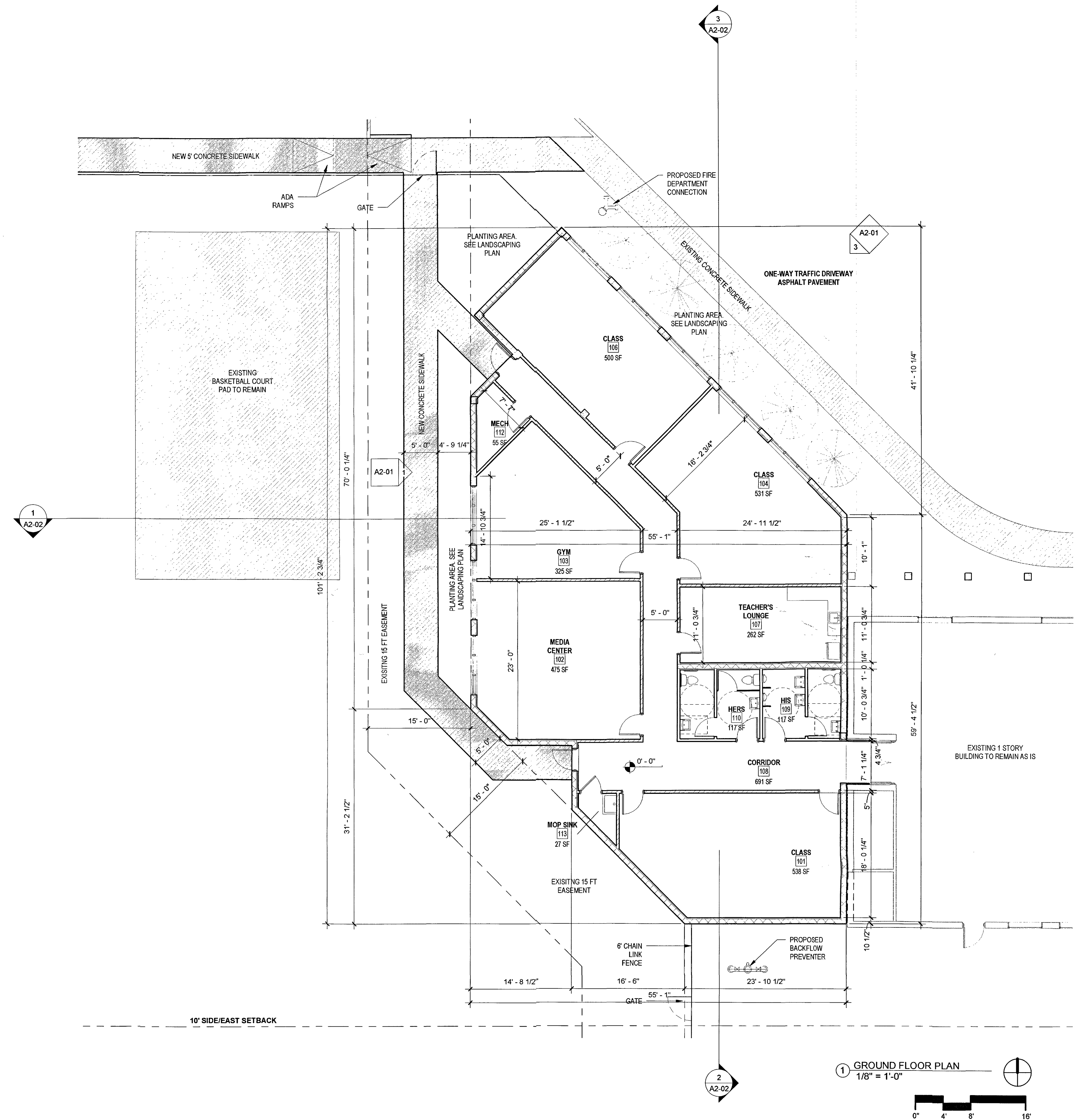
LANDSCAPE ARCHITECT
MARSH KRIPLEN
 305-322-2898
 1251 SW 20th Street
 Miami, FL 33145
 LA6667007

CIVIL ENGINEER
KIMLEY-HORN
 355 Alhambra Circle, Suite 1400
 Coral Gables, FL 33134
 786 623 3560

REVISION LOG

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY



HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET
 8955 NW 50th St, SUNRISE, FL 33351

FLOOR PLAN

SEAL & SIGNATURE

DATE

11/02/2020

Jose Gaviria
 11.6.20

SITE PLAN SHEET NO.

A1-01

JOSE GAVIRIA, ARCHITECT
 STATE OF FLORIDA A.R. 92739

ARCHITECT
GS ARCHITECTURE
 2100 SW 24th STREET
 MIAMI, FL 33145
 PH 786 488 0571
 AA26003969

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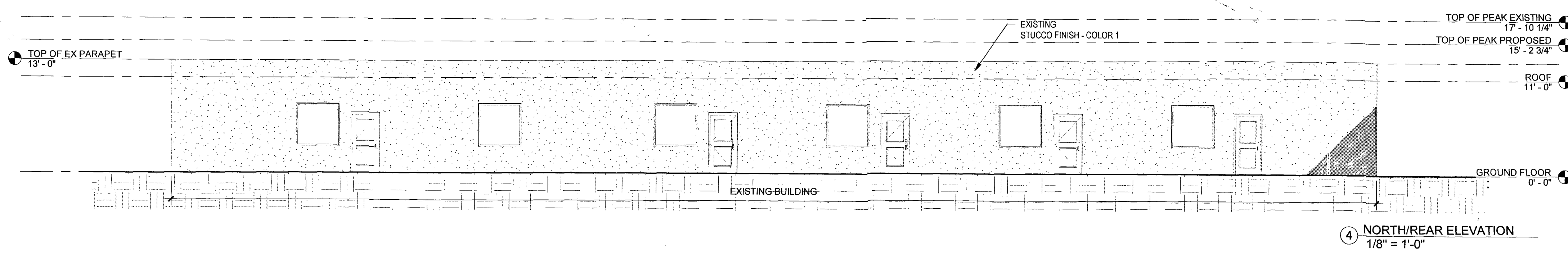
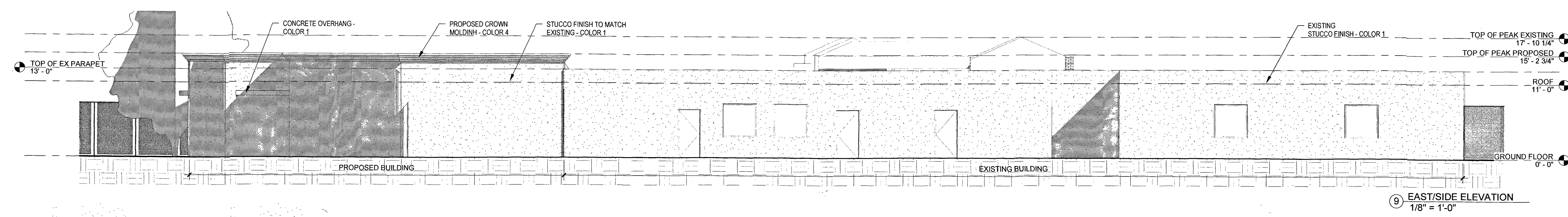
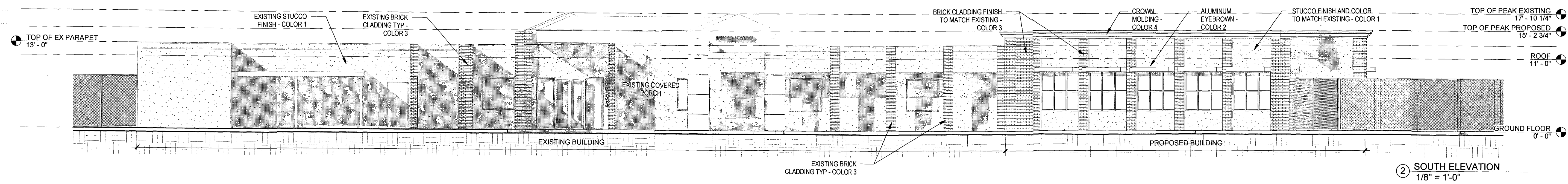
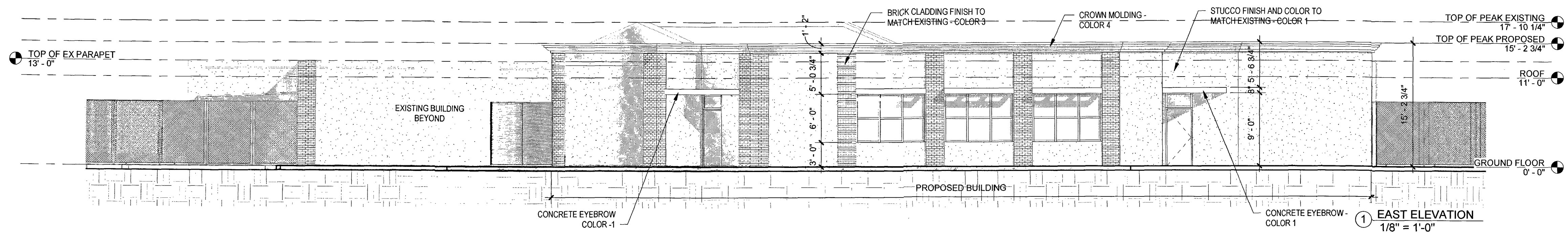
LANDSCAPE ARCHITECT
MARSH KRIPLEN
 305-322-2898
 1251 SW 20th Street
 Miami, FL 33145
 LA6867007

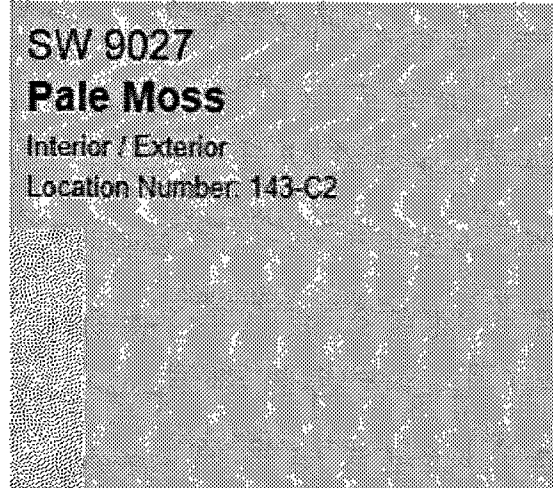

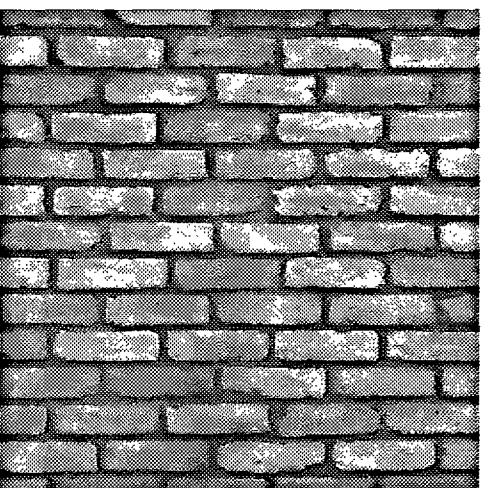

CIVIL ENGINEER
KIMLEY-HORN
 355 Alhambra Circle, Suite 1400.
 Coral Gables, FL 33134
 786 623 3560

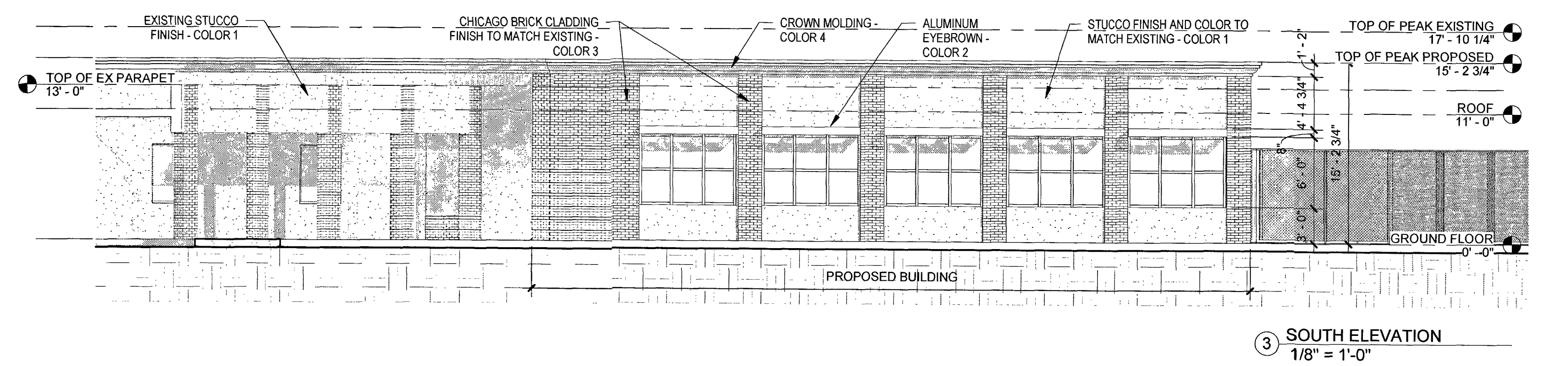
REVISION LOG

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY



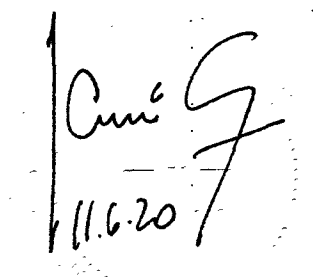
<p>COLOR 1</p>  <p>SW 9027 Pale Moss Interior / Exterior Location Number: 143-C2</p> <p>EXTERIOR FLAT PAINT TO MATCH EXISTING</p>	<p>COLOR 2</p>  <p>ALUMINUM BRONZE COLOR POWDER COATED</p>	<p>COLOR 3</p>  <p>CHICAGO BRICK - COLOR AND INSTALLATION STYLE TO MATCH EXISTING</p>	<p>COLOR 4</p>  <p>SW 6335 Fired Brick Interior / Exterior Location Number: 115-C7</p> <p>TOP MOULDING COLOR</p>
---	--	--	--

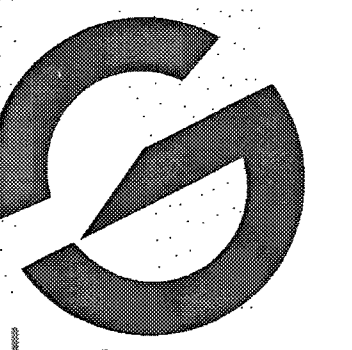


ALL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.

HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET
 8955 NW 50th St, SUNRISE, FL 33351

BUILDING ELEVATIONS

SEAL & SIGNATURE	DATE
	11/02/2020
SITE PLAN SHEET NO.	A2-01
JOSE GAVIRIA, ARCHITECT STATE OF FLORIDA A.R. 92739	



architecture

ARCHITECT

GS ARCHITECTURE
2100 SW 24th STREET
MIAMI, FL 33145
PH 786 488 0571
AA26003969

STRUCTURAL ENGINEER

TE TADEOS ENGINEERS, INC
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Miami Lakes, FL 33016
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Miami, Florida 33155
305 669 5595 ext 302
305 669 5596
cad@maqueira.com

LANDSCAPE DESIGN

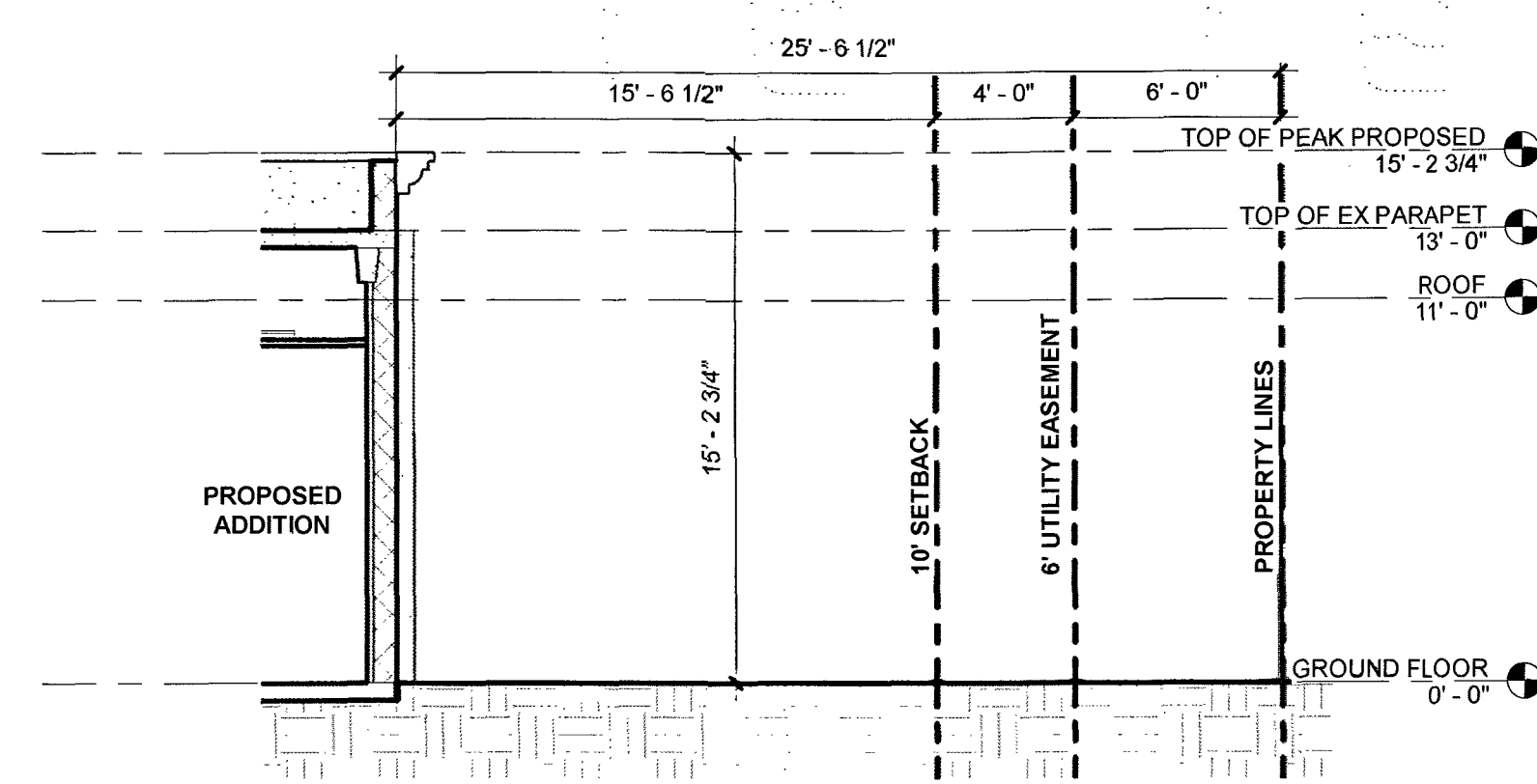
COLLABORATIVE INDEPENDENT
305-450-1115
2347 SW 5th Street
Miami, FL 33135
www.collaborativeindependent.com

LANDSCAPE ARCHITECT

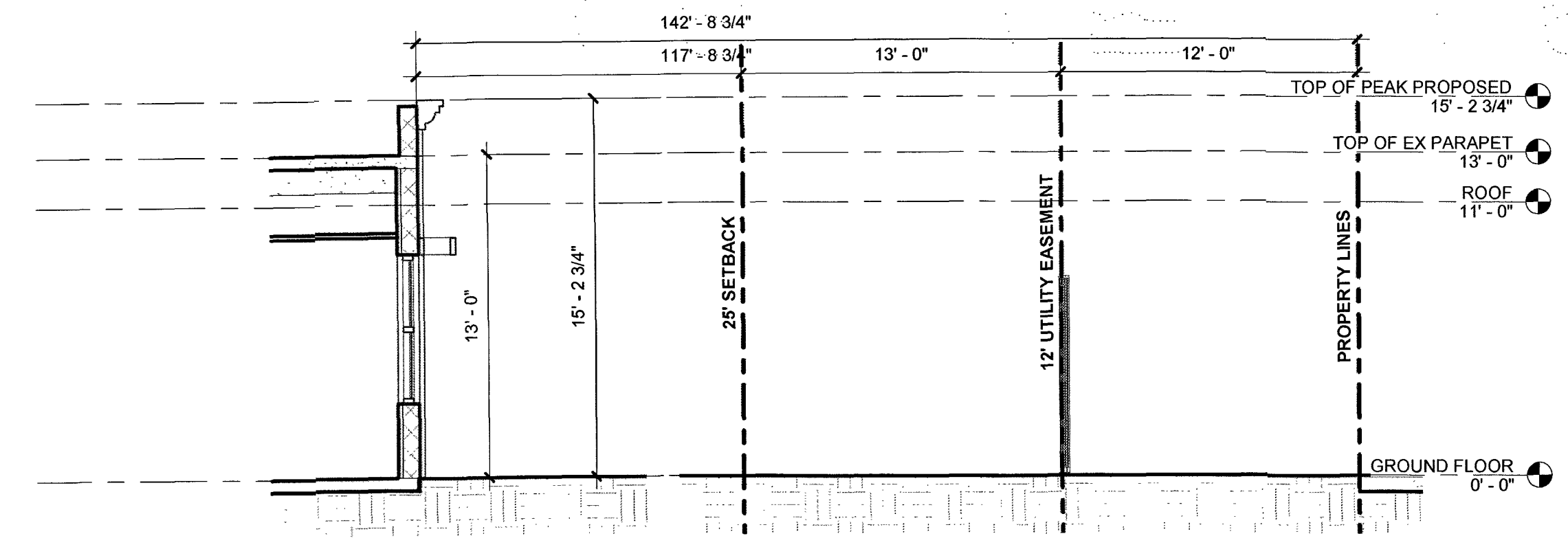
MARSH KRIPLEN
305-322-2898
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LA6667007

CIVIL ENGINEER

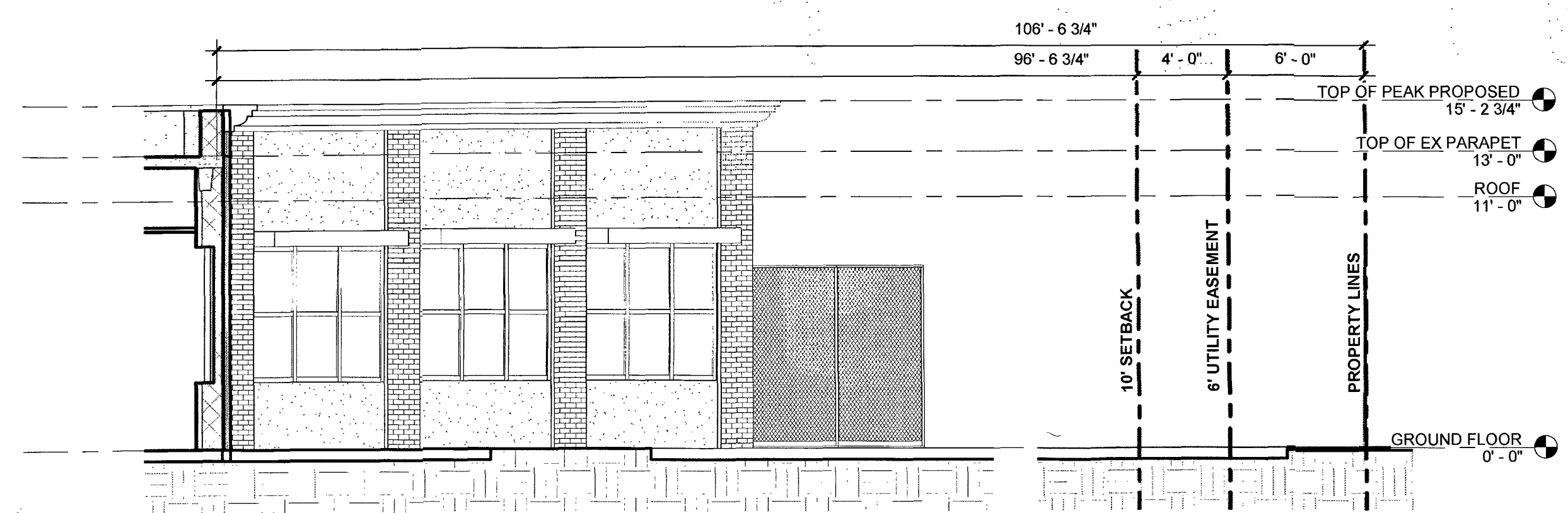
KIMLEY-HORN
355 Alhambra Circle, Suite 1400.
Coral Gables, FL 33134
786 623 3560



② EAST SECTION
3/16" = 1'-0"



① SOUTH SECTION
3/16" = 1'-0"



③ WEST SECTION
3/16" = 1'-0"

REVISION LOG

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY

HARVARD ACADEMY - ADDITION
SITE PLAN APPROVAL SET
8955 NW 50th St, SUNRISE, FL 33351

BUILDING SECTIONS

SEAL & SIGNATURE

Jose G. Gaviria
11.6.20

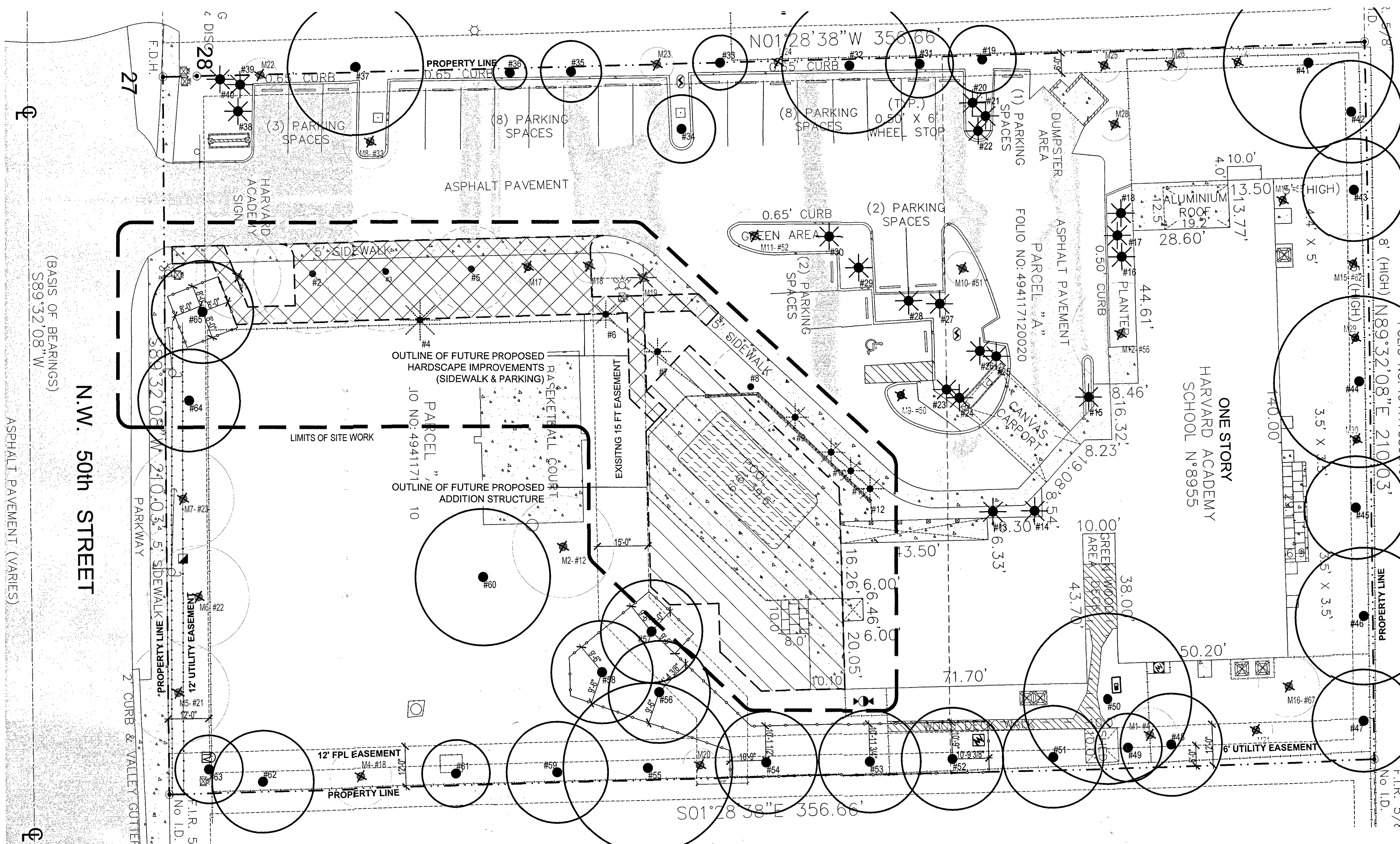
JOSE GAVIRIA, ARCHITECT
STATE OF FLORIDA A.R. 92739

DATE

11/02/2020

SITE PLAN SHEET NO.

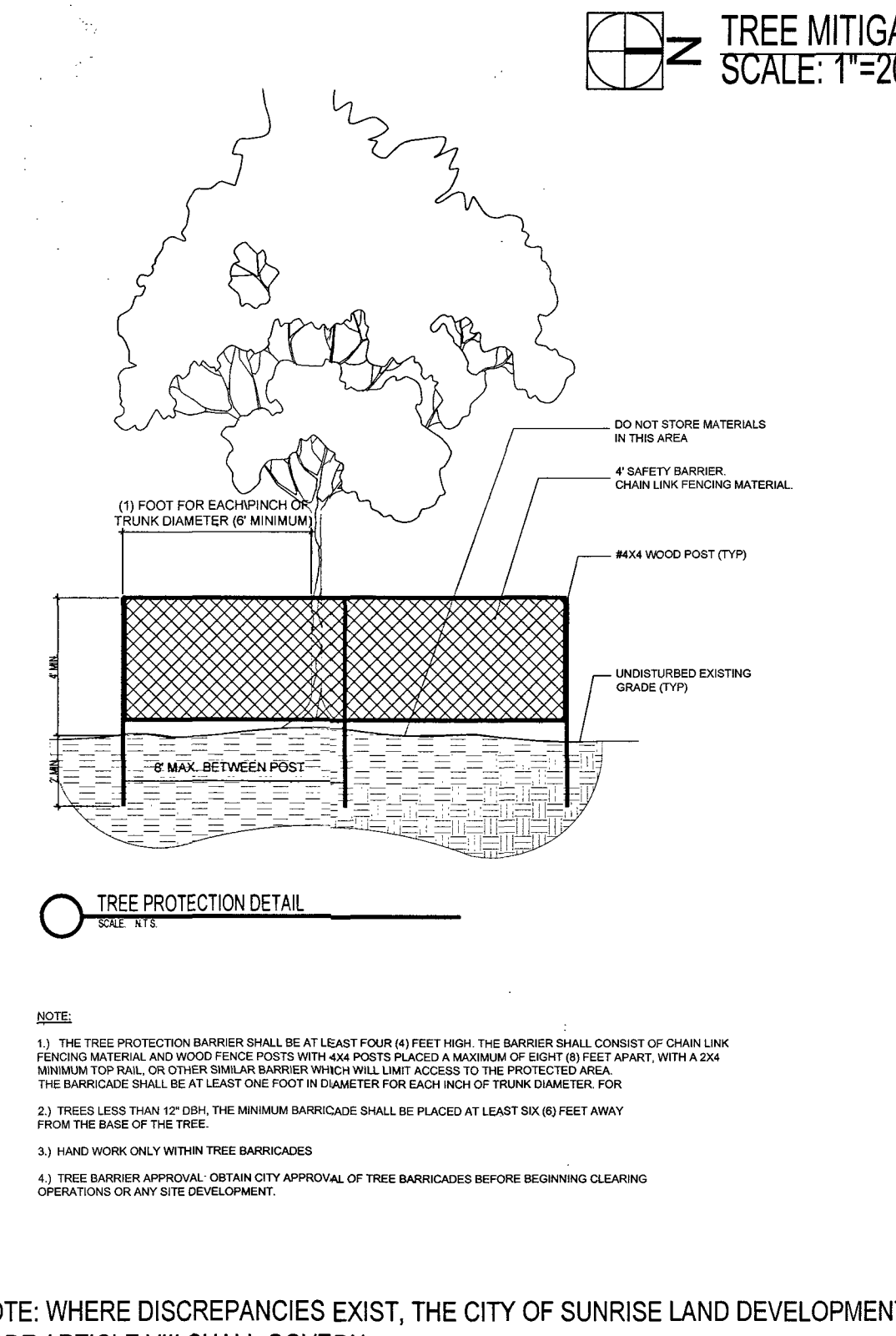
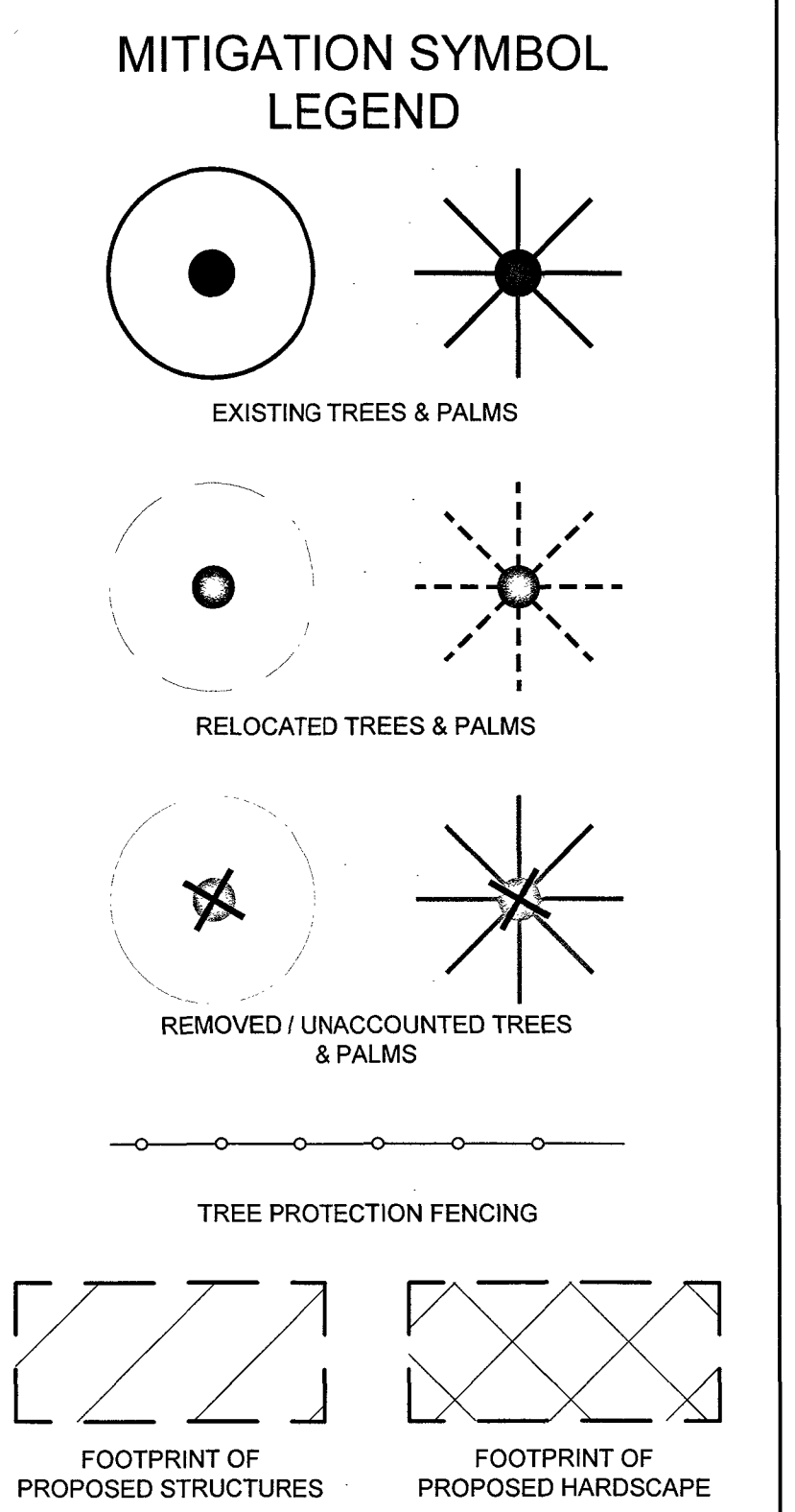
A2-02



TREE #	SCIENTIFIC NAME	COMMON NAME	TRUNK DBH (FT)	HEIGHT (FT)	SPREAD (FT)	MITIGATION	CANOPY REMOVED (SQ. FT.)	#/Name on 03/2006 Permit Plan
1	Hybanthus salsus	Horseshoe Mabbogany	32	25	35	REMOVED	1500	#23 Oak Tree
2	Quercus virginiana	Live Oak	18	35	35	RELOCATE		#27 Oak Tree
3	Quercus virginiana	Live Oak	30	35	35	RELOCATE	SON CATTI REPLACEMENT CREDIT (1500)	#28 Oak Tree
4	Quercus virginiana	Live Oak	30	35	35	RELOCATE	SON CATTI REPLACEMENT CREDIT (1500)	Included on 03/2006 Plan
5	Quercus virginiana	Live Oak	32	25	25	RELOCATE	SON CATTI REPLACEMENT CREDIT (1500)	#29 Oak Tree
6	Phytolacca flagans	Alexander Palm	4	14	8	RELOCATE		New Palm on 03/2006 Plan
7	Phytolacca flagans	Alexander Palm	4	14	8	RELOCATE		#30 Alexander Palm
8	Quercus virginiana	Live Oak	10	25	25	RELOCATE	SON CATTI REPLACEMENT CREDIT (1500)	Included on 03/2006 Plan
9	Phytolacca flagans	Alexander Palm	4	14	8	RELOCATE		New Palm on 03/2006 Plan
10	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#31 Alexander Palm
11	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#32 Alexander Palm
12	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#33 Alexander Palm
13	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#34 Alexander Palm
14	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#35 Alexander Palm
15	Phytolacca flagans	Alexander Palm	4	18	7	RELOCATE		#36 Alexander Palm
16	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
17	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
18	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
19	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
20	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
21	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
22	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#37 Alexander Palm
23	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#38 Alexander Palm
24	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#39 Alexander Palm
25	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#40 Alexander Palm
26	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#41 Alexander Palm
27	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
28	Phytolacca flagans	Alexander Palm	4	24	7	RELOCATE		#42 Alexander Palm
29	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
30	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
31	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		New Palm on 03/2006 Plan
32	Sweetenia mahagony	Mahogany	20	35	40	RELOCATE		#51 Mahogany Tree
33	Conocarpus erectus	Buttonwood	12	20	20	RELOCATE		#52 Buttonwood Tree
34	Bursera floridana	Bursera Florida Tree	12	20	20	RELOCATE		#53 Buttonwood Tree
35	Conocarpus erectus	Buttonwood	14	25	18	RELOCATE		#54 Buttonwood Tree
36	Quercus virginiana	Live Oak	4	15	40	RELOCATE		New Oak on 03/2006 Plan
37	Conocarpus erectus	Buttonwood	10	30	40	RELOCATE		New Magnolia on 03/2006 Plan
38	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		#55 Vanilla Tree
39	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		#56 Vanilla Tree
40	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		#57 Vanilla Tree
41	Vanilla Merrilli	Vanilla Palm	4	12	6	RELOCATE		#58 Vanilla Tree
42	Millettia fruticosa	Pongamia Oil Tree	20	35	35	RELOCATE		#59 Pongamia Tree
43	Millettia fruticosa	Pongamia Oil Tree	20	35	35	RELOCATE		#60 Pongamia Tree
44	Millettia fruticosa	Pongamia Oil Tree	20	35	35	RELOCATE		#61 Pongamia Tree
45	Millettia fruticosa	Pongamia Oil Tree	20	35	35	RELOCATE		#62 Pongamia Tree
46	Quercus virginiana	Live Oak	14	30	30	RELOCATE		#63 Oak Tree
47	Quercus virginiana	Live Oak	14	30	30	RELOCATE		#64 Oak Tree
48	Quercus virginiana	Live Oak	14	30	30	RELOCATE		#65 Oak Tree
49	Sweetenia mahagony	Mahogany	12	30	25	RELOCATE		#3 Mahogany Tree
50	Millettia fruticosa	Pongamia Oil Tree	12	30	25	RELOCATE		#5 Pongamia Tree
51	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#6 Oak Tree
52	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#7 Oak Tree
53	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#8 Oak Tree
54	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#9 Oak Tree
55	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#10 Oak Tree
56	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#11 Oak Tree
57	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#12 Oak Tree
58	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#13 Oak Tree
59	Quercus virginiana	Live Oak	10	30	28	RELOCATE		#14 Oak Tree
60	Bursera floridana	Bursera Florida	10	25	40	RELOCATE		#15 Bursera Tree
61	Quercus virginiana	Live Oak	10	25	20	RELOCATE		#16 Oak Tree
62	Quercus virginiana	Live Oak	10	25	20	RELOCATE		#17 Oak Tree
63	Hybanthus salsus	Horseshoe Mabbogany	12	30	20	RELOCATE		#18 Mabbogany Tree
64	Hybanthus salsus	Horseshoe Mabbogany	12	30	20	RELOCATE		#19 Mabbogany Tree
65	Hybanthus salsus	Horseshoe Mabbogany	12	30	20	RELOCATE		#20 Mabbogany Tree
							1135 SQ. FT. TOTAL CANOPY REMOVED	
							SEE SHEET 1A-F FOR RELOCATION CREDIT	
							1264 SQ. FT. TOTAL CANOPY REPLACEMENT	

TREE #	SCIENTIFIC NAME	COMMON NAME	TRUNK DBH (FT)	HEIGHT (FT)	SPREAD (FT)	STATUS	MITIGATION
M1	FICUS SP.	FIG TREE	4	35	35	H. IRMA DAMAGE, NOT REPLACED	REPLACE WITH 1 CLASS 'A' TREE
M2	SYZYGIUM CUMINI	JAMBUKLAN PLUM	12	30	30	MISING	REPLACE WITH 1 CLASS 'A' TREE
M3	ACACIA BRACHYLOBA	FLORIDA ACACIA	4	20	15	REMOVED PER SUBMITTAL	N/A
M4	QUERCUS VIRGINIANA	LIVE OAK	4	15	20	H. IRMA DAMAGE, NOT REPLACED	REPLACE WITH 1 CLASS 'A' TREE
M5	LYSICHIMA SP.	TAMARIND	14	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M6	LYSICHIMA SP.	TAMARIND	14	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M7	LYSICHIMA SP.	TAMARIND	14	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M8	BAUHINIA FORTICATA	FLORIDA TREE	8	20	15	MISING	REPLACE WITH 1 CLASS 'A' TREE
M9	CONOCARPUS ERECTUS V. MINICUS	SILVER BUTTWOOD	8	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M10	CONOCARPUS ERECTUS V. ERECTUS	SILVER BUTTWOOD	4	15	5	H. IRMA DAMAGE, NOT REPLACED	REPLACE WITH 1 CLASS 'A' TREE
M11	CONOCARPUS ERECTUS V. ERECTUS	SILVER BUTTWOOD	4	15	5	MISING	REPLACE WITH 1 CLASS 'A' TREE
M12	MICHAELIA BICOLOR	BLACK OLEAF	14	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M13	QUERCUS VIRGINIANA	LIVE OAK	8	15	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M14	QUERCUS VIRGINIANA	LIVE OAK	8	15	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M15	PONGAMIA PINNATA	PONGAMIA OIL TREE	8	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE
M16	PONGAMIA PINNATA	PONGAMIA OIL TREE	12	20	20	MISING	REPLACE WITH 1 CLASS 'A' TREE

TREE #	SCIENTIFIC NAME	COMMON NAME	DESCRIPTION ON 03/2006 PLAN	STATUS	MITIGATION	
DRIVEWAY	LAGERSTROMIA SPECIOSA	QUEEN CRAP MYRTLE	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M17	LAGERSTROMIA SPECIOSA	QUEEN CRAP MYRTLE	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M18	LAGERSTROMIA SPECIOSA	QUEEN CRAP MYRTLE	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M19	PHYTOLACCA FLAGANS	ALEXANDER PALM	16'-20" HT.	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
EAST SIDE PROPERTY LINE	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	18'-20" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M20	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	18'-20" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M21	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	18'-20" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
WEST SIDE PROPERTY LINE	M22	QUERCUS VIRGINIANA	LIVE OAK	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE
M23	QUERCUS VIRGINIANA	LIVE OAK	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M24	QUERCUS VIRGINIANA	LIVE OAK	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M25	LAGERSTROMIA SPECIOSA	QUEEN CRAP MYRTLE	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M26	LAGERSTROMIA SPECIOSA	QUEEN CRAP MYRTLE	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M27	LAGERSTROMIA SPECIOSA	QUEEN CRAP MYRTLE	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
M28	BURSERIA FLORIDANA	BURSERIA FLORIDA	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
NORTH (REAR) PROPERTY LINE	M29	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE
M30	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	16'-18" HT., 6"-8" SPR. (0' CLEAR TRUNK)	MISING / NOT PLANTED	REPLACE WITH 1 CLASS 'A' TREE	
					TOTAL REPLACEMENT TREES: 28 TREES	



HARVARD ACADEMY
8955 NW 50th St, SUNRISE, FL 33351

TREE MITIGATION PLAN & LISTS



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LA6667007

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REVISION LOG		
No.	Description	Date

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SEALED
REGISTERED
MARSH C. KRIPLEN
ARCHITECT
LA6667007
STATE
1/10/20
FLORIDA

DATE
11/02/2020

SITE PLAN SHEET NO.
TD-1

MARSH KRIPLEN, R.L.A.
STATE OF FLORIDA LA6667007

- (1) REPLACEMENT CRITERIA. TREES THAT ARE REMOVED AND NOT RELOCATED SHALL BE REPLACED SO THAT THERE IS, AT A MINIMUM, NO LOSS OF TREE CANOPY COVERAGE UPON MATURITY OF THE REPLACEMENT TREES, EXCEPT FOR NUISANCE TREES AND SINGLE-FAMILY RESIDENCES WHERE THE STANDARD WILL BE ONE (1) REPLACEMENT TREE FOR ONE (1) REMOVED TREE IF MEETING THE MINIMUM REQUIREMENTS OF SUB-SECTION 16-170(A). FOR SINGLE-FAMILY RESIDENCES, THE MINIMUM SIZE FOR TREE REPLACEMENT AT THE TIME OF PLANTING SHALL BE A MINIMUM HEIGHT OF NINE (9) FEET WITH A MINIMUM CROWN OF FIVE (5) FEET FOR GROUP A TREES AS LISTED ON THE SINGLE-FAMILY APPROVED PLANT LIST. TREES REMOVED IN EXCESS OF THE MINIMUM LANDSCAPE PROVISIONS REQUIRED IN SECTION 16-170(A) DO NOT REQUIRE REPLACEMENT. A TREE REMOVAL PERMIT MUST BE APPLIED FOR AND OBTAINED IN ACCORDANCE WITH SECTION 16-172(C) FOR THE REMOVAL OF ANY TREE. PERFORMANCE BONDS MAY BE REQUIRED TO BE POSTED. THE FOLLOWING PROCEDURES SHALL BE USED TO DETERMINE THE TREE REPLACEMENT REQUIREMENTS:
 - a. TREE CANOPY COVERAGE ON-SITE AND DIAMETER AT BREAST HEIGHT (DBH) SHALL FIRST BE DETERMINED USING ONE (1) OR ANY COMBINATION OF THE FOLLOWING METHODS: REVIEW OF AERIAL PHOTOGRAPHY, ON-SITE INSPECTION, OR REVIEW OF A TREE SURVEY. THE CITY SHALL REQUIRE THE APPLICANT TO SUBMIT A TREE SURVEY IN ORDER TO MAKE THIS DETERMINATION, UNLESS THE APPLICANT CAN DEMONSTRATE THAT IT IS CLEARLY UNNECESSARY;
 - b. RELOCATION OF TREES ON-SITE SHALL BE COUNTED AS HALF CREDIT TOWARD EQUIVALENT REPLACEMENT. THE GUIDELINES IN THIS SECTION SHALL BE FOLLOWED FOR ANY TREES TO BE RELOCATED;
 - c. NATIVE TREES IDENTIFIED IN THE APPROVED PLANT LIST SHALL BE REQUIRED TO REPLACE NATIVE TREE CANOPY COVERAGE REMOVED;
 - d. TREE REPLACEMENT REQUIREMENTS FOR NON-MATURE TREES: A DETERMINATION OF THE NUMBER OF TREES TO BE REPLACED SHALL BE PERFORMED. THIS DETERMINATION SHALL BE BASED UPON THE AREA OF IMPACT AND THE CATEGORY OF REPLACEMENT TREES SELECTED BY THE APPLICANT. THE CANOPY REPLACEMENT AT TREE MATURITY SHALL AT LEAST EQUAL THE CANOPY REMOVED. THE FOLLOWING TABLE SHALL BE USED TO DETERMINE THE NUMBER OF REQUIRED REPLACEMENT TREES:

Replacement Tree Category Approved Plant List)	Equivalent Replacement Canopy Area in sq. ft.
Category 1 Tree	300
Category 2 Tree	150
Category 3 Tree	100
Category 4 Tree	50

- f. TREE REPLACEMENT REQUIREMENT FOR MATURE TREES: A TREE APPRAISAL WILL BE PERFORMED BY THE APPLICANT TO DETERMINE THE DOLLAR VALUE OF ANY MATURE TREE APPROVED BY THE CITY FOR REMOVAL PURSUANT TO THIS ARTICLE. THIS APPRAISAL SHALL BE PURSUANT TO THE GUIDE FOR PLANT APPRAISAL, EIGHTH EDITION, AS AMENDED. THE APPLICANT WILL THEN CALCULATE THE NUMBER OF REPLACEMENT TREES REQUIRED TO EQUAL THE APPRAISED VALUE OF THE MATURE TREE REMOVED. THIS CALCULATION SHALL INCLUDE THE PURCHASE PRICE OF THE REPLACEMENT TREE, PLUS INSTALLATION COSTS. THE APPLICANT WILL BE REQUIRED TO COMPENSATE THE NUMBER OF REPLACEMENT TREES AS APPROVED BY THE CITY FOR THE REMOVAL OF THE MATURE TREE(S). IN NO CASE, SHALL THE MINIMUM NUMBER OF REPLACEMENT TREES BE LESS THAN THE NUMBER OF TREES REQUIRED UNDER SUBSECTION 16-172(F)(1)(D).
- g. TREE REPLACEMENT REQUIREMENT FOR LANDSCAPE FEATURES: A REPLACEMENT FOR ANY TREE THAT IS PART OF A LANDSCAPE FEATURE, AS DEFINED HEREIN, MUST MAINTAIN THE CHARACTER OF THE LANDSCAPE FEATURE. TREE REPLACEMENTS SHALL MATCH THE SPECIES, SIZE, AND OTHER UNIQUE CHARACTERISTICS OF THE REMAINING SIMILAR TREES IN THE LANDSCAPE FEATURE, AND BE CONSISTENT WITH OTHER PROVISIONS OF THE CODE. A TREE APPRAISAL SHALL BE PERFORMED BY THE APPLICANT, PURSUANT TO THE GUIDE FOR PLANT APPRAISAL, NINTH EDITION, 2000, AS AMENDED, TO DETERMINE THE DOLLAR VALUE OF ANY TREE OR PALM APPROVED FOR REMOVAL PURSUANT TO THIS SECTION. THE DEPARTMENT SHALL HAVE THE SOLE DISCRETION TO APPROVE AN ALTERNATIVE REPLACEMENT(S), IF THE APPLICANT CAN DEMONSTRATE THAT THE APPROPRIATE REPLACEMENT TREE(S) OR PALM(S) IS UNAVAILABLE OR IS IMPRACTICABLE TO PLANT IN THE LOCATION OF THE TREE(S) THAT IS BEING REMOVED. IN CASES WHERE THE APPRAISED VALUE OF THE TREE TO BE REMOVED EXCEEDS THE VALUE OF THE REPLACEMENT TREE, THE DIFFERENCE IN VALUE SHALL BE DEPOSITED IN THE CITY REFORESTATION ACCOUNT IN ACCORDANCE WITH SUBSECTION (I).

(1) MINIMUM STANDARDS FOR TREE REPLACEMENT:

- a. ALL TREES TO BE USED AS REPLACEMENT TREES SHALL BE A MINIMUM QUALITY OF FLORIDA NO. 1 GRADE OR BETTER (FLORIDA DEPARTMENT OF AGRICULTURE).
- b. ONLY TREES LISTED IN THE APPROVED PLANT LISTS SHALL BE USED AS REPLACEMENT TREES. THE APPLICANT SHALL HAVE THE OPTION OF CHOOSING THE CATEGORY OF TREE FOR REPLACEMENT PROVIDED THE TOTAL SQUARE FOOTAGE OF CANOPY COVERAGE AT LEAST EQUALS THE AREA OF CANOPY COVERAGE EFFECTIVELY DESTROYED, AND AT LEAST FIFTY (50) PERCENT, OF THE REPLACEMENT TREES ARE FROM CATEGORY 1, EXCEPT FOR NUISANCE TREES AND SINGLE-FAMILY RESIDENCES WHERE THE STANDARD WILL BE ONE (1) REPLACEMENT TREE FOR ONE (1) REMOVED TREE IF MEETING THE MINIMUM REQUIREMENTS OF SUB-SECTION 16-170(A). IF CATEGORY 1 TREES ARE UNAVAILABLE, THEN CATEGORY 2 TREES MAY BE USED TO FULFILL THIS REQUIREMENT.
 1. CATEGORY 1 - MINIMUM OF TWELVE (12) FEET IN HEIGHT AND TWO (2) INCHES DBH AT TIME OF PLANTING (SEE APPROVED PLANT LIST).
 2. CATEGORY 2 - MINIMUM OF TWELVE (12) FEET IN HEIGHT AT TIME OF PLANTING (SEE APPROVED PLANT LIST).
 3. CATEGORY 3 - MINIMUM OF TWELVE (12) FEET IN HEIGHT AT TIME OF PLANTING (SEE APPROVED PLANT LIST).
 4. CATEGORY 4 - THIS COVERS REPLACEMENT PALM TREES - MINIMUM OF SIX (6) FEET CLEAR TRUNK OR GREYWOOD AT TIME OF PLANTING (SEE APPROVED PLANT LIST).
- c. SHOULD IT BE DEMONSTRATED TO THE CITY THAT THE MINIMUM TREE SIZE IS UNAVAILABLE, SMALLER, FLORIDA NO. 1 OR BETTER TREES MAY BE SUBSTITUTED.

- (1) REPLACEMENT TREES SHALL NOT BE REMOVED OR EFFECTIVELY DESTROYED UNLESS APPROVAL HAS BEEN GRANTED BY A VALID TREE REMOVAL PERMIT. THE ORIGINAL PERMITTEE AND OWNER OF ANY PROPERTY ON WHICH TREES HAVE BEEN REPLACED OR RELOCATED SHALL PLACE OF RECORD A NOTICE THAT SHALL INFORM SUBSEQUENT PURCHASERS, ASSIGNS AND OCCUPANTS OF THE REPLACEMENT SITE THAT TREES ON THE REPLACEMENT SITE MAY NOT BE REMOVED WITHOUT A VALID TREE REMOVAL PERMIT.
- (2) FOR TREE REPLACEMENT REQUIREMENTS OF ONE (1) TO FIVE (5) TREES, A MINIMUM OF ONE (1) SPECIES SHALL BE UTILIZED AS A REPLACEMENT TREE. FOR SIX (6) TO TEN (10) REPLACEMENT TREES REQUIRED, A MINIMUM OF TWO (2) SPECIES SHALL BE UTILIZED. FOR ELEVEN (11) TO TWENTY (20) REPLACEMENT TREES REQUIRED, A MINIMUM OF THREE (3) SPECIES SHALL BE UTILIZED. FOR TWENTY-ONE (21) TO FIFTY (50) REPLACEMENT TREES REQUIRED, A MINIMUM OF FOUR (4) SPECIES SHALL BE UTILIZED. FOR FIFTY-ONE (51) OR MORE REPLACEMENT TREES REQUIRED, A MINIMUM OF FIVE (5) SPECIES SHALL BE UTILIZED.
- (3) FOR TREES PROPOSED TO BE REMOVED PURSUANT TO THE FOLLOWING, AN ADDITIONAL FIFTY (50) PERCENT TREE REPLACEMENT SHALL BE REQUIRED:
 - a. WHEN A PROPOSED DEVELOPMENT CANNOT BE LOCATED ON THE SITE WITHOUT TREE REMOVAL;
 - b. WHEN THE APPLICANT HAS MADE EVERY REASONABLE EFFORT, TO INCORPORATE EXISTING TREES IN THE DEVELOPMENT PROJECT AND TO MINIMIZE THE NUMBER OF TREES REMOVED;
 - c. WHEN A TREE PROPOSED TO BE REMOVED IS OF POOR QUALITY AND CONDITION.

TREE / PALM RELOCATION NOTES

ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING ALL PHASES OF CONSTRUCTION. ANY PLANT MATERIAL SCARRED OR DESTROYED DESIGNATED "TO REMAIN" MUST BE REPLACED AT THE CONTRACTORS EXPENSE WITH SIMILAR SPECIES, SIZE AND QUANTITY.

1. VERIFY AND INSURE ALL TREES / PALMS IDENTIFIED ON THE CONSTRUCTION DRAWINGS AND THOSE IN THE FIELD CORRESPOND AS TO NUMBERS AND DESCRIPTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO PREPARATION
2. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR TREE / PALM PROTECTION OF ALL VERIFIED MATERIAL. INSTALL 4' MIN. HT. PROTECTION BARRIER OF CHAINLINK FENCING TO ENCOMPASS THE DRIPLINE OF THE TREE / PALM. BARRIER TO REMAIN UNTIL DEVELOPMENT IS COMPLETED.
3. TREE ROOT BALLS SHALL BE ROOT PRUNED 50% (EQUALLY AROUND TREE) 60 DAYS PRIOR TO TRANSPLANT. THE REMAINING 50% TO BE PRUNED 30 DAYS PRIOR TO TRANSPLANTING.
4. PALMS TO BE RELOCATED MAY BE IMMEDIATELY RELOCATED AFTER DIGGING.
5. ROOTS TO BE PRUNED WITH CLEAN, SHARP TOOLS. ROOTS (1) INCH AND LARGER IN DIAMETERS SHALL BE NEATLY AND CLEANLY CUT WITH A HAND SAW OR OTHER APPROVED CUTTING IMPLEMENTATION.
6. LANDSCAPE CONTRACTOR TO APPLY MYCORRHIZA APPLICATION TO ROOTS DURING ROOT PRUNING AND DIGGING OPERATIONS. ALL PRUNING TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
7. DEAD WOOD, CROSSING BRANCHES, AND GENERAL CANOPY PRUNING SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR IMMEDIATELY AFTER COMPLETION OF ROOT PRUNING OF EACH SPECIMEN TO BE RELOCATED. ALL PRUNING TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PRUNING.
8. ROOT BALL SIZE TABLE:

(NOTE: ROOT BALL SIZES SHALL EXCEED MINIMUM STANDARDS SET FORTH IN "GRADES AND STANDARDS FOR NURSERY PLANTS, PART II, PALMS AND TREES, FLORIDA DEPARTMENT OF AGRICULTURE")

TREE / PALM CALIPER MINIMUM ROOT BALL DIAMETER

1" - 1-1/2"	16"
1-1/2" - 1-3/4"	20"
1-3/4" - 2"	24"
2" - 2-1/2"	28"
2-1/2" - 3-1/2"	32"
3-1/2" - 4"	36"
4" - 4-1/2"	40"
4-1/2" - 5"	44"
5" - 5-1/2"	48"

THE ROOT BALL OF LARGER CALIPER SIZES SHALL BE INCREASED PROPORTIONALLY AT THREE (3) INCHES OF ROOT BALL DIAMETER FOR EVERY INCREASE OF ONE (1) INCH IN CALIPER OR FRACTION THEREOF.

9. MAINTAIN COMPACT ROOT BALLS. ROOT BALLS SHALL BE COMPLETELY ENCLOSED WITHIN A BURLAP COVERING OR STRETCH WRAP AS COMMONLY USED WITHIN THE HORTICULTURAL INDUSTRY, IN TWO COMPLETE LAYERS (THICKNESS).
10. ALL TREES TO BE FLOODED FOR FIVE (5) DAYS PRIOR TO TRANSPLANT.
11. ALL PITS TO BE FILLED THE SAME DAY AND WITH CLEAN FILL IN 18 INCH LIFTS / LAYERS. EACH THEN COMPACTED BEFORE A SUBSEQUENT 18 INCH LIFT / LAYER IS PLACED. REPEAT UNTIL BACKFILL IS FLUSH WITH THE SURROUNDING GRADE.
12. CORRECT ALL PROBLEMS RELATED TO SETTLEMENT, EROSION, OR OTHER DISTRESS OF EXCAVATED / BACKFILLED PIT FROM WHICH TREE / PALM HAS BEEN REMOVED, INCLUDING THE COMPLETE AND THOROUGH REMOVAL OF ALL RESIDUAL ROOTS, STUMPS AND PORTIONS AND PARTS THEREOF.
13. RESTORE THE SURFACE WITH MATERIAL TO MATCH ADJACENT AREAS. MATERIAL TO BE APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO PROVIDE A MINIMUM ONE (1) YEAR WARRANTY ON SETTLING AND PLANT MATERIAL.
14. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL, INCLUDING BUT NOT EXCLUDED TO BACKFILL MATERIAL, PROTECTIVE FENCING, FLAGGING, ROOT BALL BURLAP OR SHRINK WRAP.

INSTALLATION

1. VERIFY NOUNDERGROUND CONSTRUCTIONS OR OBSTRUCTIONS (UTILITIES, SEPTIC SYSTEMS, ETC.) ARE IDENTIFIED, LOCATED AND CLEARLY MARKED AS APPROPRIATE PRIOR TO EXCAVATION OF PLANTING PITS FOR RELOCATED TREES AND PALMS. ANY UNKNOWN OBJECTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY, PRIOR TO INSTALLING AND BACKFILLING.
2. LANDSCAPE CONTRACTOR SHALL FLAG ALL PROPOSED PLANT LOCATIONS FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION.
3. PLANTING PITS SHALL BE A MINIMUM OF TWO (2) TIMES LARGER IN DIAMETER AND ONE AND A HALF (1-1/2) TIMES LARGER IN DEPTH THAN THE ROOT BALL. ROUGHEN SIDES AND BOTTOM OF PIT.
4. AFTER EACH PLANTING PIT IS EXCAVATED, PLACE SUFFICIENT PLANTING MIX IN BOTTOM OF EXCAVATION, AND SEAT PLANT, INSURING TOP OF ROOT BALL IS FLUSH WITH IMMEDIATELY ADJACENT TO FINAL OR PROPOSED GRADE.
5. LANDSCAPE CONTRACTOR TO INSURE ALL PLANT MATERIAL IS INSTALLED AT THE CORRECT ELEVATION. REFER TO LANDSCAPE GRADING AND / OR CIVIL PLANS.
6. LANDSCAPE CONTRACTOR TO INSURE ALL ROOT FLARES ARE EXPOSED.
7. CENTER EACH RELOCATED TREE / PALM IN ITS PLANTING PIT AND BACKFILL WITH SPECIFIED PLANTING MIX.
8. PLACE PLANTING MIX IN 12" INCH LIFTS / LAYERS AROUND ROOT BALL AND COMPACT UNTIL ALL VOIDS ARE FILLED WITH COMPACTED PLANTING MIX.
9. BUILD SOIL SAUCER OF MOUNDED EXCAVATED SOIL AROUND PERIMETER OF EACH PLANTING PIT TO FORM WATERING BASIN. MULCH TO A DEPTH OF 3".
10. PROVIDE STRUCTURAL SOIL UNDER SIDEWALK AND ALONG INTERNAL VEHICULAR USE AREAS THAT ABUT TREES.

HANDLING AND TRANSPORTATION

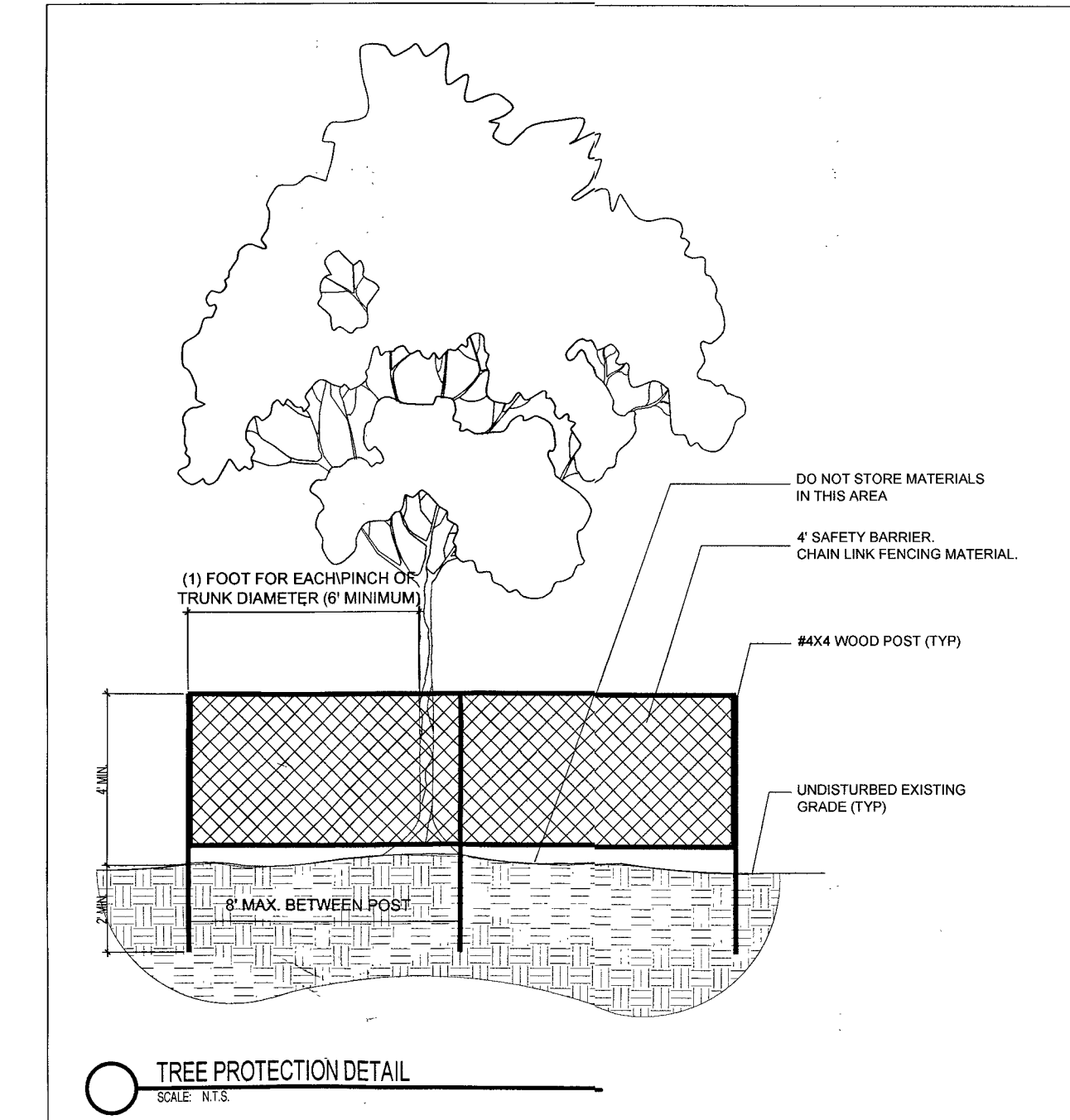
1. TREES / PALMS SHALL BE PROPERLY HANDLED DURING EXCAVATION, MOVING, STORAGE, RELOCATION AND REPLANTING. DO NOT SCAR OR OTHERWISE DAMAGE TRUNKS AND BRANCHES, AND AVOID BREAKING LIMBS, BRANCHES, AND FRONDS. DAMAGE TO TREE / PALM MAY BE CAUSE FOR ITS REJECTION, AND MAY REQUIRE MITIGATION REPLACEMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MANUAL WATERING OF ALL RELOCATED TREES / PALMS DURING MAINTENANCE PERIOD, UNTIL FINAL ACCEPTANCE OF ALL WORK BY THE LANDSCAPE ARCHITECT AND / OR CLIENT.
3. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING TREE / PALM PROTECTION. INSTALL BARRIER OF CHAINLINK FENCING TO ENCOMPASS THE DRIPLINE OF THE TREE / PALM. BARRIER TO BE PLUM, TAUT, AND STURDY. BARRIER TO BE LEFT UP AND MAINTAINED UNTIL DIRECTED TO BE REMOVED BY LANDSCAPE ARCHITECT.

TREE PROTECTION MATERIALS

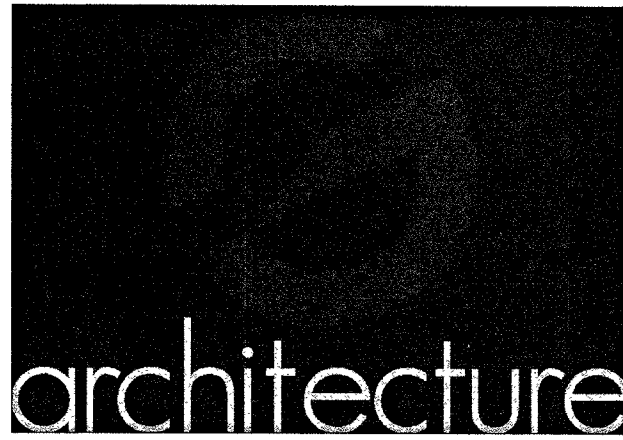
1. BARRIER SHALL BE CHAINLINK FENCING MATERIAL, 48" MINIMUM HEIGHT.
2. POSTS: 4X4 WOOD. SUFFICIENT TO HOLD BARRIER MATERIAL PLUMB AND TAUT.
3. ACCESS: PROVIDE HINGED, LATCHING GATE.
4. METAL GATE: SHALL PERMIT FREE PASSAGE OF WATER, AIR AND SHALL ACCEPT CONSTRUCTION TRAFFIC WITHOUT EXCESSIVE DEFLECTION.
5. MULCH WHERE AVAILABLE. USE CHIPS PRODUCED FROM ON-SITE TREE REMOVALS AND REMEDIAL WORK IF DISEASE FREE. WHERE ON-SITE CHIPS ARE NOT AVAILABLE, PROVIDE DISEASE FREE RECYCLED MULCH.
6. AERATION PIPE: RIGID PERFORATED DRAIN PIPE. 3" DIAMETER X 4 FEET LONG, WITH PERFORATED CAP. FILL WITH WASHED PEA GRAVEL.

WARRANTY

1. LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM OF ONE (1) YEAR GUARANTEE FOR ALL RELOCATED TREES / PALMS AFYER FINAL ACCEPTANCE BY LANDSCAPE ARCHITECT AND / OR CLIENT.
2. REMOVE COMPLETELY AND DISPOSE OF OFF-SITE, ANY RELOCATED TREE / PALM THAT FAILS TO THRIVE AS DETERMINED BY THE LANDSCAPE ARCHITECT.
3. FOR ANY RELOCATED TREE / PALM REMOVED DUE TO ITS FAILURE TO THRIVE, LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING AND INSTALLING WITH A SPECIMEN OF EQUAL OR GREATER SPECIFICATION OF ORIGINAL. REPLACEMENT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PROCUREMENT, PREPARATION OR INSTALLATION.



- NOTE:**
- 1) THE TREE PROTECTION BARRIER SHALL BE AT LEAST FOUR (4) FEET HIGH. THE BARRIER SHALL CONSIST OF CHAIN LINK FENCING MATERIAL AND WOOD FENCE POSTS WITH 4X4 POSTS PLACED A MAXIMUM OF EIGHT (8) FEET APART, WITH A 2X4 MINIMUM TOP RAIL, OR OTHER SIMILAR BARRIER WHICH WILL LIMIT ACCESS TO THE PROTECTED AREA. THE BARRICADE SHALL BE AT LEAST ONE FOOT IN DIAMETER FOR EACH INCH OF TRUNK DIAMETER, FOR
 - 2) TREES LESS THAN 12" DBH THE MINIMUM BARRICADE SHALL BE PLACED AT LEAST SIX (6) FEET AWAY FROM THE BASE OF THE TREE.
 - 3) HAND WORK ONLY WITHIN TREE BARRICADES
 - 4) TREE BARRIER APPROVAL OBTAIN CITY APPROVAL OF TREE BARRICADES BEFORE BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT.



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REVISION LOG

No.	Description	Date

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HARVARD ACADEMY
8955 NW 50th St, SUNRISE, FL 33351

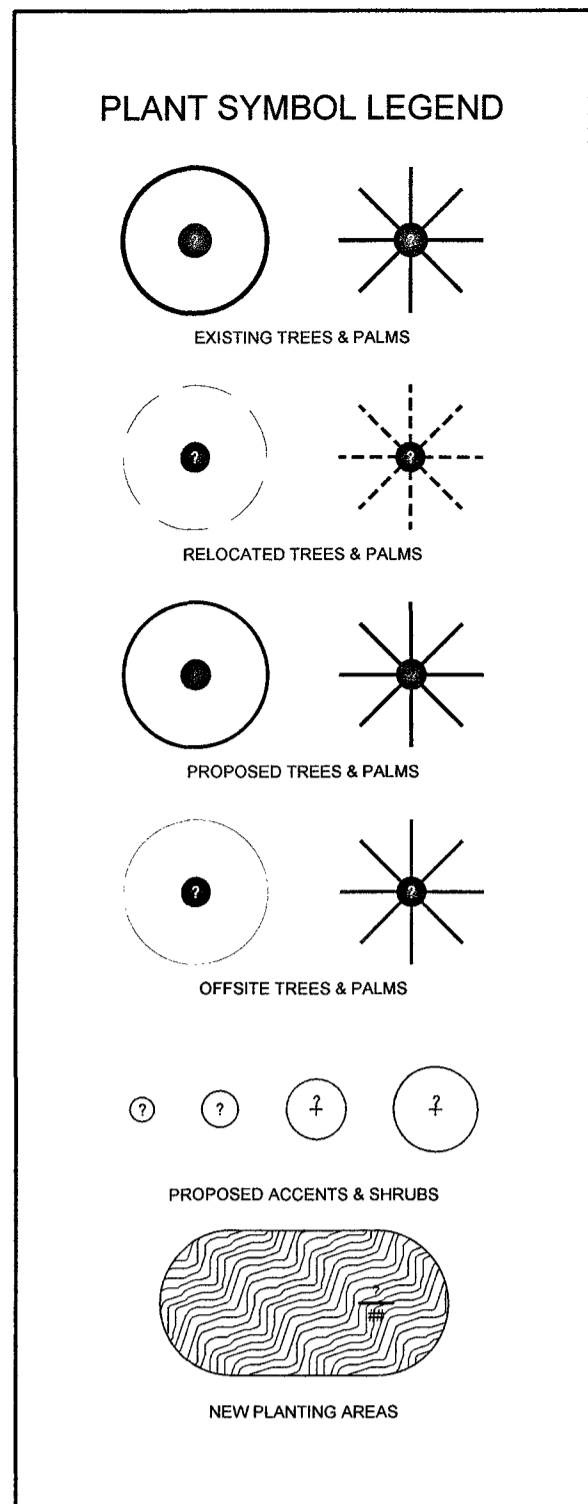
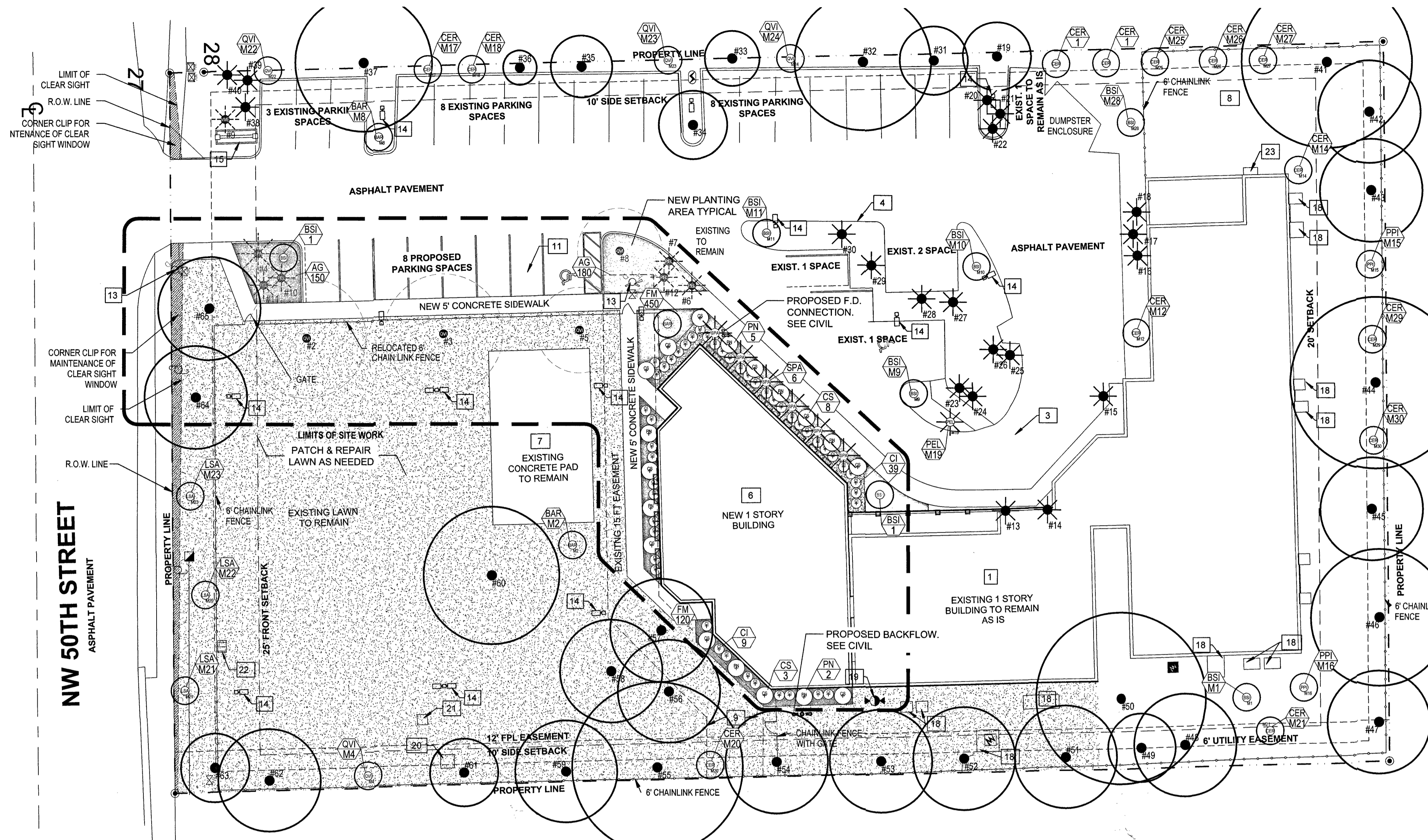
TREE MITIGATION NOTES & TREE PROTECTION DETAIL & NOTES

SEAL & SIGNATURE
 DATE
11/02/2020
SITE PLAN SHEET NO.
TD-2
REGISTERED LANDSCAPE ARCHITECT
MARSH C. KRILLEN
LA6687007
NOV 15 2020
STATE OF FLORIDA

REVISION LOG

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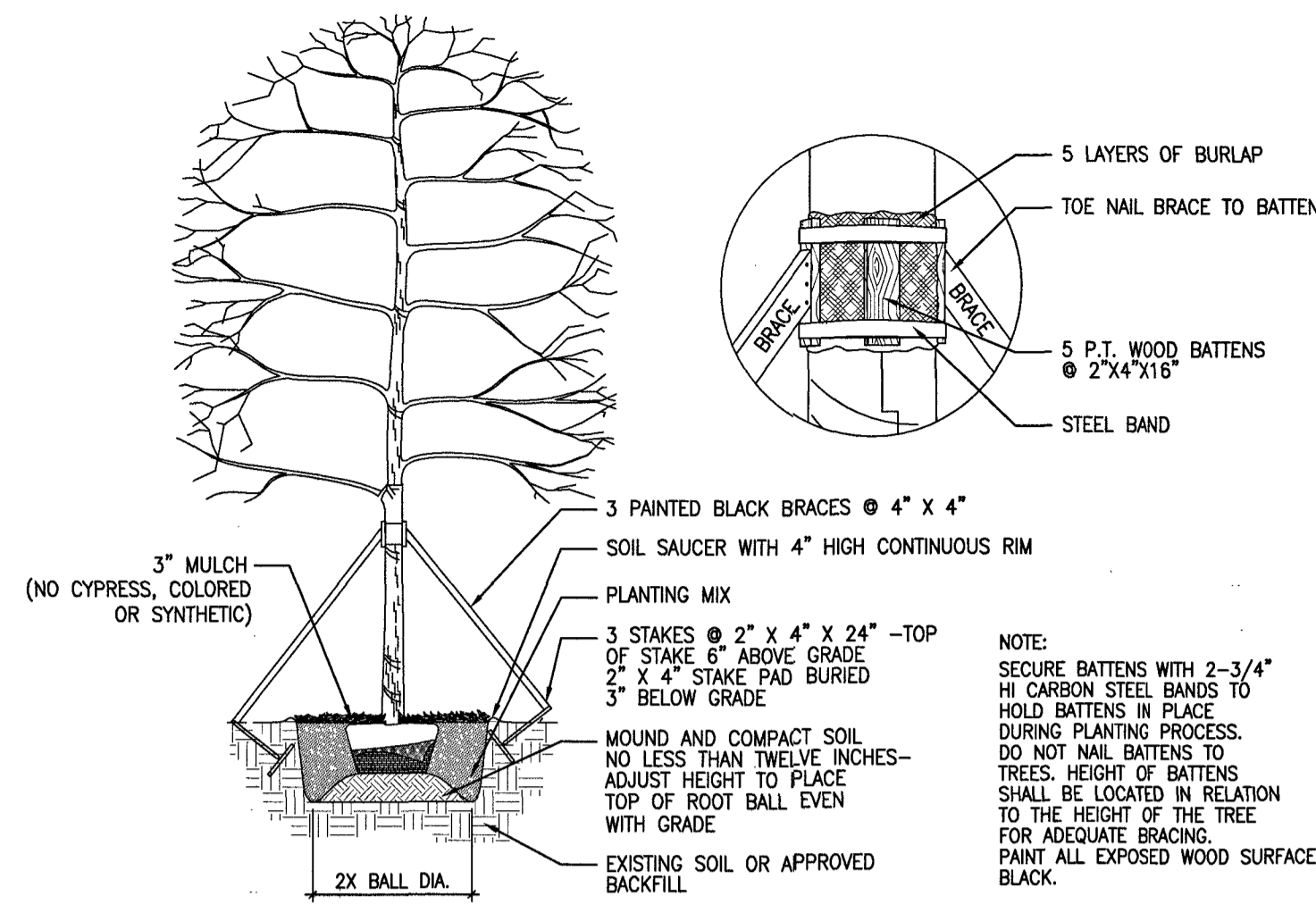
OVERALL PLANTING SITEPLAN
 SCALE: 1"=20'

- SITE PLAN LEGEND**
- 3. EXISTING CAR PORT
 - 4. EXISTING MEDIAN
 - 7. BASKETBALL COURT
 - 8. PLAYGROUND AREA
 - 9. EXISTING 15' FIRE HYDRANT EASEMENT
 - 13. EXISTING FIRE HYDRANT
 - 14. SITE LIGHTING
 - 15. EXISTING MONUMENT SIGN
 - 18. A/C CONCRETE PAD
 - 19. IRRIGATION EQUIPMENT
 - 20. ELECTRIC SERVICE
 - 21. UNDERGROUND STORAGE TANK
 - 22. CATCH BASIN
 - 23. CONCRETE PAD

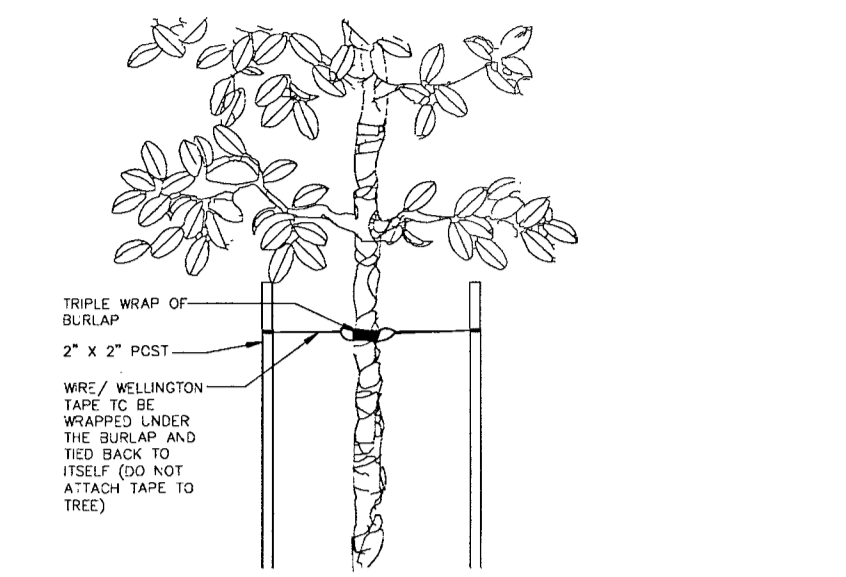
PLANT LIST	Symb.	Quant.	Botanical Name	Common Name	Description	Native	Canopy Credit (Sq. Ft.)
Trees							
BAR	3	Bulnesia arborea	Verawood	(2) at 12' HT. 6" SPR. 2" DBH, as replacements for trees M2, M8.	No	N/A	
BSI	6	Bursera simaruba	Gumbo Limbo	(1) at 14' - 16' HT. 8" SPR. 2" DBH. Within the new addition pedestrian zone.	Yes	N/A	
				(4) 12' HT. 6" SPR. 2" DBH, as replacements for trees M1, M9, M10, M11.		N/A	
				(1) at 16' - 18' HT. 8" SPR. 2" DBH. Within the new addition pedestrian zone.		300	
				(1) at 12' HT. 6" SPR. 2" DBH.		600	
CER	11	Conocarpus erectus	Green Buttonwood	(2) at 12' HT. 6" SPR. 2" DBH.	Yes	N/A	
				(1) at 12' HT. 6" SPR. 2" DBH, as replacements for trees M12, M14, M17, M18.		N/A	
				(1) at 12' HT. 6" SPR. 2" DBH, as replacements for trees M13, M14, M17, M18, M20, M21, M25, M26, M27, M29, M30.		300	
LSA	3	Lycium salsicu	Horseflesh Mahogany	(3) at 12' HT. 6" SPR. 2" DBH, as replacements for trees M21, M22, M23.	No	N/A	
PP	2	Pongamia oinnata	Pongame Oil tree	(2) at 12' HT. 6" SPR. 2" DBH, as replacements for trees M15, M16.	No	N/A	
QVI	4	Quercus virginiana	Live Oak	(4) at 12' HT. 6" SPR. 2" DBH, as replacements for trees M4, M22, M23, M24.	Yes	N/A	
PEL	1	Psychosperma elegans	Alexander Palm	(1) 16'-18" GW, as replacement for palm M19.	No	N/A	
SPA	6	Sabal palmetto	Sabal Palm	16'-18" GW.	Yes	300	
						Total Canopy Credit: 1,200 Sq. Ft.	
CI	48	Understory Trees & Shrubs					
		<i>Chrysobalanus icaco</i>	Red Tip Cocoplum	7G. Full. 3' Fl. HT.	Yes		
		<i>Conocarpus erectus sericeus</i>	Silver Buttonwood	15 G. Full. Bush. 5' Fl. HT.	Yes		
		<i>Psychotria nervosa</i>	Wild Coffee	7G. Full. 3' Fl. HT.	Yes		
SS	TBD	Grasses					
		<i>Stenotaphrum secundatum</i>	St. Augustine Grass	S.F. Area. Patch & repair for existing lawn areas	No		
AG	330	Groundcovers					
		<i>Arachis glabrata</i>	Perennial Peanut	G. 18" OC.	Yes		
		<i>Ficus microcarpa</i>	Green Island Ficus	G. 24" OC.	Yes		
Relocations							
				See sheet TD-1 Tree Mitigation Site Plan for original locations			
QVI	4	<i>Quercus virginiana</i>	Live Oak	Relocated from on-site. Trees #2, #3, #5, #8	Yes		
PEL	5	<i>Psychosperma elegans</i>	Solitaire Palm	Relocated from on-site. Palms #6, #7, #10, #11, #12	No		
SPA	1	<i>Sabal palmetto</i>	Sabal Palm	Relocated from on-site. Palm #4	Yes		
YME	1	<i>Vetiveria merrillii</i>	Vetiveria Palm	Relocated from on-site. Palm #9	No		
Miscellaneous Groundcovers							
AT	TBD	Artificial Turf	Same	S.F. Area			
G/R/BR	TBD	Gravel & River Rock Blend	Same	S.F. Area. 3" deep. Blend: 70% Gravel, 30% River Rock (Mixed Sizes)			
GR	TBD	Gravel	Same	S.F. Area. 3" deep. Blend: 70% Gravel, 30% River Rock (Mixed Sizes)			
MU	TBD	Australian Pine Mulch	Same	No Cypress. Colored nor Synthetic Mulch			

IRRIGATION NOTE: EXISTING IRRIGATION SYSTEM TO BE PATCHED, REPAIRED & EXPANDED TO PROVIDE 100% COVERAGE TO ALL NEW PROPOSED PLANTING AREAS.

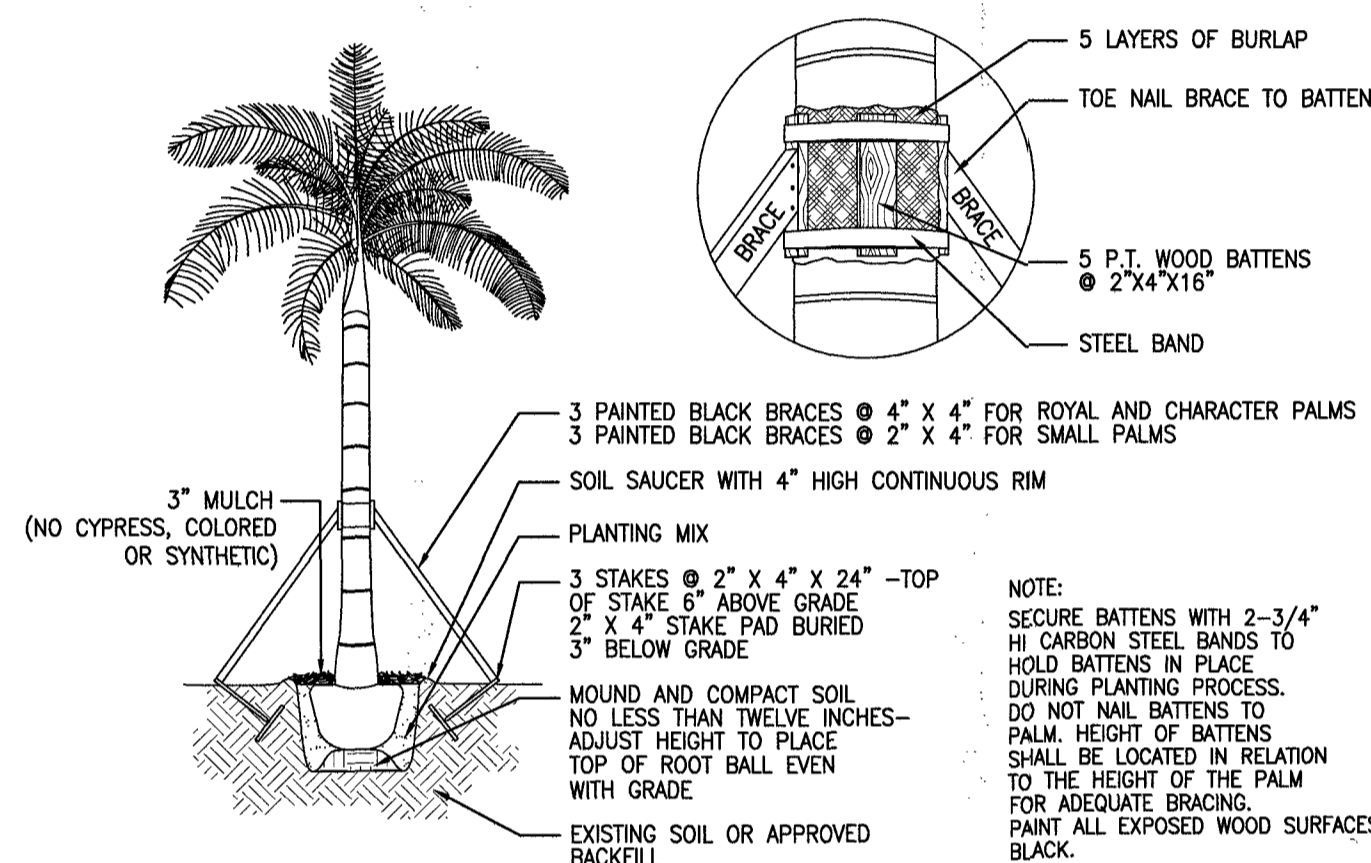
NOTE: WHERE DISCREPANCIES EXIST, THE CITY OF SUNRISE LAND DEVELOPMENT CODE ARTICLE VIII SHALL GOVERN.



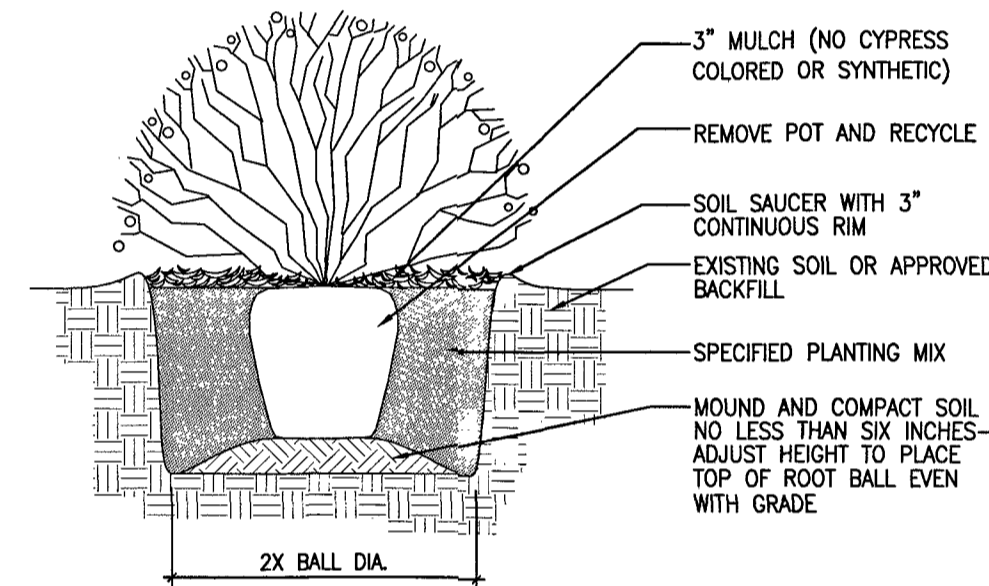
A LARGE SIZE TREE PLANTING AND STAKING DETAIL
SCALE: NTS PLANTING DETAIL



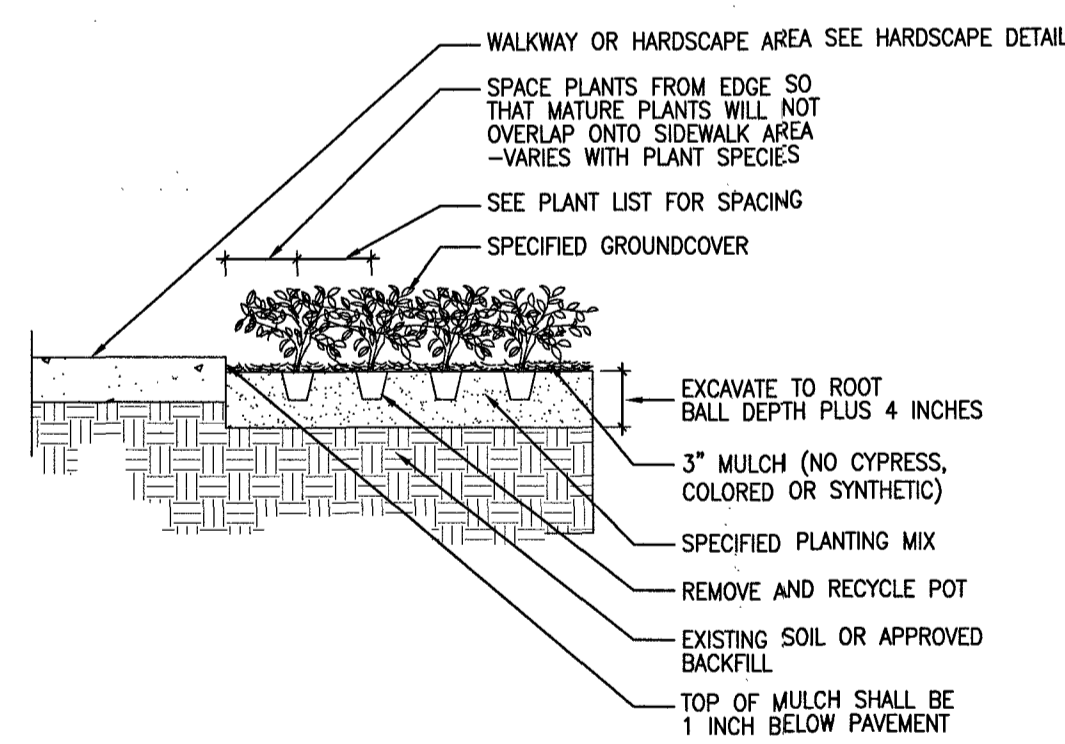
B MEDIUM SIZE TREE PLANTING AND STAKING DETAIL
SCALE: NTS CITY OF SUNRISE PLANTING DETAIL



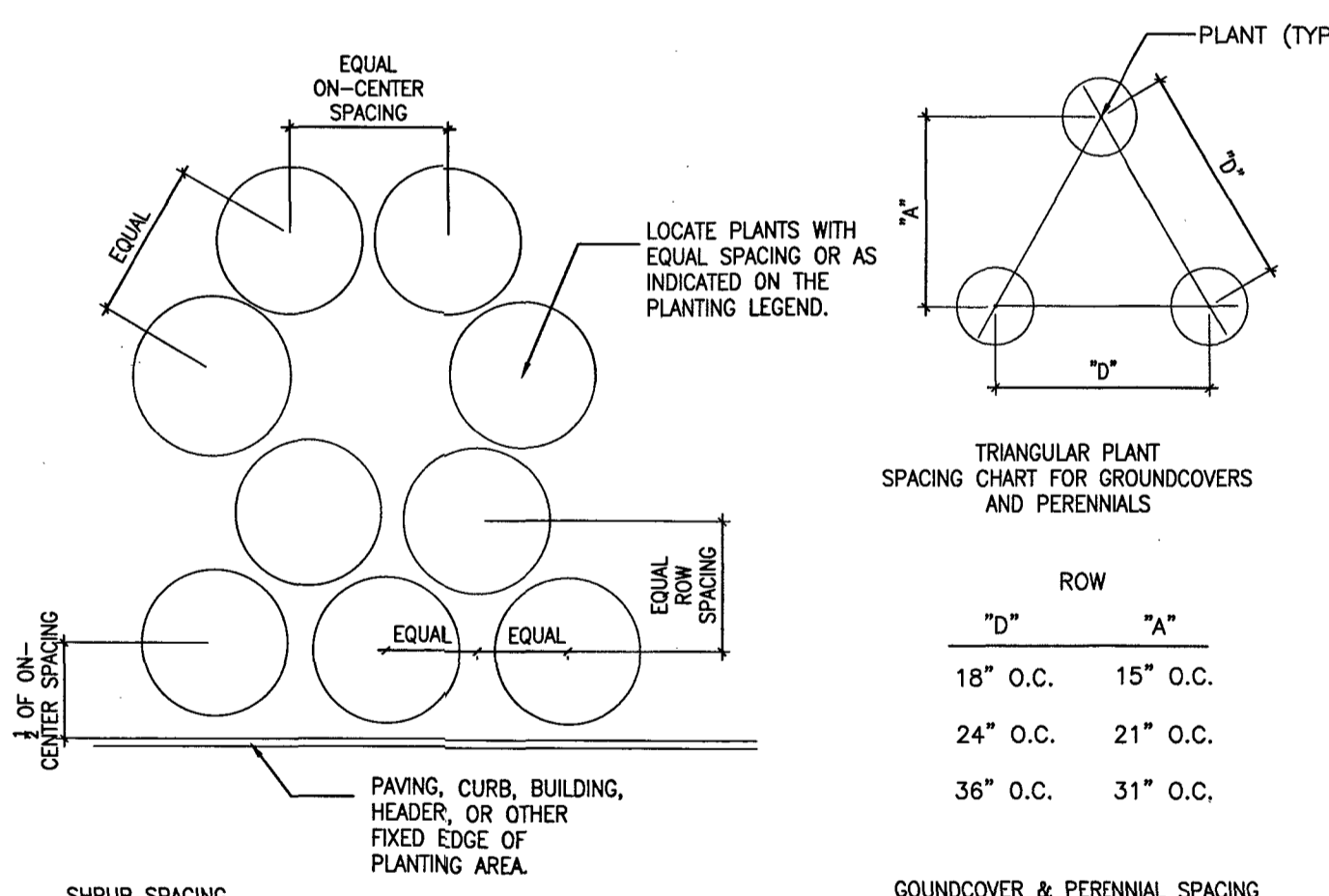
C PALM PLANTING AND STAKING DETAIL
SCALE: NTS PLANTING DETAIL



D SHRUB PLANTING DETAIL
SCALE: NTS PLANTING DETAIL



E GROUND COVER PLANTING DETAIL
SCALE: NTS PLANTING DETAIL



F PLANT SPACING DETAIL
SCALE: NTS PLANTING DETAIL

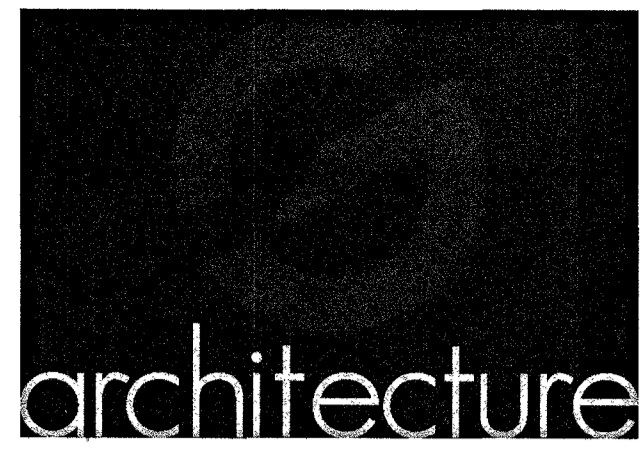
NOTE: SOIL AROUND NEW PLANTS MUST BE IMPROVED TO DOUBLE THE ROOT BALL SIZE AND TO A DEPTH OF 30" ON ANY NEW FINGER ISLANDS.

- Landscape Contractor shall become familiar with the scope of work, as well as the site digging conditions and any other obstacles prior to submitting a bid.
- Landscape Contractor should verify all estimated quantities of material shown on the Landscape Architect's drawings prior to submitting a bid.
- Planting plan shall take precedence over plant list in case of discrepancies.
- All plant material symbols shown on landscape plans shall be considered diagrammatic. Installation locations should be adjusted on the field by landscape contractor to avoid all utilities and all other obstructions, after obtaining consent from the Landscape Architect.
- All sizes specified for plant material on the plan and plant list shall be considered minimum.
- Any specific requirements such as specific shape, character, number of tree trunks, plant source, transporting, and or special bracing noted on the plan or plant list, will require approval and or coordination with the Landscape Architect.
- No change shall be made without prior consent of the Landscape Architect.
- All planting material shall be subject to availability at time of installation. Substitutions may be made after consent from the Landscape Architect.
- All trees, palms, shrubs and ground covers shall be guaranteed for a period of 36 months from date of final acceptance.
- Changes may occur during the normal course of implementation. Verbal change orders will not be honored. Any changes must be submitted to the Landscape Architect in writing as a change order to be reviewed and approved in writing by owner/client.
- Landscape Contractor shall locate and verify all underground utilities or structures prior to digging.
- Landscape Contractor shall repair all damages to underground utilities, and or construction caused by landscape installation, at no cost to the owner.
- Landscape Contractor shall coordinate with the General Contractor, the removal of all building construction debris and foreign material prior to installation of any plant material.
- Site preparation should include the eradication and removal of any weeds or grass, removal and clean up of any dead material and rough and finish grading per specs, landscape plans or civil plans.
- For plant material designated to be removed, the entire root system shall be dug and removed from the site.
- All planting areas shall be excavated to a minimum of 6" for groundcovers, shrubs, trees, and palms, and should receive an 80/20 mix fill soil, or match specifications. Any soil amendments required for new planting materials, exotic materials in particular, shall be specified (mix and quantity) and provided by the Landscape Contractor.
- All Plant material shall be Florida No. 1 or better. Florida Department of Agriculture Grades and Standards, Parts I & II, 2015, respectively.
- All trees shall be staked in a good workmanlike manner. No nail staking permitted. (Refer to bracing notes and planting details)
- After removal or relocation of existing trees and palms, all remaining holes and disturbed sod areas shall be back filled around and under root ball with 80/20 mix fill soil, or match specifications.
- All trees, palms, shrubs and ground cover plants shall be fertilized at installation, with long lasting fertilizer, according to manufacturers' recommendations. For Palms and Trees use "Palm Special" (6-12-12), for Shrubs use a (12-6-8), and for Sod use a (20-3-3).
- Any plant material designated to remain shall be protected during all construction phases. Any plant material scarred or destroyed designated to remain must be replaced at the contractor's expense with similar species size and quality. Refer to planting details for tree protecting barrier.
- All existing plant material designate to be stored off-site shall be protected and cared for according to industry standard. Any plant material scarred or destroyed designated to remain must be replaced at the contractor's expense with similar species size and quality.
- All trees to be relocated shall be root pruned at least 30 days prior to relocation, or more if required by the species. Upon relocation, thin out 30% of the relocated trees' canopy under the direction of the Landscape Architect.
- All trees in sod areas shall receive a mulch ring 2' in diameter typical.
- All planting areas shall be mulched with shredded organic mulch to a minimum of 3" in depth. With the exception of beach planting. Do not use cypress, colored or synthetic mulch. Pine needles are preferred.
- All trees shall have 2" caliper at D.B.H. minimum for a 10' height tree, unless specified otherwise.
- All 1 gallon material shall have 12" spread minimum, all 3 gallon material to have 20-24" spread minimum.
- Irrigation system to be provided and installed per included irrigation plans, details and notes.
- Landscape Contractor to coordinate installation of irrigation system with Irrigation Contractor. Irrigation time clock to be hard wired on completion. This is responsibility of Irrigation Contractor. Landscape Contractor shall hand water or arrange for watering during planting until irrigation system is 100% operable. This is the responsibility of the Landscape Contractor.
- Landscape Contractor shall coordinate his work with the General Contractor, Irrigation Contractor, and the Electrical Contractor.
- The Landscape Contractor shall at all times keep the job site clean and free from accumulation of waste material, debris, and rubbish.
- Landscape plan shall be implemented in compliance with all local codes.
- On-site layout of plant material shall be coordinated with Landscape Architect prior to installation.
- Landscape Architect shall be notified of plant installation with a minimum of 3 weeks notice.
- All plants, materials, workmanship, and invoice approval are subject to the approval of the Landscape Architect.
- The Landscape Contractor shall coordinate with the Irrigation Contractor in order to provide Landscaping Maintenance Services for a period of three (3) years, including watering, mowing, mulching, fertilizing, and controlling weeds and pests. This period shall start at the time that the final acceptance is provided by the Landscape Architect and the Owner.
- The awarded Landscape Contractor shall submit a unit price proposal with pricing for all plant material including (warranty, labor, transportation, relocation, site maintenance and preparation) as per the Landscape Architect's specifications and or planting plans.
- The Landscape Contractor's contract shall acknowledge all terms and conditions set forth under these general landscape notes and specifications.

GENERAL TREE BRACING NOTES AND SPECIFICATIONS:

- Specimen trees and tall palms braced with braces/props:** Refer to General Planting Details for further information.
- Choose the correct number of props to be used (PT 2"x4", 4"x4").
 - Stakes shall be painted with Benjamin Moore exterior black paint, matte finish.
 - Wrap at least five (5) layers of burlap around trunk of the palm at least four inches (4") wider than the battens being used. Battens should be mounted at a point 1/3 of the distance from ground to the clear trunk of the tree or palm, but not less than four feet (4'-0"), whichever is greater.
 - Select the proper amount of battens (PT 2"x4"x12"-16") based on the tree/palm trunk diameter. Use at least the same number of battens as braces/props being used.
 - Place the battens vertically and evenly spaced against the burlap.
 - Secure the battens in place with metal banding straps. Do not nail tree or palm.
 - Wedge lower end of brace/prop into soil and secure with a 2"x4"x24" stake. Braces/props should be installed at a 30 to 40 degree angle from the battens and of sufficient length to reach the ground.
Note: on straight trees or palms, space braces/props equal distance around tree or palm.
On curved (character) palms or trees, space braces/props against the front of the curve of the tree or palm.
 - Cut a smooth angle at the end of the braces/props. Align with and nail into battens. Do not penetrate tree or palm with nails.
 - If it appears that additional construction work will take place near to or in the vicinity of the newly braced trees or palms, then braces/props are to be clearly labeled with the statement, "Do Not Remove."
 - Braces/props are not to be removed until approved by the Landscape Contractor or Landscape Architect.

- 2" and larger caliper trees braced by guying:** Refer to General Planting Details for further information.
- Guying shall be completed within 48 hours of planting the tree.
 - Cut lengths of staking hose to extend two inches (2") past tree trunk when wrapping around.
 - Space stakes evenly on outside of water ring and drive each firmly into the ground. Stakes should be driven at a 30 degree angle with the point of the stake toward the tree until six inches (6") are left showing.
 - Place the hose around the trunk just above the lowest branch.
 - Thread the wire through the hose and past the stake, allowing approximately two feet (2'-0") of each of the two ends beyond the stake before cutting the wire.
 - Twist wire at rubber hose to keep it in place.
 - Pull wire down and wind both ends around stake twice. Twist wire back onto itself to secure it before cutting off the excess.
 - The above procedures are to be followed for each stake, keeping the tree straight at all times.
 - There should be a one (1") to three-inch (3") way in the tree. The wires should not be pulled tight for best establishment.
 - Flag the guy wires with surveyor's flagging or approved equal for safety.
 - Guys are not to be removed until approved by Landscape Contractor or Landscape Architect.



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REVISION LOG

No.	Description	Date

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8595 NW 50th St, SUNRISE, FL 33351

PLANTING DETAILS & NOTES

SEAL & SIGNATURE
DATE
11/02/2020
SITE PLAN SHEET NO.
LA-2



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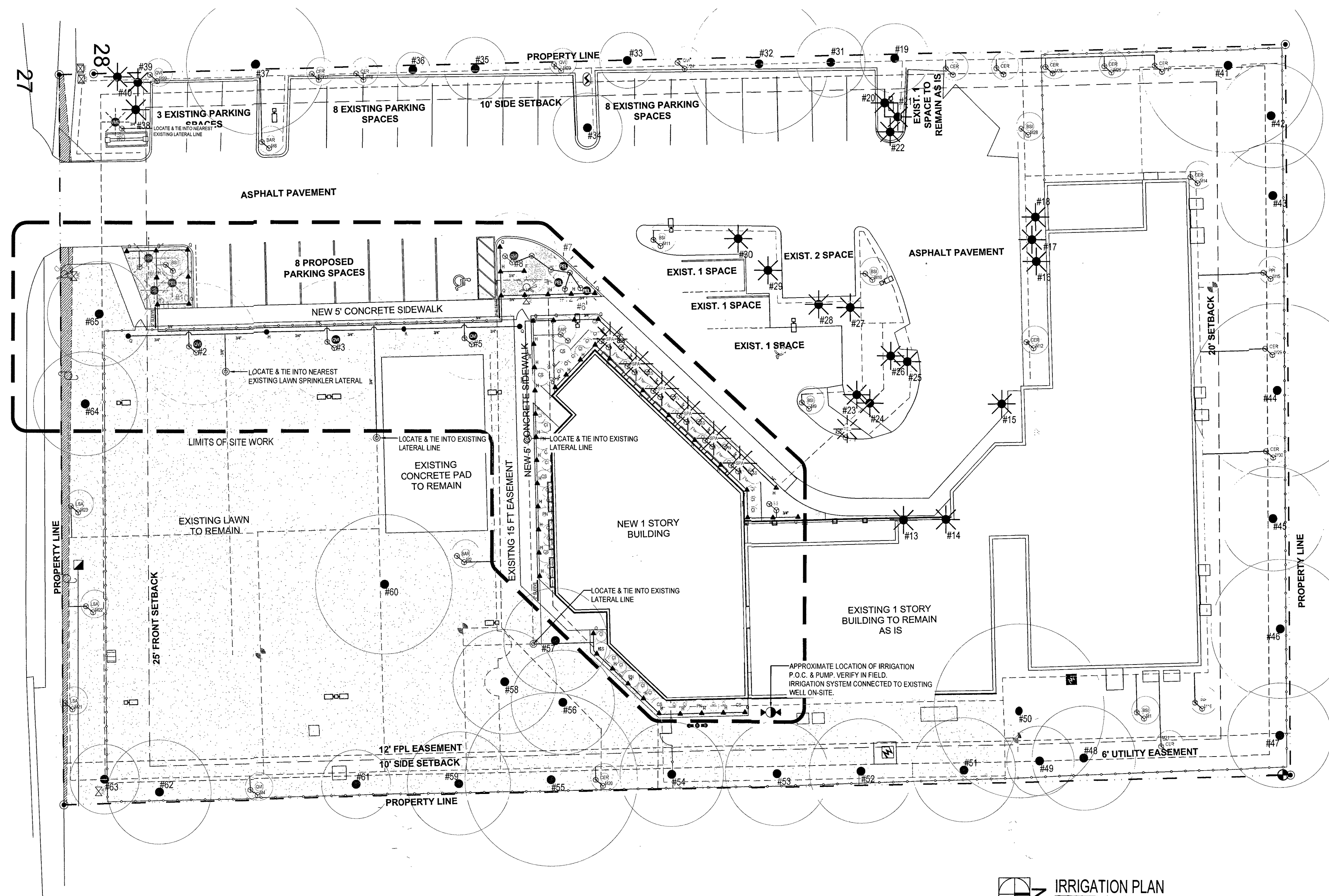
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IRRIGATION PLAN
 SCALE: 1"=20'

IRRIGATION NOTES:

- EXISTING IRRIGATION SYSTEM TO BE PATCHED, REPAIRED & EXPANDED TO PROVIDE 100% COVERAGE TO ALL NEW PROPOSED PLANTING AREAS. ANY NEW TREES AND PALMS OUTSIDE OF LIMITS OF SITE CONSTRUCTION ARE TO BE SUPPLIED BY THE NEAREST LATERAL LINE.
- PER 'DRE REVIEW' COMMENT FROM THE URBAN FORESTER MR. BYRNES DATED 02/27/2020, WE HAVE INCLUDED THE APPROXIMATE LOCATION OF THE EXISTING APPROVED IRRIGATION SYSTEM (PER PREVIOUSLY APPROVED IRRIGATION PLAN ON RECORD, DATED 03/07/2006 & APPROVED ON 01/03/2007). CURRENT PLAN SHOWS APPROXIMATE LOCATIONS OF CONNECTIONS OF NEW LINES TO EXISTING SYSTEM LINES. LANDSCAPE ARCHITECT, LANDSCAPE DESIGNER & THEIR CONSULTANT(S) DO NOT ASSUME RESPONSIBILITY FOR EXISTING SYSTEM DESIGN / INSTALLATION LAYOUT ACCURACY AND / OR SYSTEM FUNCTIONALITY.
- PRIOR TO STARTING THE WORKS, INSTALLER TO INSPECT THE SITE AND LOCATE ALL EXISTING IRRIGATION PIPES, WIRES AND EQUIPMENT. PROVIDE LABOR AND MATERIALS TO REPAIR ANY DAMAGED EXISTING IRRIGATION. PROVIDE "LIFELINE" PIPES AND WIRES TO KEEP ADJACENT IRRIGATION ZONES OPERATIONAL THROUGHOUT THE WORKS.

SIZE	DESCRIPTION
	NEW PVC LATERAL LINE PIPE CONNECTED TO NEAREST EXISTING MAIN AND LATERAL LINES. CLASS 200, PVC. INSTALL 12" DEEP. 2.5" AND SMALLER, SOLVENT WELD PVC PIPE AND FITTINGS.
	EXISTING IRRIGATION LINES (APPROXIMATE LOCATION). IRRIGATION INSTALLER TO VERIFY LOCATIONS IN FIELD.
	PVC SLEEVE PIPE. CLASS 200, PVC. SOLVENT WELD PVC PIPE AND FITTINGS.

IRRIGATION HEAD LEGEND

- RAINBIRD 1800 SERIES SPRAY BODIES & ADAPTERS
 POLY PIPE AND INSERT FITTING SWING JOINTS
 PROVIDE MPR SPRAY NOZZLES PER PLAN
- POP UP TURF SPRAY BODY- 10' RADIUS (6" MINIMUM HT. PO-UP STEMS)
 SPRAY PATTERN: F= FULL, T= THREE QUATER, H= HALF, Q= QUATER, S= SIDE SPAY
 - POP UP SHRUB SPRAY BODY- 8' RADIUS
 SPRAY PATTERN: F= FULL, T= THREE QUATER, H= HALF, Q= QUATER, S= SIDE SPAY
 - TREE BUBBLER ON FLEX PE PIPE

NOTE: IRRIGATION PLAN IS CONCEPTUAL. FURTHER DESIGN TO BE COMPLETED BY IRRIGATION CONTRACTOR / DESIGNER

HARVARD ACADEMY
 8955 NW 50th St, SUNRISE, FL 33351

IRRIGATION PLAN

SEAL & SIGNATURE DATE

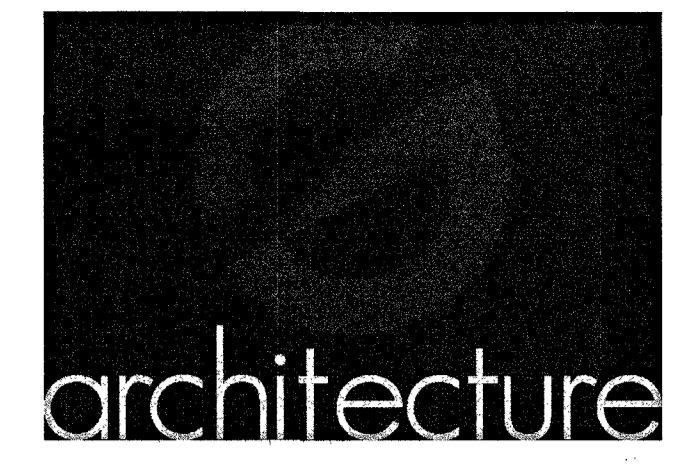
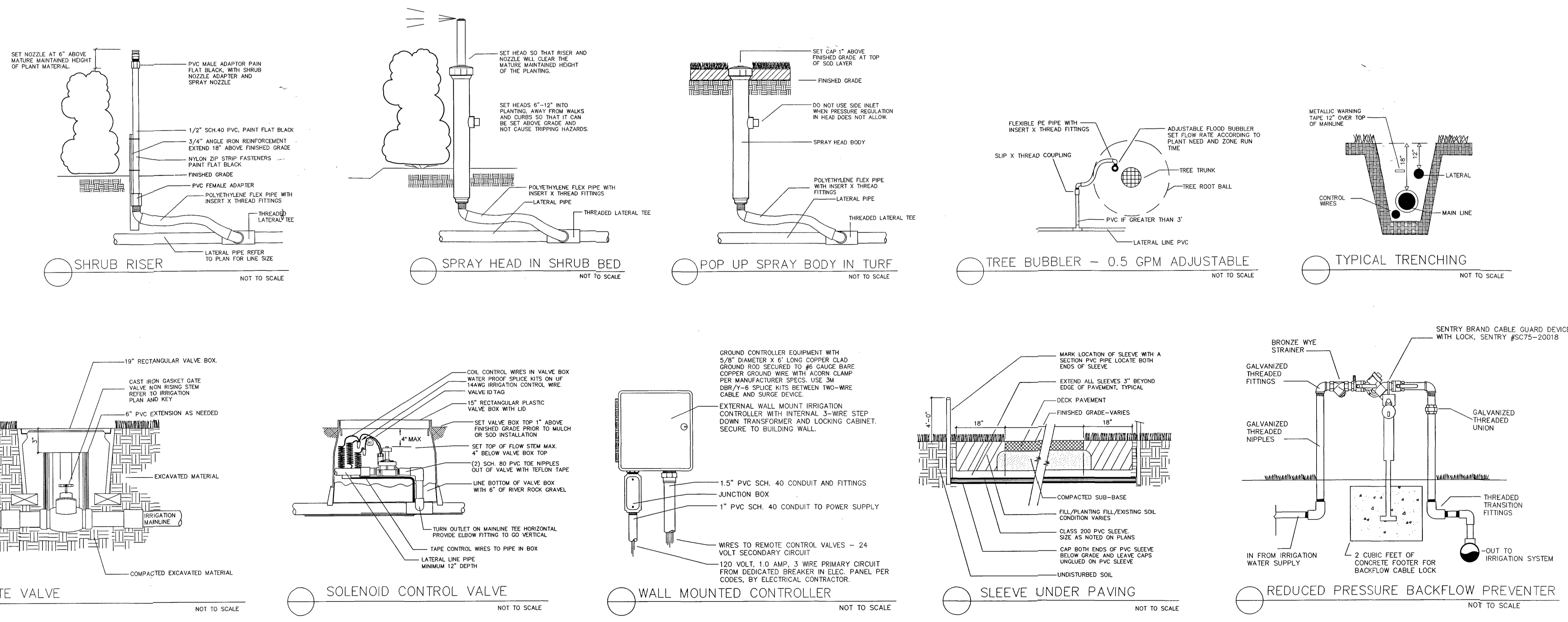
11/02/2020

SITE PLAN SHEET NO.

LA-3

IRRIGATION NOTES

- SOME PIPE LINES ARE DRAWN OFF SET FOR CLARITY. INSTALL ALL IRRIGATION LINES IN LANDSCAPED AREAS.
- REFER TO THE LANDSCAPE PLANS WHEN TRENCHING TO AVOID TREE ROOT BALLS TO INSTALL HEADS AT APPROPRIATE LOCATIONS.
- ADJUST ALL NOZZLES TO REDUCE OVERTHROW ON PAVING & WALLS. THROTTLE ALL IRRIGATION CONTROL VALVES AS REQUIRED TO PREVENT FOGGING. SET CONTROLLER RUN TIMES TO MATCH PLANT WATER NEEDS AND SOIL CONDITIONS.
- INSTALL RISERS 18" FROM WALLS OR BUILDINGS, AND 24" FROM PAVED SURFACES. PAINT ALL RISERS AND SUPPORTS FLAT BLACK.
- INSTALL POP-UP HEADS 18" FROM WALLS, 6" FROM WALKS, DECKS AND CURBS, 6 FEET FROM CURBLESS ROADS, AND 30" FROM THE END OF PARKING SPACES.
- SET TOP OF POP-UP HEAD CAPS 1" ABOVE FINISHED GRADE PRIOR TO SOD OR MULCH INSTALLATION.
- REFER TO UTILITY PLANS PRIOR TO TRENCHING. THE IRRIGATION INSTALLER SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO UTILITIES CAUSED BY THEIR WORK DURING THE PROJECT.
- ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE AGAINST ALL DEFECTS IN EQUIPMENT AND WORKMANSHIP.
- ELECTRIC POWER SUPPLY FOR THE IRRIGATION CONTROLLER SHALL BE BROUGHT TO A JUNCTION BOX AT THE CONTROLLER LOCATION BY THE BUILDING ELECTRICAL CONTRACTOR. IRRIGATION INSTALLER TO PROVIDE ELECTRICAL PERMITS AND LICENSED ELECTRICIAN TO CONNECT THE IRRIGATION CONTROLLER EQUIPMENT TO THE POWER SUPPLY.
- IRRIGATION WATER CONNECTIONS AND SYSTEM CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF LOCAL CODES FOR IRRIGATION INSTALLATION AND CONNECTION TO THE WATER SUPPLY.
- IRRIGATION INSTALLER TO ACQUIRE ALL PERMITS AND UTILIZE ALL SAFETY PRECAUTIONS REQUIRED TO WORK IN ROW OF ROADWAY.
- SIXTY (60) PSI MINIMUM STATIC WATER PRESSURE IS REQUIRED FOR THE EFFICIENT OPERATION OF THE IRRIGATION SYSTEM AS DESIGNED. VERIFY THE MINIMUM STATIC WATER PRESSURE IS AVAILABLE AT THE PROJECT SITE PRIOR TO BEGINNING THE IRRIGATION INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT IN WRITING IF THE MINIMUM STATIC WATER PRESSURE OR WATER VOLUME IS NOT AVAILABLE.
- AT THE END OF PARKING SPACES PLACE HEADS IN LINE WITH PARKING STRIPES OR 2.5 FEET FROM BACK OF CURB. (TYPICAL)
- PRIOR TO STARTING THE WORKS INSPECT THE SITE AND LOCATE ALL EXISTING IRRIGATION PIPES, WIRES AND EQUIPMENT. PROVIDE LABOR AND MATERIALS TO REPAIR ANY DAMAGED EXISTING IRRIGATION. PROVIDE "LIFELINES" PIPES AND WIRES TO KEEP ADJACENT IRRIGATION ZONES OPERATIONAL THROUGHOUT THE WORKS.
- THE IRRIGATION MAINLINE IS DRAWN OFFSET FOR GRAPHIC CLARITY. DO NOT SCALE THE MAINLINE FROM THE DRAWING FOR INSTALLATION. LAYOUT THE IRRIGATION MAINLINE ROUTE IN THE FIELD TO AVOID PROPOSED AND EXISTING TREE ROOT ZONES AND UTILITIES.



ARCHITECT
GS ARCHITECTURE
 2100 SW 24th STREET
 MIAMI, FL 33145
 PH 786 488 0571
 AA26003969

STRUCTURAL ENGINEER
TE TADEOS ENGINEERS, INC
 LUIS O. de la HOZ OLIVERA, P.E., C.G.C.
 14030 NW 82nd Ave.
 Miami Lakes, FL 33016
 luis@tadeosengineering.com
 P: 305-647-5205
 C: 305-903-8816
 Lic. No. 73932

MEP ENGINEER
MAQUEIRA ENG. CONSULTANTS
 ROLANDO MAQUEIRA, PE
 7220 SW 39th Terrace
 Miami Lakes, FL 33016
 Miami, Florida 33155
 305 689 5595 ext 302
 305 689 5596
 cao@maqueira.com

LANDSCAPE DESIGNER
COLLABORATIVE INDEPENDENT
 305-450-1115
 2347 SW 5th Street
 Miami, FL 33135
 www.collaborativeindependent.com

LANDSCAPE ARCHITECT
MARSH KRIPLEN
 305-322-2898
 1251 SW 20th Street
 Miami, FL 33145
 LA6687007

CIVIL ENGINEER
KIMLEY-HORN
 355 Alhambra Circle, Suite 1400
 Coral Gables, FL 33134
 786 623 3560

REVISION LOG

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY

NOTE: IRRIGATION PLAN IS CONCEPTUAL. FURTHER DESIGN TO BE COMPLETED BY IRRIGATION CONTRACTOR / DESIGNER

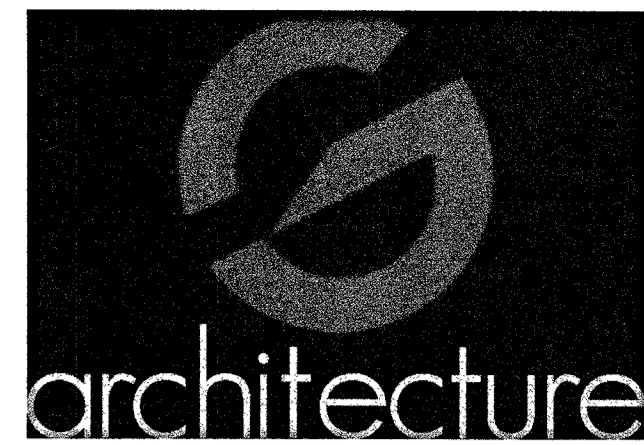
HARVARD ACADEMY
 8955 NW 50th St, SUNRISE, FL 33351

IRRIGATION NOTES & DETAILS

SEAL & SIGNATURE
 REGISTERED LANDSCAPE ARCHITECT
 MARSH C. KRIPLEN
 LA6687007
 STATE OF FLORIDA
 11/08/2012

DATE
 11/02/2020

SITE PLAN SHEET NO.
LA-4



ARCHITECT
GS ARCHITECTURE
 2100 SW 24th STREET
 MIAMI, FL 33145
 PH 786 488 0571
 AA28003969

STRUCTURAL ENGINEER
TE TADEOS ENGINEERS, INC
 LUIS O. de la HOZ OLIVERA, P.E., C.G.C.
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 Miami Lakes, FL 33016
 luis@tadesoengineering.com
 P: 305-647-5205
 C: 305-903-8816
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 Miami Lakes, FL 33016
 Miami, Florida 33155
 305 669 5595 ext 302
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 cad@maqueira.com

LANDSCAPE DESIGNER
COLLABORATIVE INDEPENDENT
 305-450-1115
 2347 SW 5th Street
 Miami, FL 33135
 www.collaborativeindependent.com

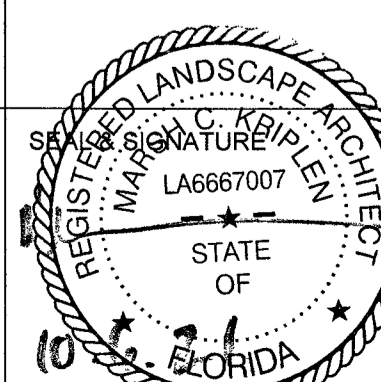
LANDSCAPE ARCHITECT
MARSH KRIPLEN
 305-322-2698
 1251 SW 20th Street
 Miami, FL 33145
 LA6667007

CIVIL ENGINEER
KIMLEY-HORN
 355 Alhambra Circle, Suite 1400.
 Coral Gables, FL 33134
 786 623 3560

REVISION LOG

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY

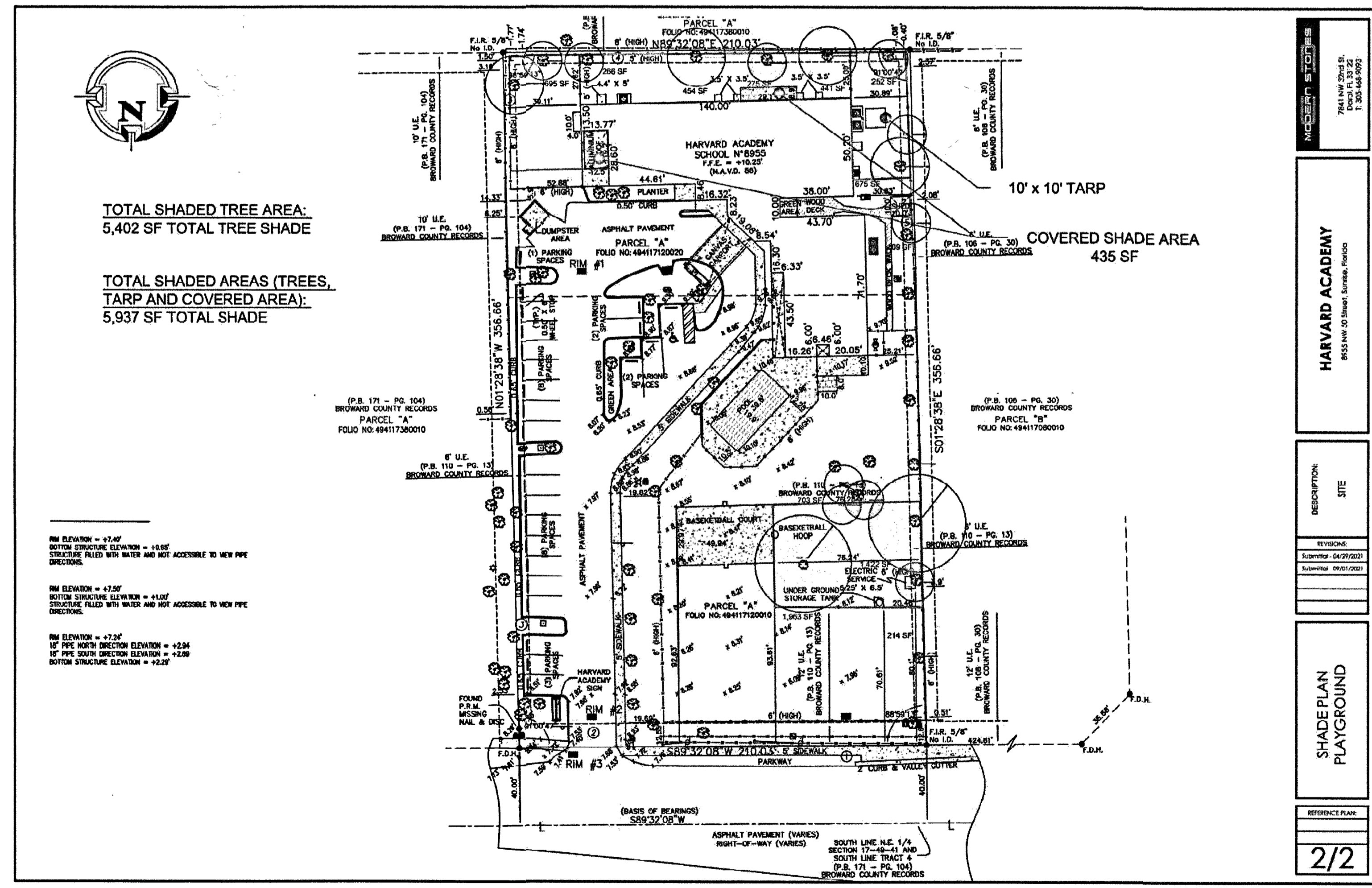
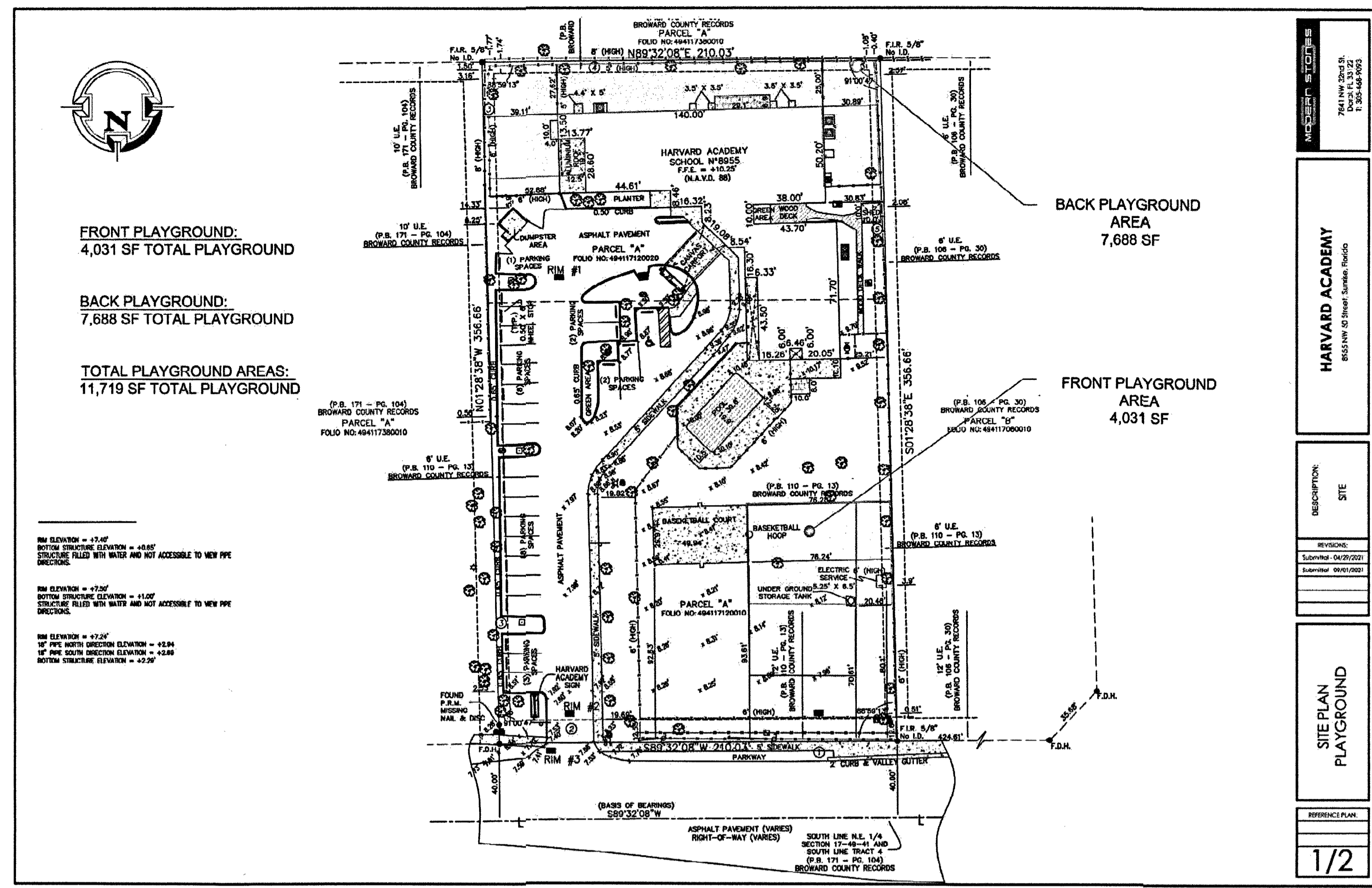


DATE
11/02/2020

SITE PLAN SHEET NO.

LA-5

MARSH KRIPLEN, R.L.A.
 STATE OF FLORIDA LA6667007

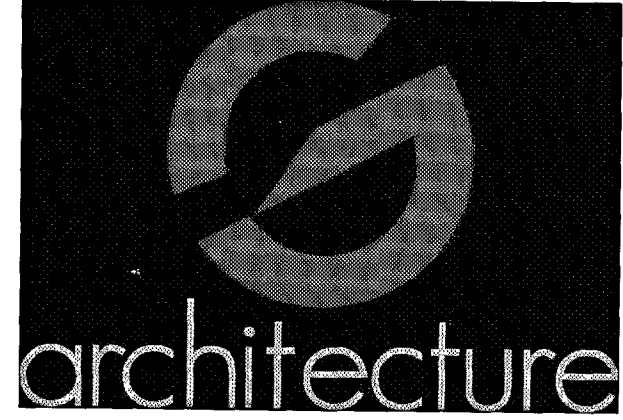


NOTE: IRRIGATION PLAN IS CONCEPTUAL. FURTHER DESIGN TO BE COMPLETED BY IRRIGATION CONTRACTOR / DESIGNER

HARVARD ACADEMY
 8955 NW 50th St, SUNRISE, FL 33351

PLAYGROUND AREA DIAGRAMS
 (FOR REFERENCE ONLY)

SCALE: N.T.S.



ARCHITECT
GS ARCHITECTURE
2100 SW 24th STREET
MIAMI, FL 33145
PH 786 488 0571
AA26003969

STRUCTURAL ENGINEER
TE TADEOS ENGINEERS, INC
LUIS O. de la HOZ OLIVERA, P.E., C.E.G.
Miami Lakes, FL 33016
luis@tadeosengineering.com
P: 305-647-5205
C: 305-903-8816
lic. No. 73932

MEP ENGINEER
MAQUEIRA ENG. CONSULTANTS
ROLANDO MAQUEIRA, PE
7220 SW 39th Terrace
Miami Lakes, FL 33016
maqu@maqueira.com
P: 305-699-5599 ext 302
305-699-5596
cad@maqueira.com

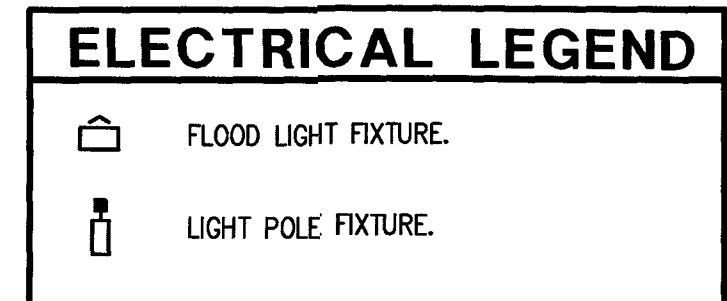
LANDSCAPE ARCHITECT
COLLABORATIVE INDEPENDENT
305-450-1115
2347 SW 5th Street
Miami, FL 33135
www.collaborativeindependent.com

CIVIL ENGINEER
KIMLEY-HORN
355 Alhambra Circle, Suite 1400
Coral Gables, FL 33134
786 623 3560

No.	Description	Date

LEAVE BLANK - FOR CITY USE ONLY

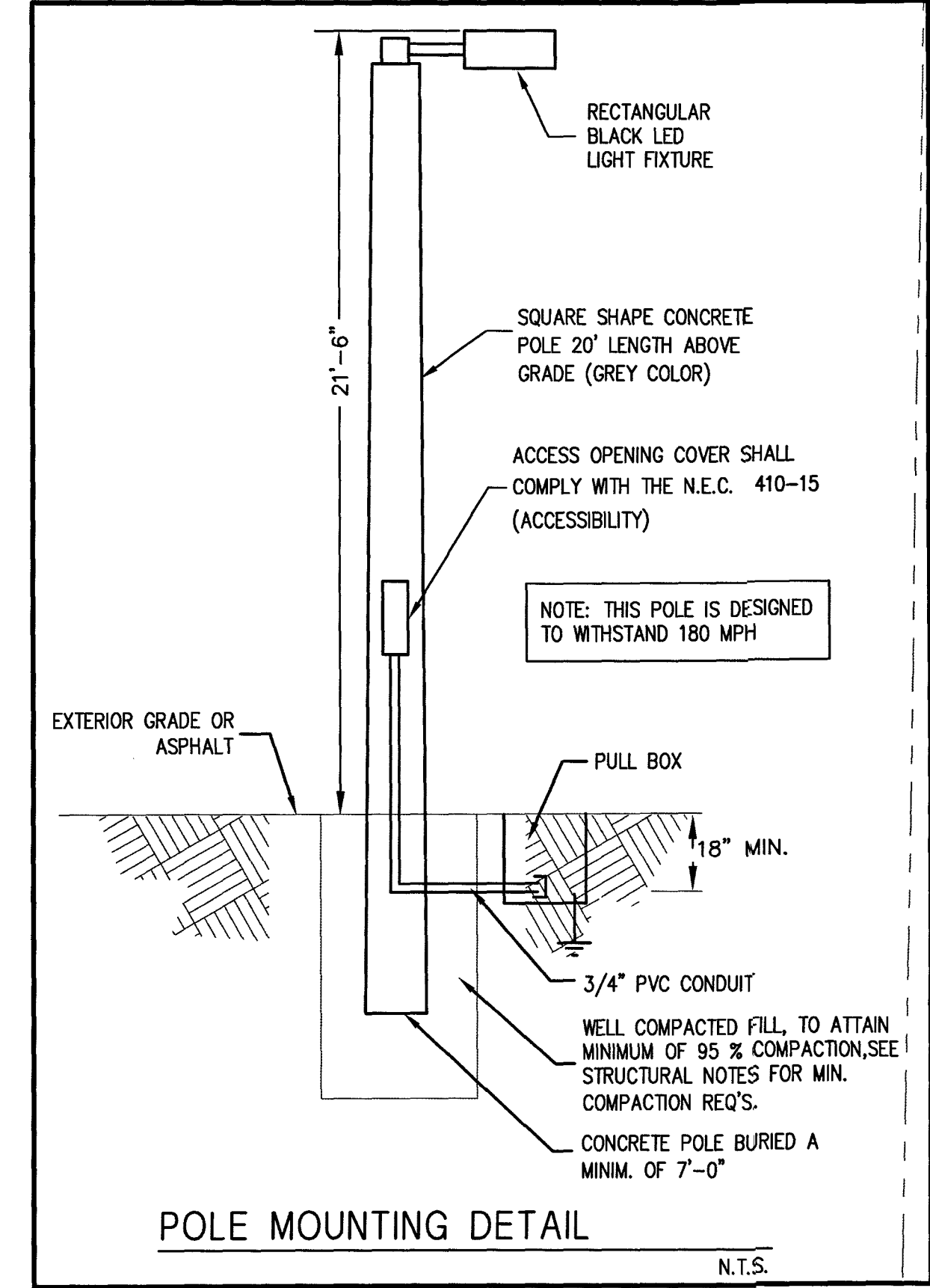
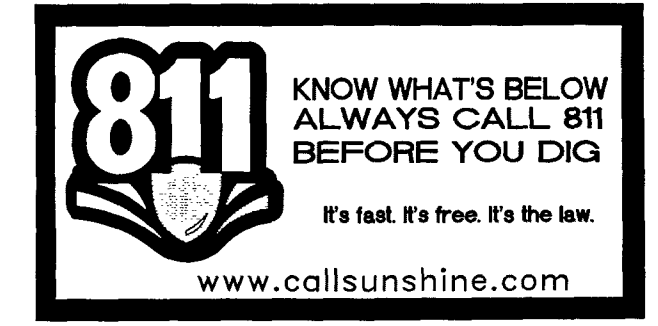
Symbol	Label	Catalog Number	Description	Lamp	Lumens	LLF	Watts
[Symbol]	[Symbol]	LITHONIA RSX2 LED P5 40K R4 HS POLE MOUNTED 20' AFG	RSX Area Fixture Size 2 P5 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	WHT LED ARRAY, 40K	Absolute	0.85	213
[Symbol]	[Symbol]	LITHONIA DSXW1 LED 10C 530 40K T4M MVOLT WALL MOUNTED 11' AFG TO EXISTING JUNCTION BOXES	DSXW1 LED WITH 1 LIGHT ENGINE, 10 LED's, 530mA DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	LED	Absolute	0.90	20



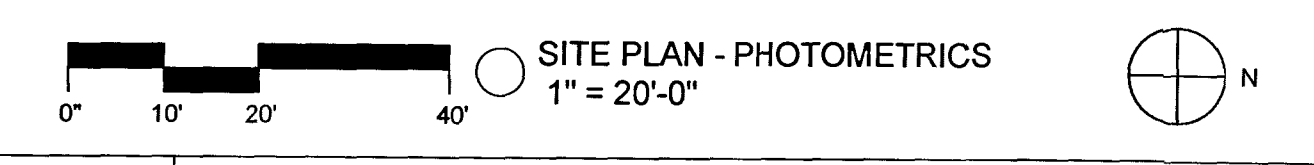
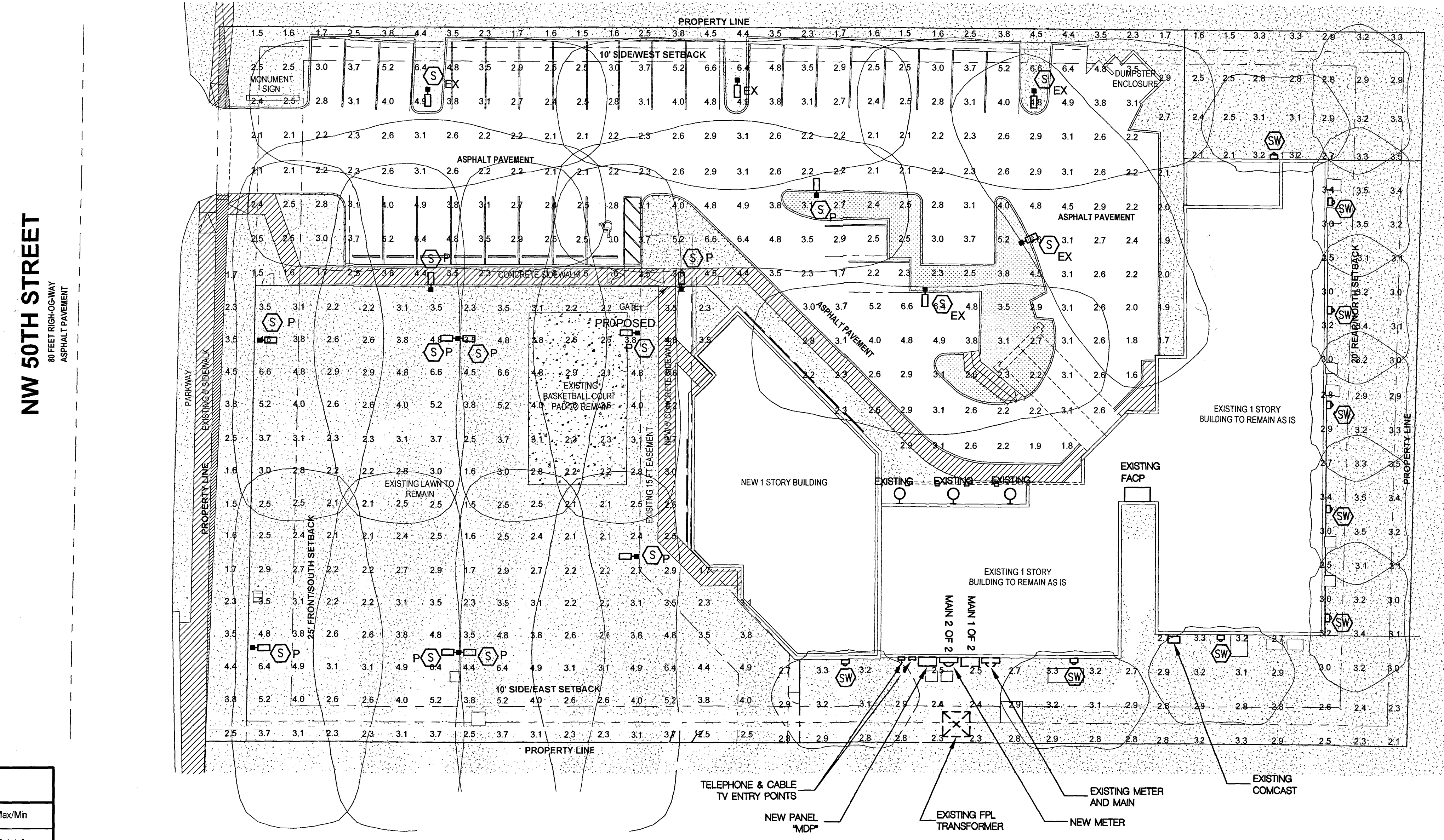
SUFFIX P DENOTES "PROPOSED"
SUFFIX EX DENOTES "EXISTING TO REMAIN"

- NOTES**
 - CALCULATIONS HAVE BEEN PERFORMED ACCORDING TO IES STANDARDS AND PRACTICE. SOME DIFFERENCES BETWEEN MEASURED VALUES AND CALCULATED RESULTS MAY OCCUR DUE TO TOLERANCES IN CALCULATION METHODS, TESTING PROCEDURES, COMPONENT PERFORMANCES, MEASURED CONDITIONS SUCH AS TECHNICAL AND FIELD VOLTAGES AND TEMPERATURE VARIATIONS. INPUT DATA SUCH AS ROOM DIMENSIONS, REFLECTANCES, FURNITURE, LIGHT LOSS FACTOR, FURNITURE, ARCHITECTURAL ELEMENTS AND FOLIAGE SIGNIFICANTLY AFFECT THE LIGHTING CALCULATIONS. IF THE REAL ENVIRONMENT DO NOT MATCH INPUT DATA DIFFERENCES WILL OCCUR BETWEEN MEASURED AND CALCULATED VALUES.
 - CONCRETE POLES ARE TO BE 27' OVERALL LENGTH AND 20' ABOVE GROUND OR AS INDICATED BY BORING TEST RESULTS - SUPPLIED BY OTHERS. POLES MANUFACTURED BY UTILITY STRUCTURES, FT. MYERS.
 - WIND LOAD CALCULATIONS, TO MEET SOUTH FLORIDA WIND LOAD REQUIREMENTS, MUST BE PREPARED AND SUBMITTED AS PART OF THE SUBMITTAL PROCESS. SAID CALCULATIONS MUST BE SIGNED AND SEALED BY FLORIDA REGISTERED ENGINEER.

NOTE
LIGHTING SHALL BE DESIGNED AND INSTALLED TO MEET SECTION 16-160 OF THE CITY OF SUNRISE AND DEVELOPMENT CODE

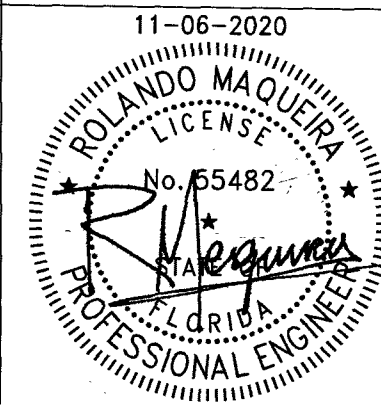


Description	Symbol	Avg	Max	Min	Max/Min
PARKING AREA (Z=0)	+	3.1 fc	6.4 fc	1.5 fc	64:1.5



HARVARD ACADEMY
8955 NW 50th St, SUNRISE, FL 33351

PHOTOMETRIC PLAN



DATE
01/31/2020
SITE PLAN SHEET NO.



STAFF REPORT

1100 SUNSET STRIP, LLC (EXTERIOR ELEVATION CHANGE)

Summary

This is an application for an exterior elevation change to a commercial building located at 1064 - 1116 Sunset Strip, as shown on the location map. The property is zoned B-3 (General Business District) and the underlying land use is Commercial on the City's Future Land Use Map. The exterior elevation change requires City Commission approval as per Section 16-32 of the Land Development Code (LDC).

General Information

The subject property consists of a commercial building, just under 16,000 square feet, bounded on the north, west and south by commercial properties zoned B-3 (General Business District) and to the east of the subject property is a 3-story multi-family complex zoned RM-25 (Higher Density Multiple-family Residential District).

Project Description

The proposed exterior elevation change consists of renovations to the entire exterior facade of an existing commercial building. All four elevations of the existing building will include a travertine porcelain tile finish along the base of the walls and most columns, with the remaining wall portions painted in light shades of gray and white. Horizontal wood laminate finish will be used on all four (4) proposed corner towers and some of the building columns on the north, south and west elevations. The two corner towers closest to Sunset Strip will be made to stand out with greater height and a dark overhang roof. The existing arches will be squared-off and the majority of existing columns supporting the roof overhang will be enlarged for a more modern design. The existing barrel tile roof will be removed and the façade redesigned to include parapet walls which will also serve as raised sign bands. Metal louvers on the north, south and east sides of the building, above the parapet, will provide an architectural element and screen rooftop mechanical equipment from public view. New black canvas awnings are proposed above the rear doors.


No changes are proposed to the building size, site circulation, or landscaping.

Staff Evaluation

Staff has reviewed the Exterior Elevation Change application and find it consistent with the Land Development Code.

Staff Recommendation to the Planning and Zoning Board, July 7, 2022

This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval.

Planner: Sylvia Miller, AICP 
File No. EECSP-000277-2021 (86:70025)

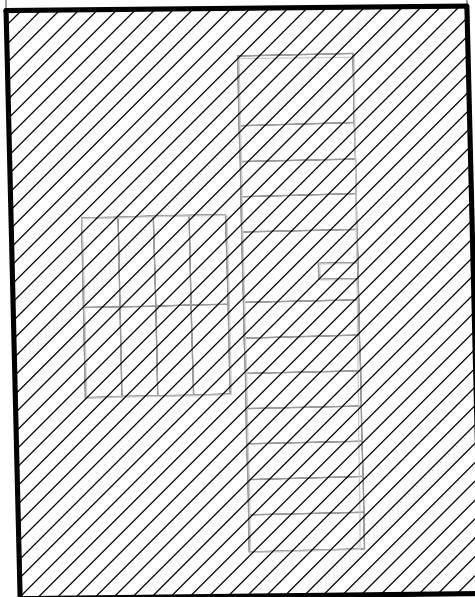
**SUNSET STRIP CENTER
PROJECT # EECSP-000277-2021**

NW-12TH ST

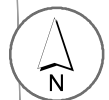
NW 60TH AVE

NW-11TH ST

SUNSET STRIP - NW 61ST AVE



DEL-LAGO CIR



NOT TO SCALE

LEGEND

 **Subject Area**

To: City of Sunrise Planning Department
1607 NW 136 Ave
Building A
Sunrise, Florida, 33146

May 2, 2022

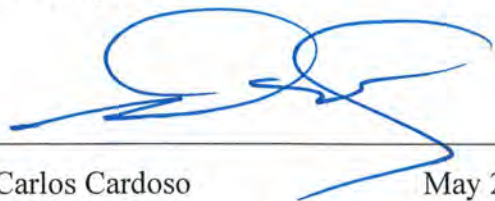
Re: 1100 Sunset Strip
1064 thru 1116 Sunset Strip
Sunrise Florida, 33313

Project No. 21028.01

To whom it may concern:

This letter is to serve as our request to the City of Sunrise to review our documents for the Façade Renovations to the currently occupied Retail Center located at 1064 – 1116 Sunset Strip, Sunrise Florida. The request is to allow a façade modification to update the image of the currently dated center, to a more modern looking façade. As part of this modification the Owner has agreed to screen the existing mechanical units from public view, which are currently located on the roof of the center. The renovation is to include 2 new prominent corner tower features at the entrances to the center, smaller towers at the rear building corners and raised signed bands centered between the towers. The renovation will use materials such as metal and wood as well as stucco to provide a new contemporary façade to the overall center. We've also added standing seam metal roofs to the lower parapet/mansard for a better protective surface. Please let me know if you need any further information.

Sincerely,



Carlos Cardoso

May 2, 2022

Design Tech International Associates, Inc.
Vice President of Architecture



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DesignTech
International
 Associates, Inc. AA26001933
 Architecture • Planning • Interior Design
 14125 N.W. 80th Ave, Suite 303
 Miami Lakes, FL 33016
 T. 786-235-6097
 F. 305-362-4420
 dtinfo@dtiarchitect.com
 www.dtiarchitect.com

OWNER/ DEVELOPER:
1100 SUNSET STREET LLC.
 5935 NE 2nd AVENUE,
 MIAMI, FL 33137

PROJECT:
**FACADE RENOVATION
 @ 1100 SUNSET STRIP,
 SUNRISE**
 1064 THRU 1116 SUNSET STRIP
 SUNRISE, FL 33313

21028.01

Revisions:	
1	10-04-21 P.D. COMMENTS
2	01-14-22 P.D. COMMENTS

DRAWING TITLE
**EXISTING BUILDING
 PHOTOGRAPHS**

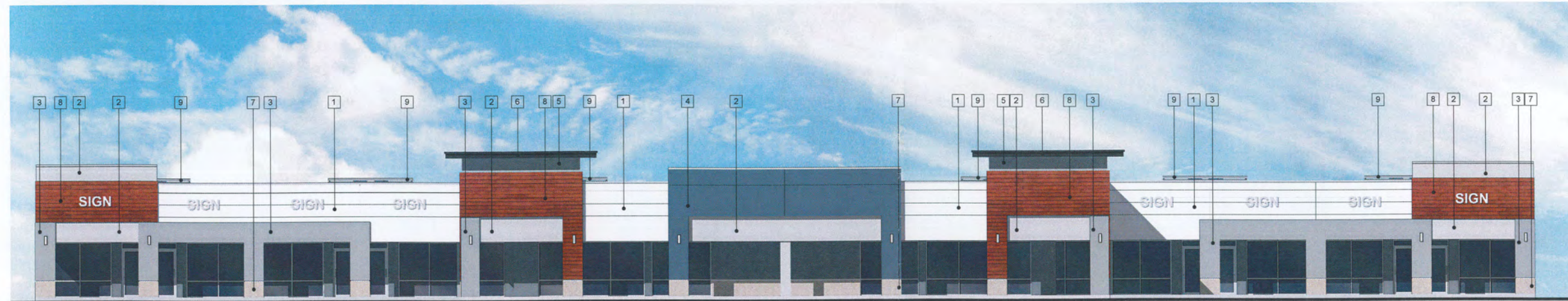
STATE OF FLORIDA
 CARLOS PIZARRO
 ARCHITECT
 REGISTERED ARCHITECT
 Carlos Pizarro, R.A.
 AR - 0013079
 02-03-2022

DATE:
 04-20-2021



PROPOSED NORTH COLOR ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"

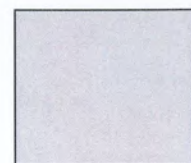


PROPOSED WEST COLOR ELEVATION (FRONT)

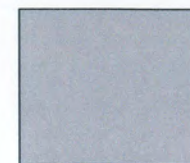
SCALE: 1/8" = 1'-0"



1 SHERWIN WILLIAMS
HIGH REFLECTIVE WHITE
SW 7757



2 SHERWIN WILLIAMS
RHINESTONE
SW 7656



3 SHERWIN WILLIAMS
SAMOVAR SILVER
SW 6233



4 SHERWIN WILLIAMS
SEARCHING BLUE
SW 6536



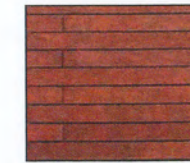
5 SHERWIN WILLIAMS
EXCLUSIVE PLUM
SW 6263



6 SHERWIN WILLIAMS
DOMINO
SW 6989



7 TRAVERTINI BIANCO
PORCELAIN TILE
12" X 24"



8 WOOD FINISH OR EQUAL
PRODEMA (HIGH PRESSURE
LAMINATE PANELS)
LIGHT BROWN, WOOD SPECIES:
AYOUS



9 LOUVER SCREENING
ANODIZED ALUMINUM FINISH

LEAVE BLANK - FOR CITY USE ONLY

10-04-21	P.D. COMMENTS
01-14-22	P.D. COMMENTS
03-16-22	P.D. COMMENTS
04-22-22	P.D. COMMENTS



PROPOSED SOUTH COLOR ELEVATION (SIDE)

SCALE: 1/8" = 1'-0"

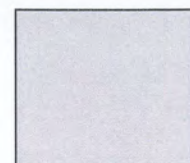


PROPOSED EAST COLOR ELEVATION (REAR)

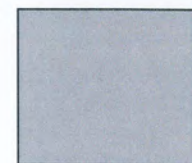
SCALE: 1/8" = 1'-0"



1 SHERWIN WILLIAMS
HIGH REFLECTIVE WHITE
SW 7757



2 SHERWIN WILLIAMS
RHINESTONE
SW 7656



3 SHERWIN WILLIAMS
SAMOVAR SILVER
SW 6233



4 SHERWIN WILLIAMS
SEARCHING BLUE
SW 6536



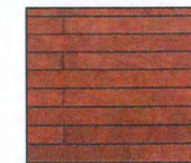
5 SHERWIN WILLIAMS
EXCLUSIVE PLUM
SW 6263



6 SHERWIN WILLIAMS
DOMINO
SW 6999



7 TRAVERTINI BIANCO
PORCELAIN TILE
12" X 24"



8 WOOD FINISH OR EQUAL
PRODEMA, (HIGH PRESSURE
LAMINATE PANELS)
LIGHT BROWN, WOOD SPECIES:
AYOUS



9 LOUVER SCREENING,
ANODIZED ALUMINUM FINISH

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1	10-04-21	P.D. COMMENTS
2	01-14-22	P.D. COMMENTS
3	03-16-22	P.D. COMMENTS
4	04-22-22	P.D. COMMENTS

BOUNDARY AND TOPOGRAPHIC SURVEY

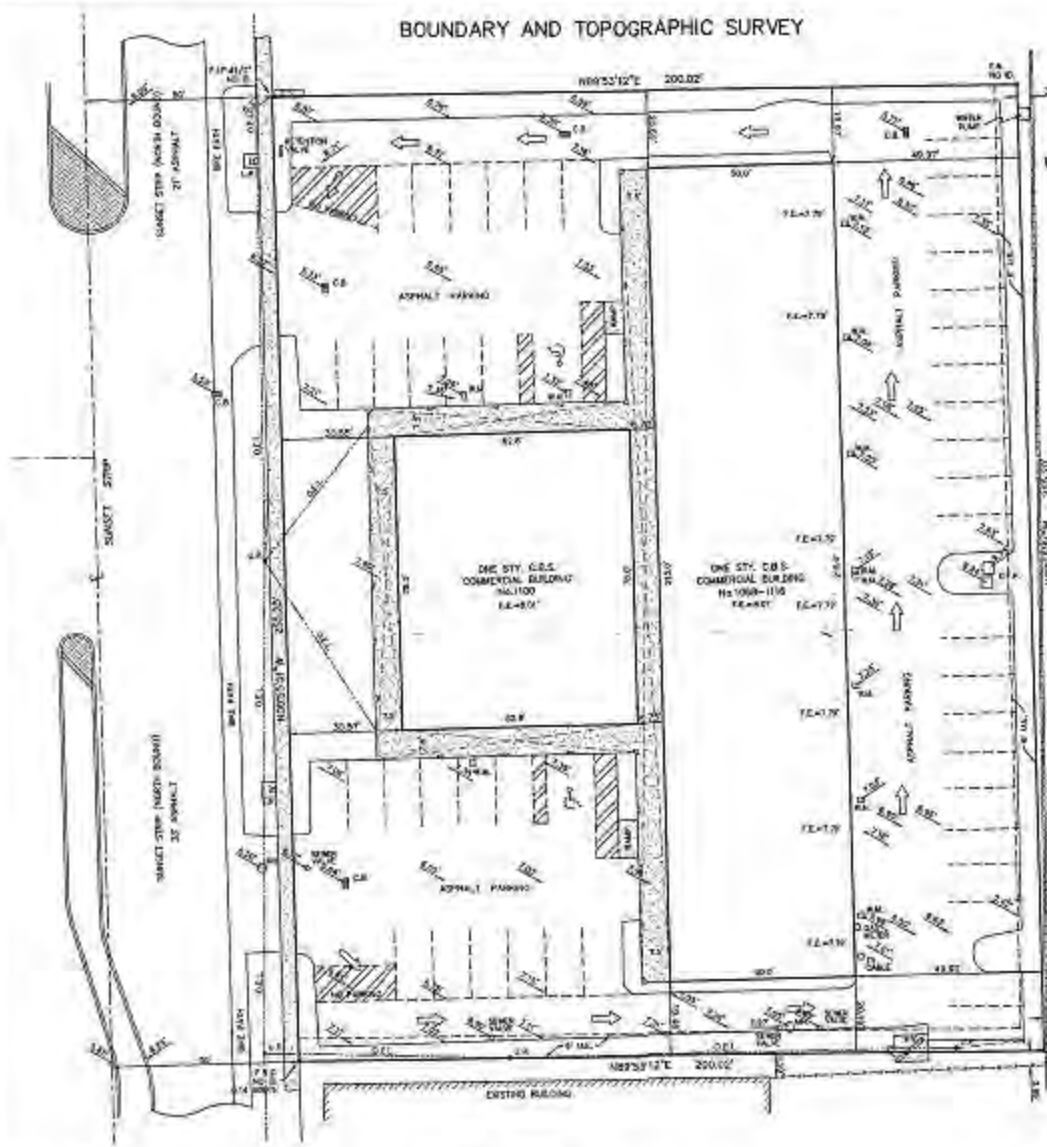
PROPERTY ADDRESS:
1065-1118 SUNSET STRIP, SUNRISE, FLORIDA 33313

LEGAL DESCRIPTION

TRACT C IN THIRD ADDITION TO SUNRISE GOLF VILLAGE SECTION ONE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 33, AT PAGE 27, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.



LOCATION SKETCH
N.T.S.



DESIGNED BY:
FIRST AMERICAN TITLE INSURANCE COMPANY
PROVIDA FILE GROUP, LLC
1100 SUNSET STRIP, LLC
CORAL GABLES
MIAMI, FL 33134

NOTES:

THE COVERED USE OF THE LAND, AS CLAIMED BY THE ENGINEER OR SURVEYOR IS TO BE LIMITED TO THE AREA SHOWN AND THE INFORMATION CONTAINED HEREIN IS TO BE LIMITED TO THE AREA SHOWN AND THE INFORMATION CONTAINED HEREIN. THE ENGINEER OR SURVEYOR HAS NOT CONDUCTED A VISUAL INSPECTION OF THE LAND OR THE STRUCTURES SHOWN AND HAS NOT CONDUCTED A VISUAL INSPECTION OF THE LAND OR THE STRUCTURES SHOWN AND HAS NOT CONDUCTED A VISUAL INSPECTION OF THE LAND OR THE STRUCTURES SHOWN.

FIELD CONDITIONS INFORMATION (FIELD INFO)
DATE OF FIELD: 08-15-14
COMPILED BY: J20328
FIELD: 0363 SURVEY L
SCALE: 1" = 40'

ABBREVIATIONS AND LEGEND

ABC = 30' CENTERLINE R/W	C1A = EXISTING FOUNDATION R/W	MAE = MEASURED	CL = CENTERLINE	EA = EXISTING ASPHALT DRIVE
AD = 4" DIA. DRIVE	EA = 2" DIA. DRIVE	MAE = MEASURED	EA = EXISTING ASPHALT DRIVE	EA = EXISTING ASPHALT DRIVE
AS = 4" DIA. DRIVE	EA = 2" DIA. DRIVE	MAE = MEASURED	EA = EXISTING ASPHALT DRIVE	EA = EXISTING ASPHALT DRIVE
AS = 4" DIA. DRIVE	EA = 2" DIA. DRIVE	MAE = MEASURED	EA = EXISTING ASPHALT DRIVE	EA = EXISTING ASPHALT DRIVE
AS = 4" DIA. DRIVE	EA = 2" DIA. DRIVE	MAE = MEASURED	EA = EXISTING ASPHALT DRIVE	EA = EXISTING ASPHALT DRIVE

NOSTER, LLC
LAND SURVEYORS AND LAND PLANNERS
1842 S.W. 12TH PLACE, MIAMI, FLORIDA 33175
PHONE: (305) 221-3141 FAX: (305) 221-9180
www.nosterllc.com

DATE: 10-21-14

FACADE RENOVATION @ 1100 SUNSET STRIP

1064 THRU 1116 SUNSET STRIP.
SUNRISE, FLORIDA 33313

DTI PROJECT # : 21028.01



DIRECTORY:

OWNER/DEVELOPER
COMPANY 1100 SUNSET STREET LLC.
ADDRESS 5935 NE 2nd AVENUE
MIAMI, FL. 33137

ARCHITECT
COMPANY DESIGN TECH INTERNATIONAL
ASSOC. INC.
CONTACT CARLOS PIZARRO, R.A.
AR - 0013079
ADDRESS 14125 NW 80TH AVENUE
SUITE# 303
MIAMI LAKES, FL. 33016
PHONE 786.235.9097
EMAIL CPIZARRO@DTIARCHITECT.COM
WEBSITE WWW.DTIARCHITECT.COM

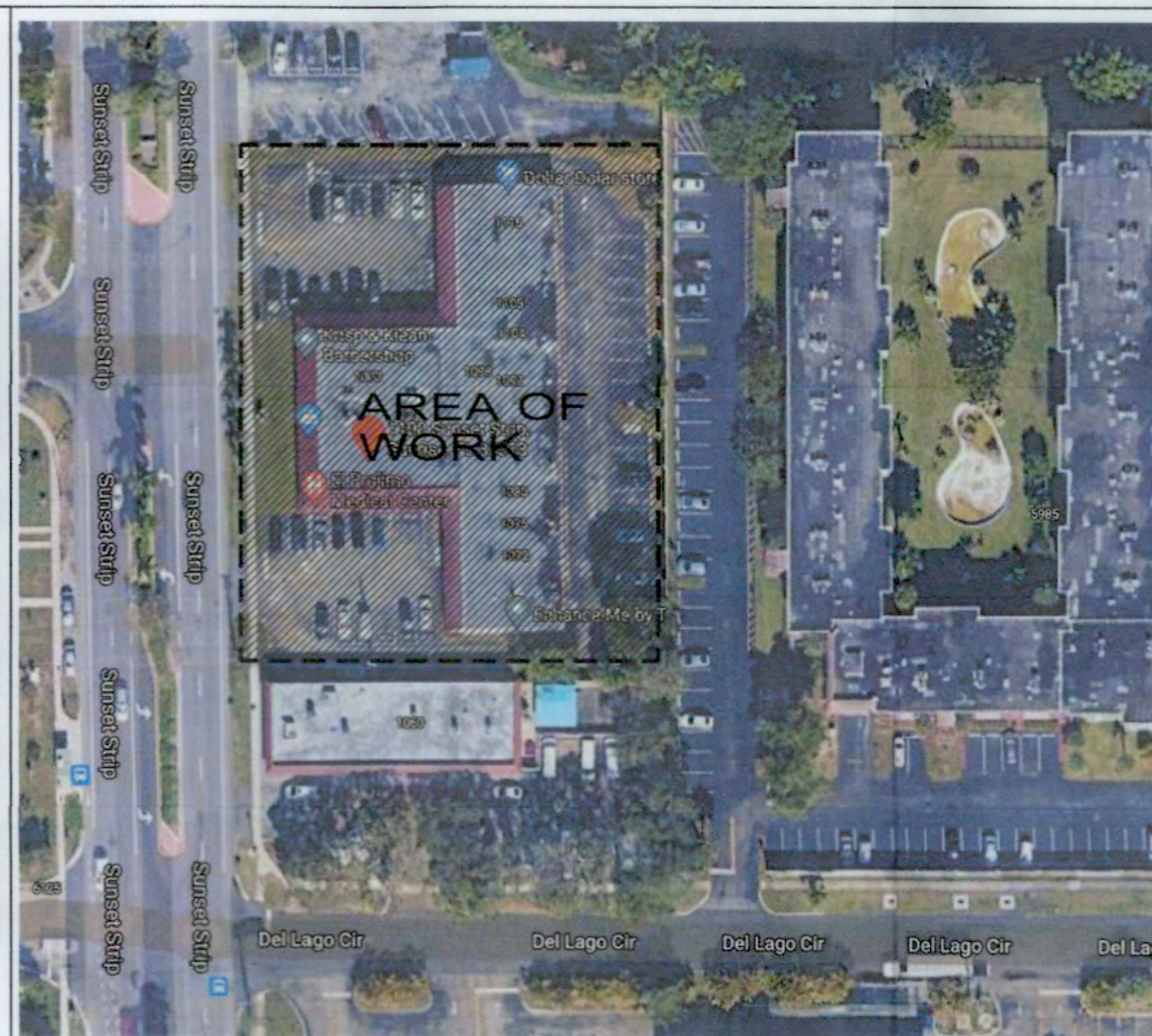
SURVEYOR
COMPANY NOSTER, LLC
ADDRESS 1842 S.W. 124th PLACE,
MIAMI, FL 33175
PHONE 305.221.3040
EMAIL NOSTERLLC@GMAIL.COM

LEGAL DESCRIPTION:

TRACT G, IN THIRD ADDITION TO SUNRISE GOLF VILLAGE SECTION ONE,
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 72, AT PAGE 27,
OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA,
SECTION 35 / TOWNSHIP 49 / RANGE 41



LOCATION MAP
SCALE: NTS



AERIAL MAP
SCALE: NTS

SYMBOL LEGEND:

- ELEVATION NUMBER SHEET NUMBER
- NOTE NUMBER
- DETAIL SECTION OR PLAN NUMBER
- WINDOW NUMBER
- WALL SECTION NUMBER / BUILDING SECTION LETTER SHEET NUMBER
- DOOR NUMBER
- DETAIL NUMBER SHEET NUMBER
- REVISION NUMBER
- ELEVATION DATUM POINT
- ROOM ROOM NAME ROOM NUMBER

INDEX OF DRAWINGS:

SHEET #	DESCRIPTION	SITE PLAN	REV 1	REV 2	REV 3	REV 4
A-0.0	COVER SHEET	•	•	•	•	•
ARCHITECTURE						
A-1.0	EXISTING FLOOR PLAN	•	•			
A-1.1	PROPOSED FLOOR PLAN	•	•	•		
A-2.0	EXISTING CONDITION ROOF PLAN	•	•			
A-2.1	PROPOSED ROOF PLAN	•	•	•		
A-3.0	EXISTING ELEVATIONS	•	•			
A-4.0	PROPOSED ELEVATIONS	•	•	•	•	•

SCOPE OF WORK:

TO PREPARE DOCUMENTS ILLUSTRATING THE EXISTING CONDITIONS AND THE PROPOSED FACADE MODIFICATION TO THE 1100 SUNSET STRIP SHOPPING CENTER.

NOTE:

"THIS PLAN SET IS APPROVED PURSUANT TO SECTION 16-32 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE (CITY CODE) AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH THE FLORIDA BUILDING CODE. ANY CHANGES TO DETAILS SHOWN, TO SATISFY THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE LAND DEVELOPMENT CODE."

LEAVE BLANK - FOR CITY USE ONLY

OWNER/ DEVELOPER:

1100 SUNSET STREET LLC.
5935 NE 2nd AVENUE,
MIAMI, FL 33137

PROJECT:

**FACADE RENOVATION
@ 1100 SUNSET STRIP,
SUNRISE**

1064 THRU 1116 SUNSET STRIP
SUNRISE, FL 33313

21028.01

Revisions:

1	10-04-21	P.D. COMMENTS
2	01-14-22	P.D. COMMENTS
3	03-16-22	P.D. COMMENTS
4	04-22-22	P.D. COMMENTS

DRAWING TITLE

COVER SHEET

City of Sunrise
Community Development Department
MAY 02 2022
RECEIVED

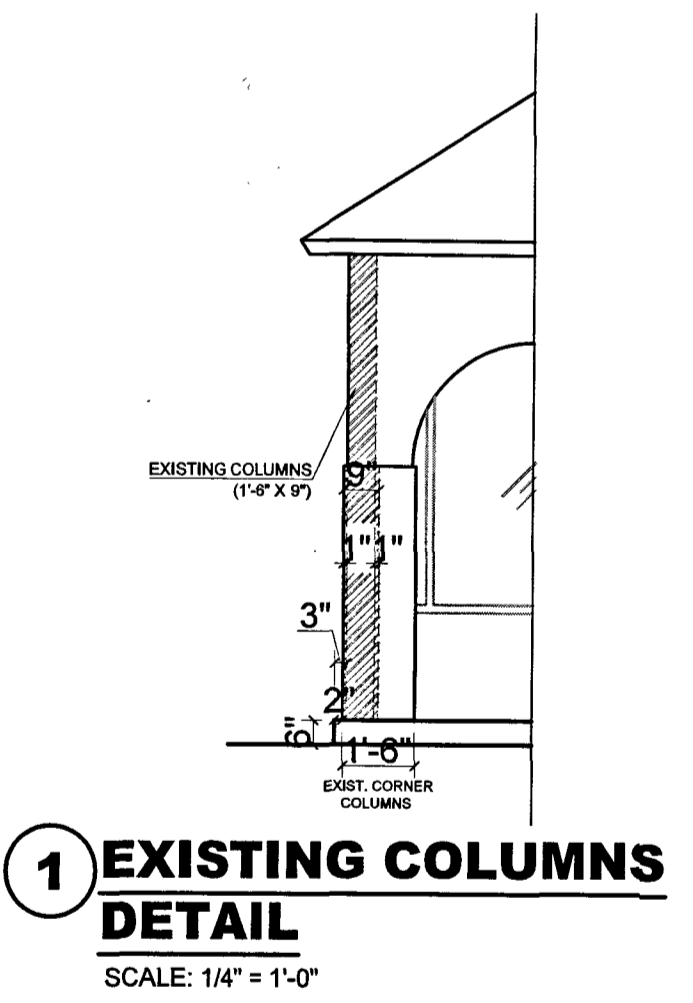
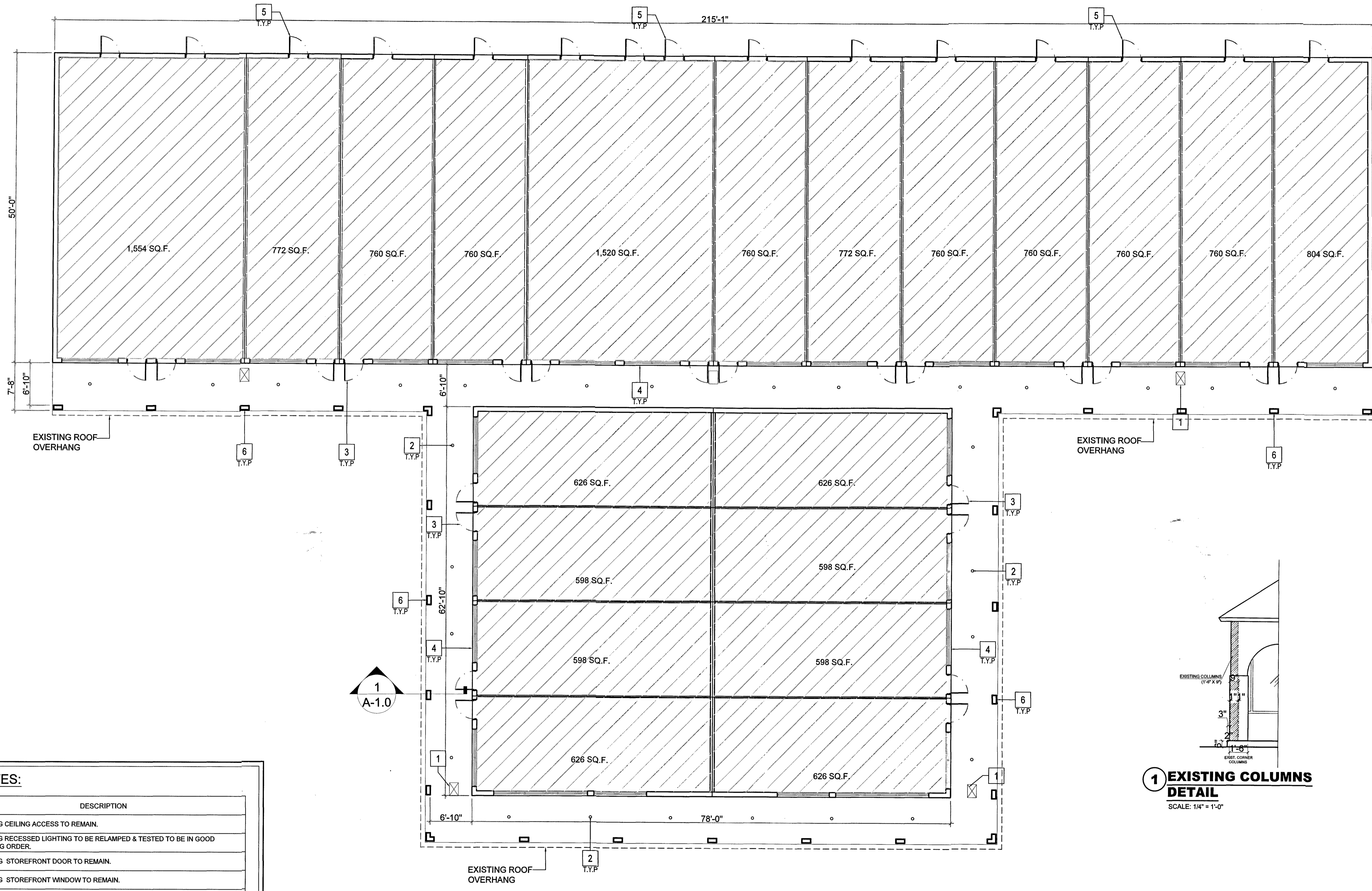


DATE:

04-20-2021

SITE PLAN SHEET NO.

A-0.0

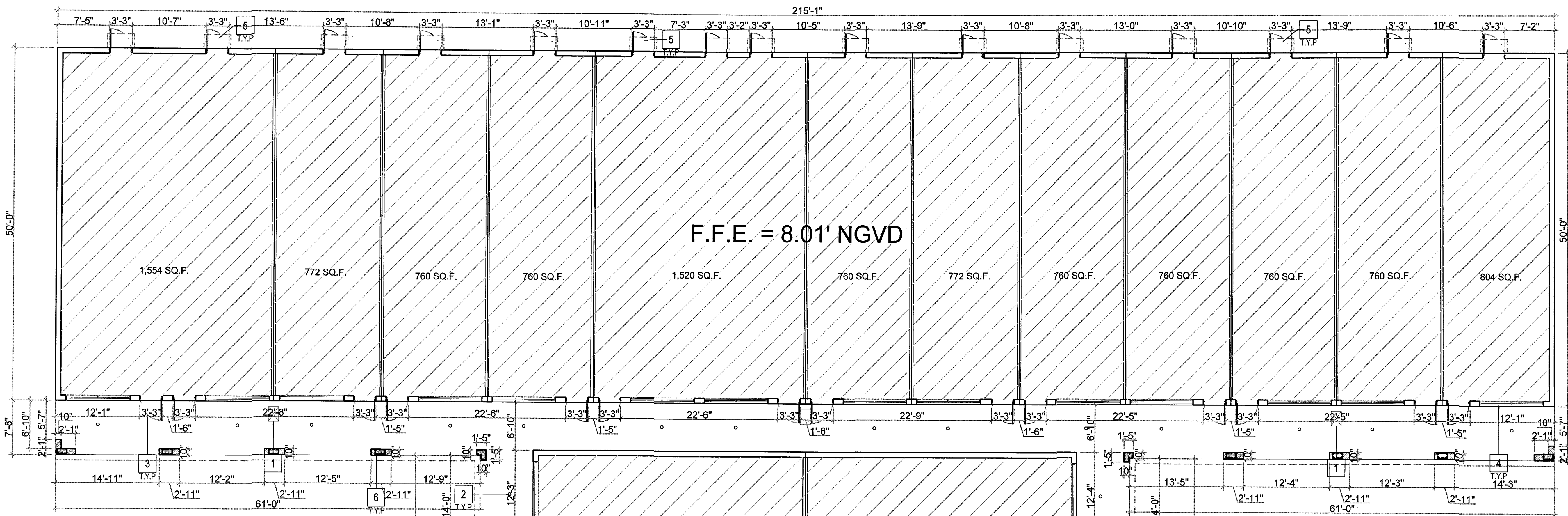


KEY NOTES:

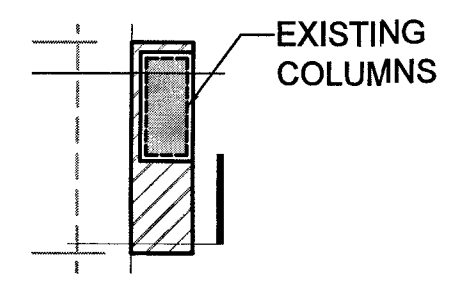
ITEM #	DESCRIPTION
1	EXISTING CEILING ACCESS TO REMAIN.
2	EXISTING RECESSED LIGHTING TO BE RELAMPED & TESTED TO BE IN GOOD WORKING ORDER.
3	EXISTING STOREFRONT DOOR TO REMAIN.
4	EXISTING STOREFRONT WINDOW TO REMAIN.
5	EXISTING METAL DOOR TO REMAIN.
6	EXISTING COLUMNS TO REMAIN.

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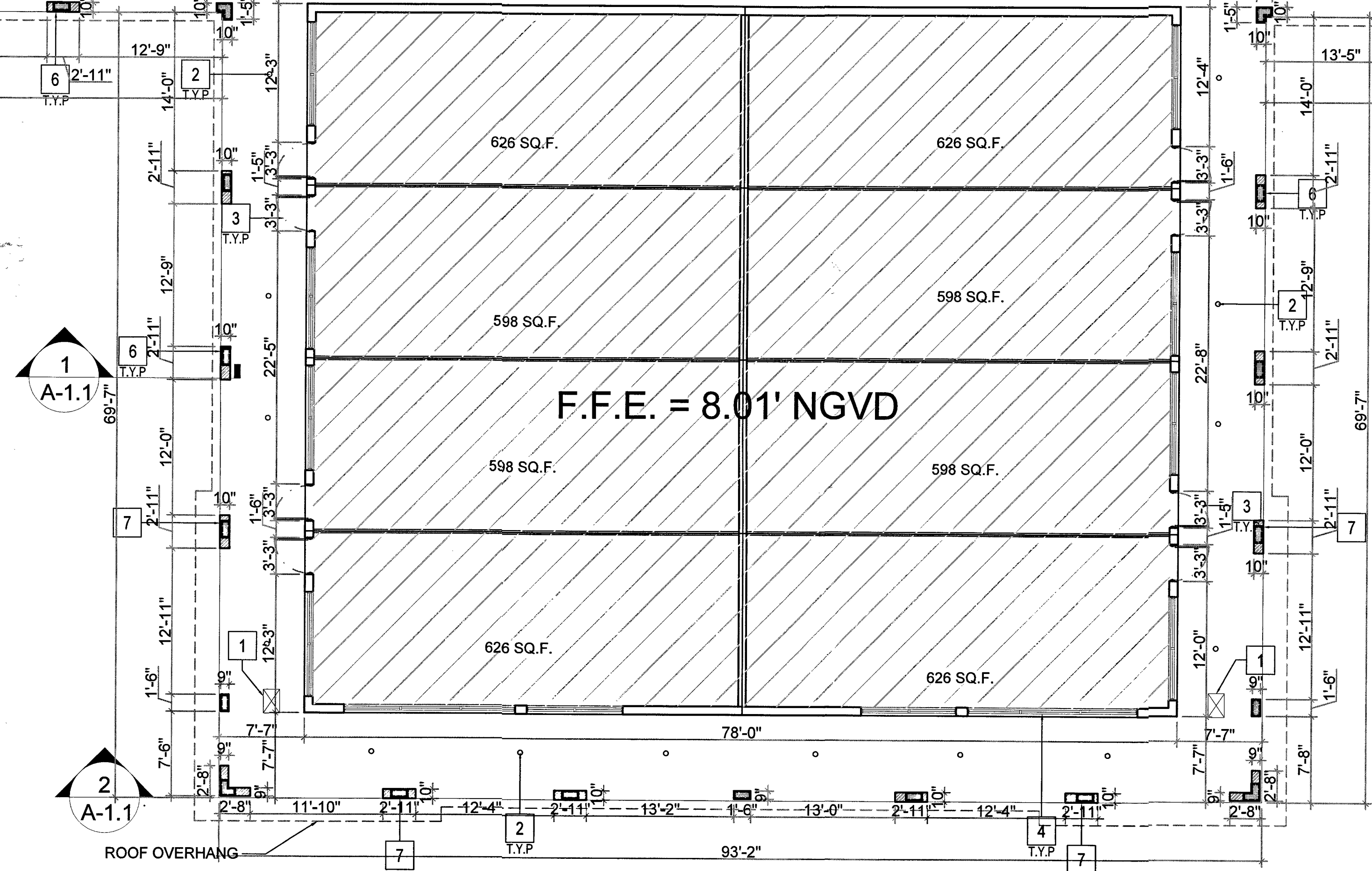
<p>DesignTech International Associates, Inc. AA26001933 Architecture • Planning • Interior Design 14125 N.W. 80th Ave. Suite 303 Miami Lakes, FL 33016 T. 786-235-9097 F. 305-362-4420 dtinfo@dtiarchitect.com www.dtiarchitect.com</p>	<p>OWNER/ DEVELOPER:</p> <p>1100 SUNSET STREET LLC. 5935 NE 2nd AVENUE, MIAMI, FL 33137</p>	<p>PROJECT:</p> <p>FACADE RENOVATION @ 1100 SUNSET STRIP, SUNRISE 1064 THRU 1116 SUNSET STRIP SUNRISE, FL 33313</p>	<p>21028.01</p> <p>Revisions:</p> <table border="1"> <tr> <td>10-04-21</td> <td>P.D. COMMENTS</td> </tr> <tr> <td>01-14-22</td> <td>P.D. COMMENTS</td> </tr> </table>	10-04-21	P.D. COMMENTS	01-14-22	P.D. COMMENTS	<p>DRAWING TITLE</p> <p>EXISTING FLOOR PLAN</p>	<p>Carlos Pizarro, R.A. AR - 0013079 02-03-2022</p>	<p>DATE:</p> <p>04-20-2021</p> <p>SITE PLAN SHEET NO.</p> <p>A-1.0</p>
	10-04-21	P.D. COMMENTS								
01-14-22	P.D. COMMENTS									
<p>DATE: 04-20-2021</p> <p>SITE PLAN SHEET NO. A-1.0</p>										



1 NEW COLUMNS CONDITIONS DETAIL

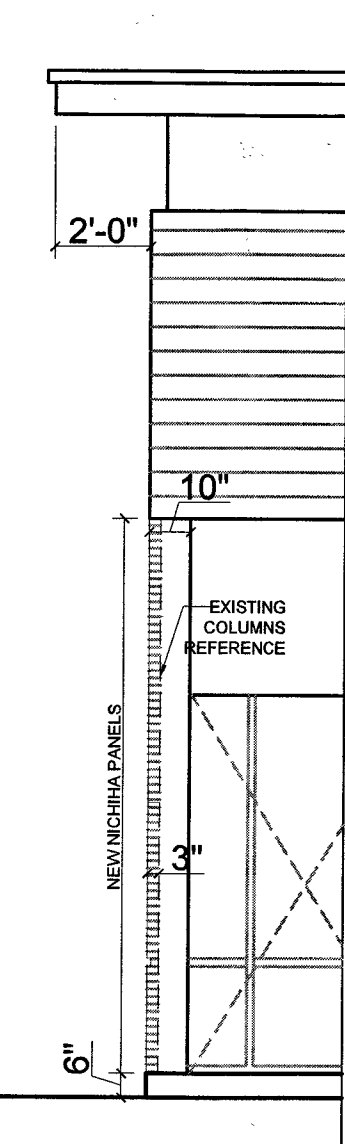


1 A-1.1

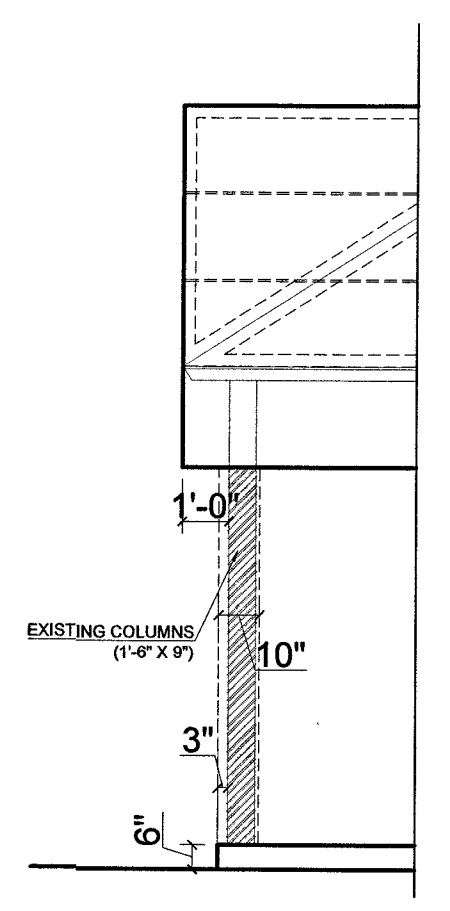


2 A-1.1

2 NEW COLUMNS ELEVATION
SCALE: 1/4" = 1'-0"



1 NEW COLUMNS SECTION
SCALE: 1/4" = 1'-0"



KEY NOTES:

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4	EXISTING STOREFRONT WINDOW TO REMAIN.
5	EXISTING METAL DOOR TO REMAIN.
6	NEW EXPANDED COLUMNS (SEE DETAIL 1/A-1.1)
7	FACE OF NEW FACADE (NICIHA PANELS TYP)

PROPOSED FLOOR PLAN
SCALE: 1/8" = 1'-0"
HIGHEST CROWN OF ROAD = 6.65' NGVD

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dtinfo@dtiarchitect.com
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PROJECT: 21028.01
**FACADE RENOVATION
@ 1100 SUNSET STRIP,
SUNRISE**
1064 THRU 1116 SUNSET STRIP
SUNRISE, FL 33313

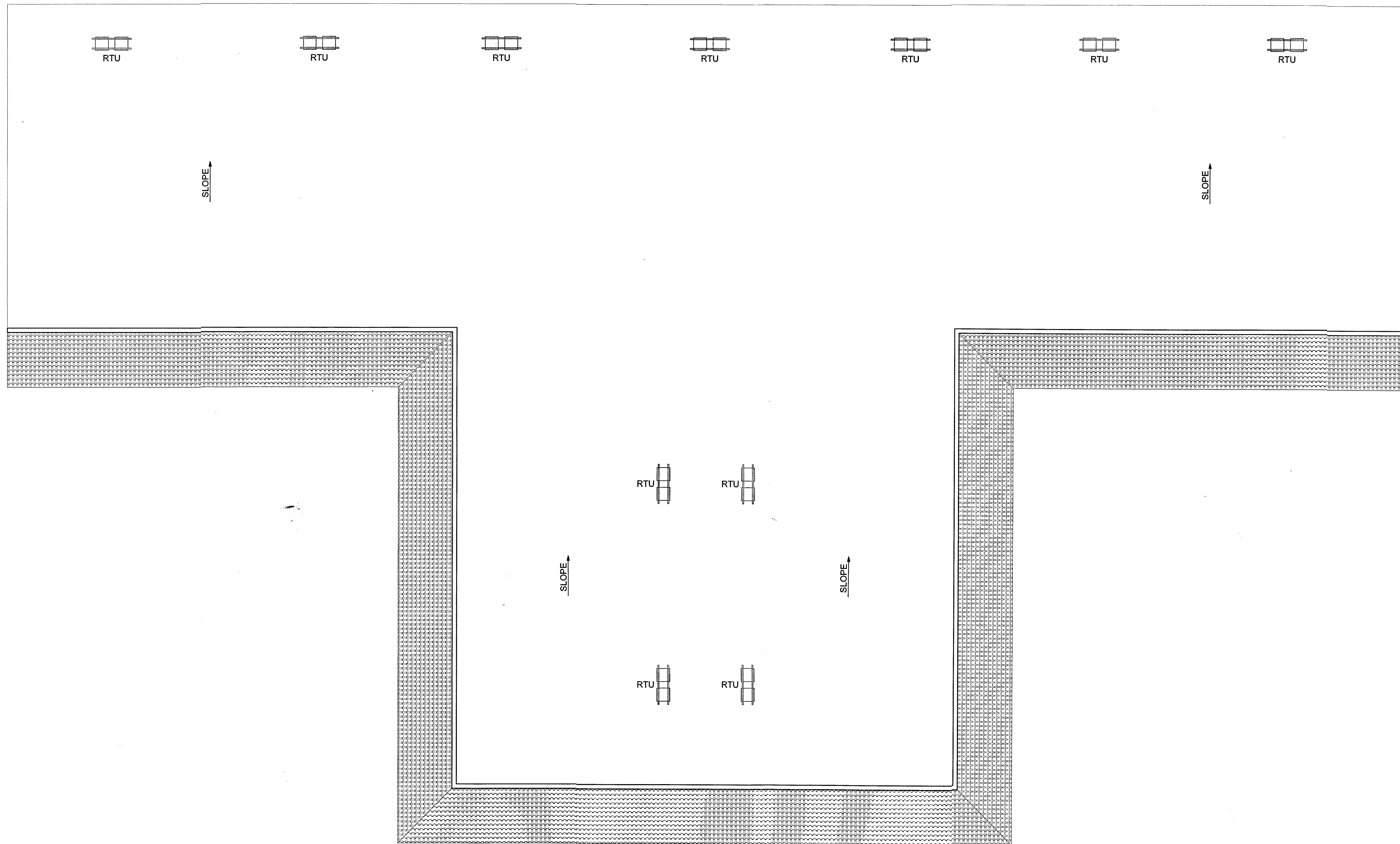
Revisions:

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DRAWING TITLE
PROPOSED FLOOR PLAN

STATE OF FLORIDA
CARLOS PIZARRO
REGISTERED ARCHITECT
AR0013079
Carlos Pizarro, R.A.
AR - 0013079
02-03-2022

DATE:
04-20-2021
SITE PLAN SHEET NO.
A-1.1



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EXISTING CONDITION ROOF PLAN
SCALE: 1/8" = 1'-0"

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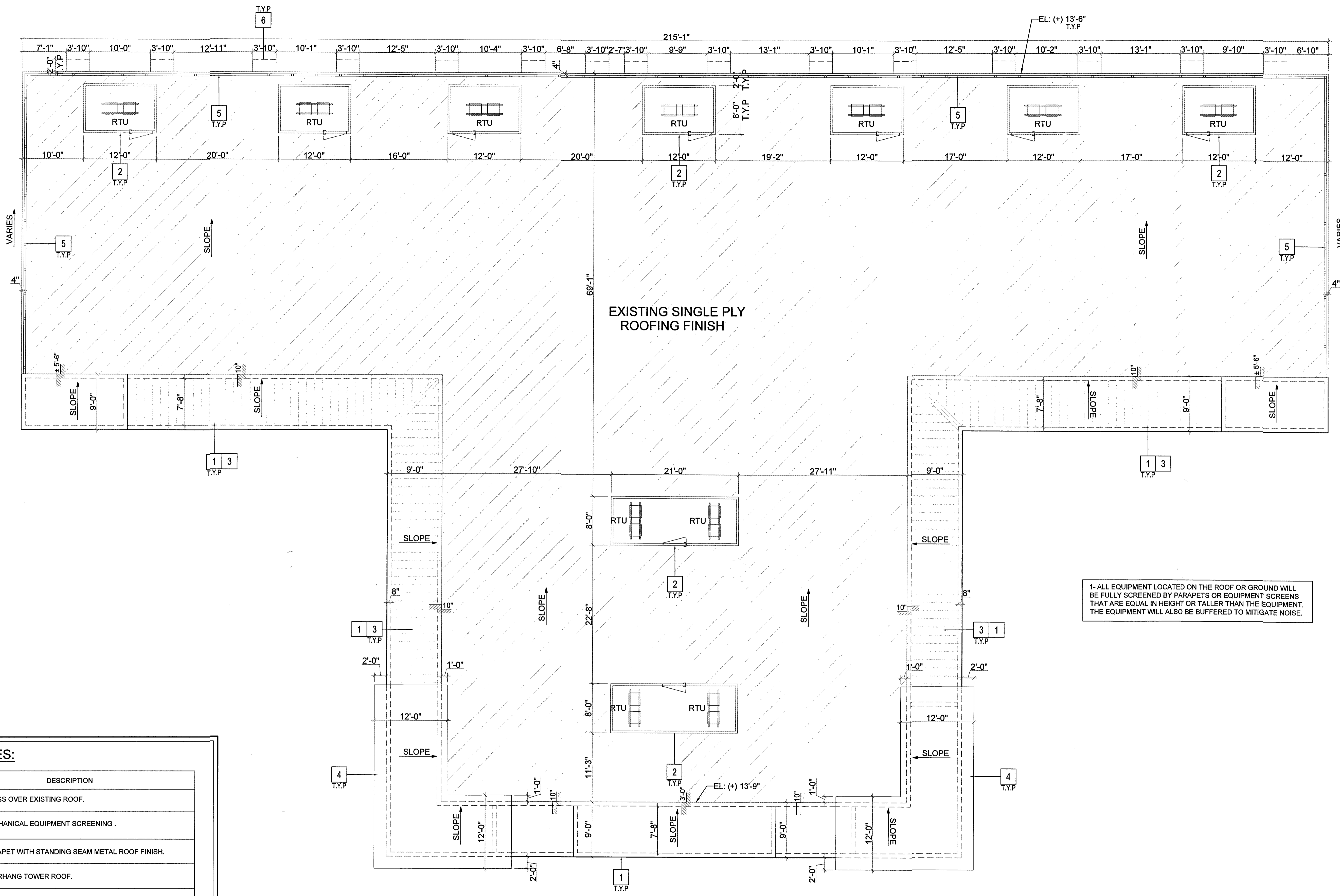
PROJECT: 21028.01
**FACADE RENOVATION
@ 1100 SUNSET STRIP,
SUNRISE**
1064 THRU 1116 SUNSET STRIP
SUNRISE, FL 33313

Revisions:	
△ 10-04-21	P.D. COMMENTS
△ 01-14-22	P.D. COMMENTS

DRAWING TITLE
**EXISTING CONDITION
ROOF PLAN**

STATE OF FLORIDA
CARLOS PIZARRO
REGISTERED ARCHITECT
AR - 0013079
02-03-2022
Carlos Pizarro, R.A.
AR - 0013079
02-03-2022

DATE: 04-20-2021
SITE PLAN SHEET NO.
A-2.0



1- ALL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.

KEY NOTES:

ITEM #	DESCRIPTION
1	NEW TRUSS OVER EXISTING ROOF.
2	NEW MECHANICAL EQUIPMENT SCREENING.
3	NEW PARAPET WITH STANDING SEAM METAL ROOF FINISH.
4	NEW OVERHANG TOWER ROOF.
5	NEW LOUVER SCREENING.
6	CANVAS AWNING. (SEE SHEET A-4.0)

PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

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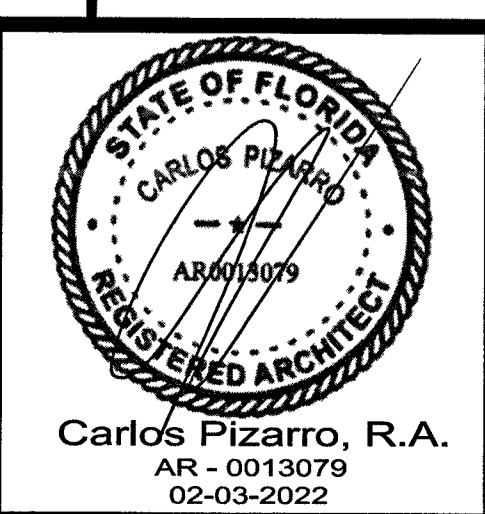


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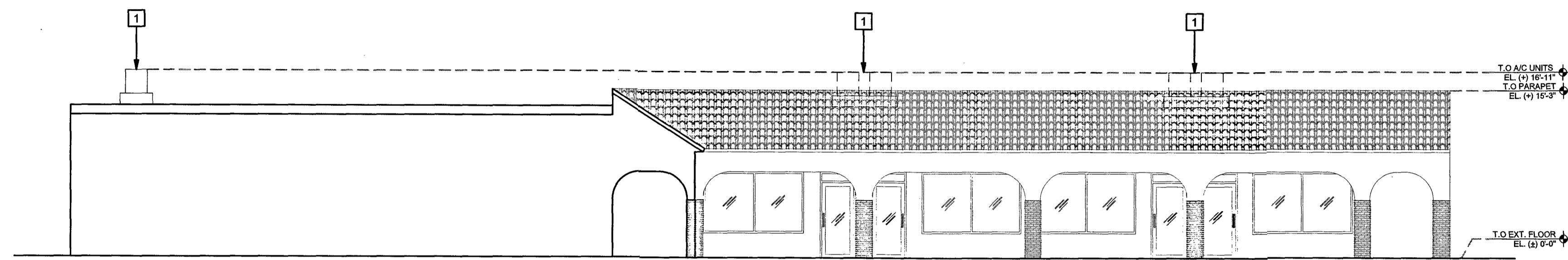
PROJECT: 21028.01
FACADE RENOVATION @ 1100 SUNSET STRIP, SUNRISE
1064 THRU 1116 SUNSET STRIP
SUNRISE, FL 33313

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DRAWING TITLE
PROPOSED ROOF PLAN

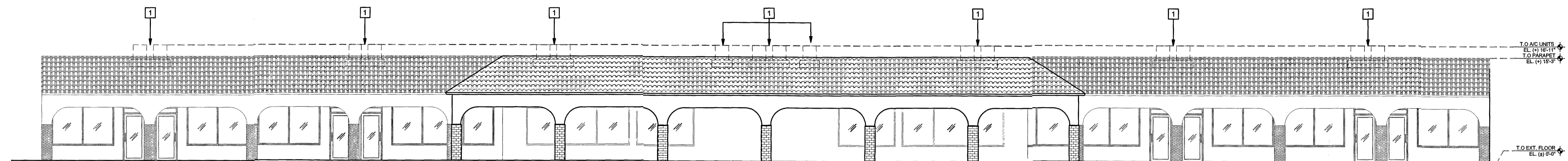


DATE: 04-20-2021
SITE PLAN SHEET NO.
A-2.1



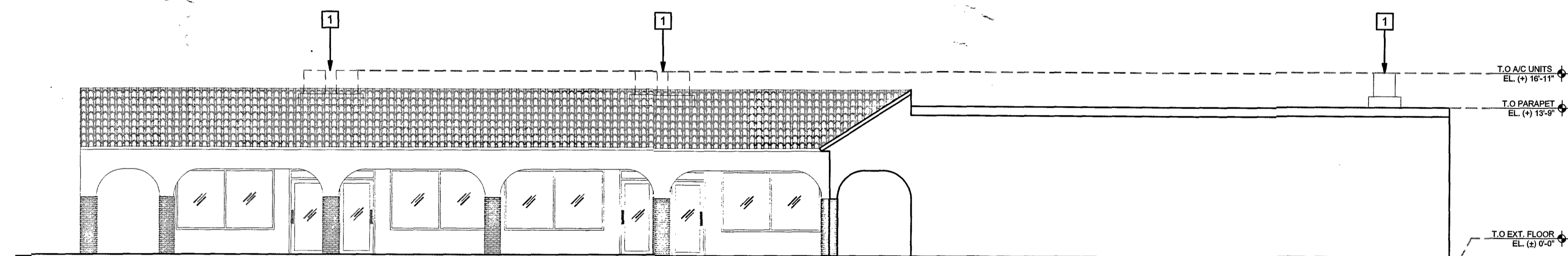
EXISTING NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING WEST ELEVATION

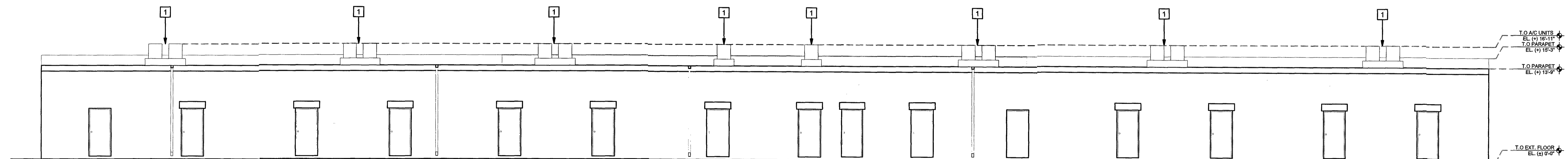
SCALE: 1/8" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

1 EXISTING RTU ON ROOF



EXISTING EAST ELEVATION

SCALE: 1/8" = 1'-0"

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EXISTING ELEVATIONS

STATE OF FLORIDA
CARLOS PIZARRO
REGISTERED ARCHITECT
AR0013079
Carlos Pizarro, R.A.
AR - 013079
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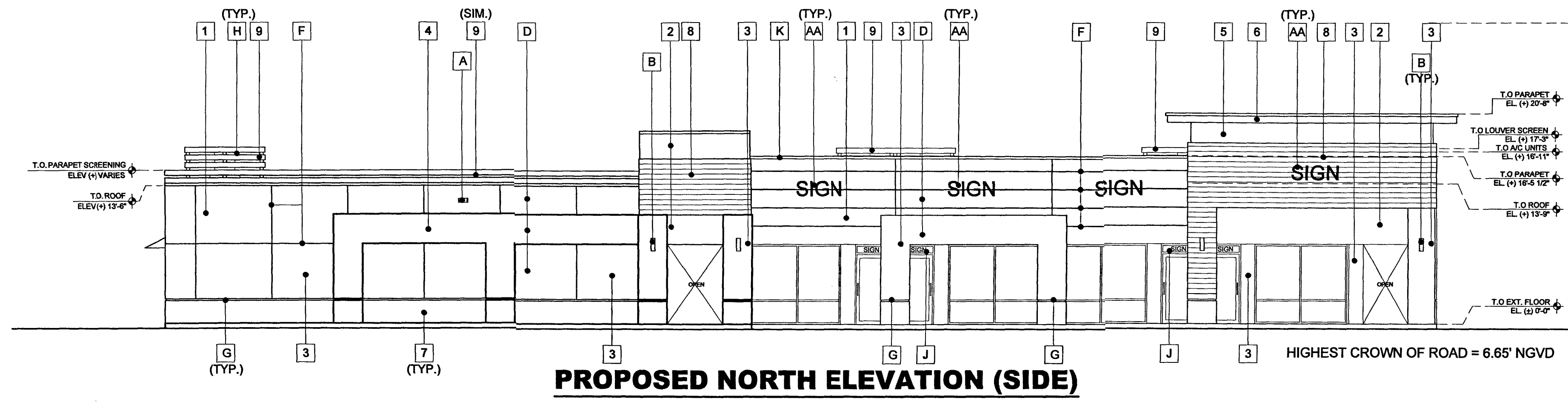
04-20-2021

SITE PLAN SHEET NO.

A-3.0

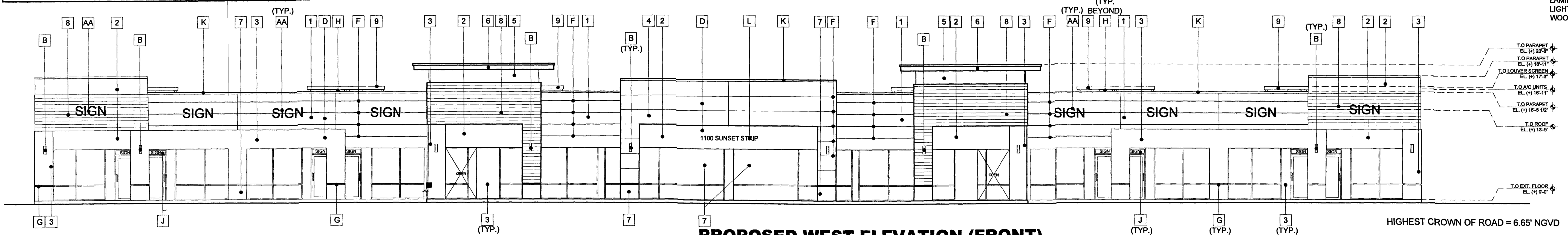
ELEVATION KEYED NOTES:

ITEM #	DESCRIPTION
A	ALCON LIGHTING ARCHITECTURAL LED. (FULL CUT OFF WALL PACK)
AA	FUTURE SIGNS. UNDER SEPARATE PERMIT.
B	ALCON LIGHTING ZEN ARCHITECTURAL LED.
C	DOWNSPOUT PAINTED W/ COLOR #1
D	SMOOTH STUCCO FINISH FOR PAINT COLOR.
E	PARAPET / METAL ROOF BEYOND
F	1" SCORE LINE STUCCO FINISH W/ REVEAL FRY REGLET.
G	2" SCORE LINE STUCCO FINISH W/ REVEAL FRY REGLET.
H	EXISTING ROOF MOUNTED A/C UNIT.
I	CANVAS OVERHANGING ABOVE DOOR. (COLOR 6).
J	BUILDING ADDRESS NUMBERS (MIN. 10" HIGH) OVER ENTRY DOORS OR ON REAR DOOR.
K	METAL DRIP TO BE PAINTED TO MATCH COLOR BELOW.
L	1100 SUNSET STRIP FUTURE SIGN. UNDER SEPARATE PERMIT.

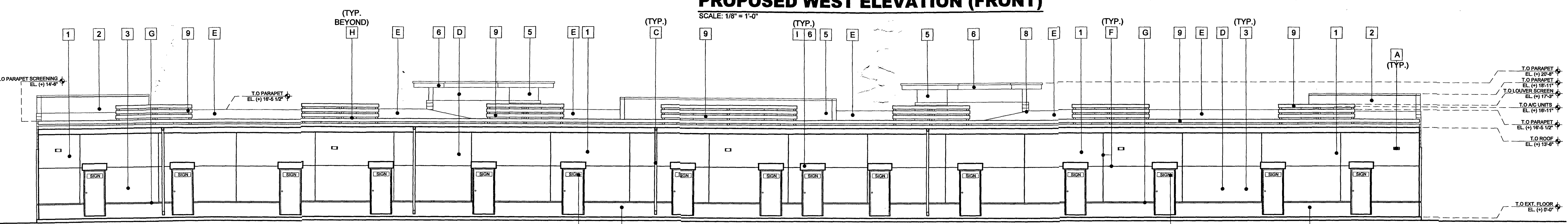


PROPOSED NORTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"

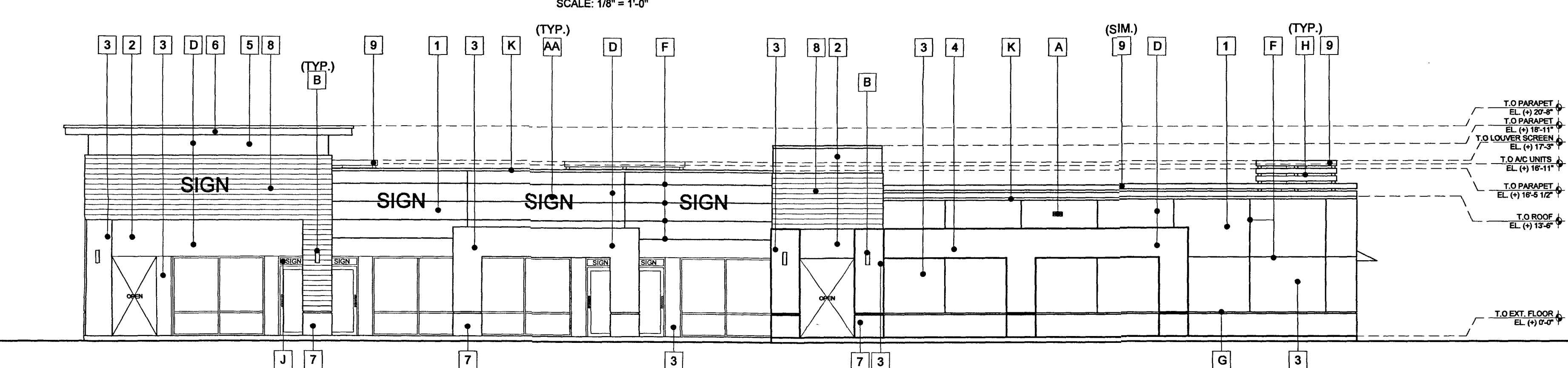
1 SHERWIN WILLIAMS HIGH REFLECTIVE WHITE SW 7757	2 SHERWIN WILLIAMS RHINESTONE SW 7656	3 SHERWIN WILLIAMS SAMOVAR SILVER SW 6233
4 SHERWIN WILLIAMS SEARCHING BLUE SW 6536	5 SHERWIN WILLIAMS EXCLUSIVE PLUM SW 6263	6 SHERWIN WILLIAMS DOMINO SW 6989
7 TRAVERTINI BIANCO PORCELAIN TILE 12" X 24"	8 WOOD FINISH OR EQUAL PRODEMA (HIGH PRESSURE LAMINATE PANELS) LIGHT BROWN, WOOD SPECIES: AYOUS	9 LOUVER SCREENING. ANODIZED ALUMINUM FINISH



PROPOSED WEST ELEVATION (FRONT)
SCALE: 1/8" = 1'-0"



PROPOSED EAST ELEVATION (REAR)
SCALE: 1/8" = 1'-0"



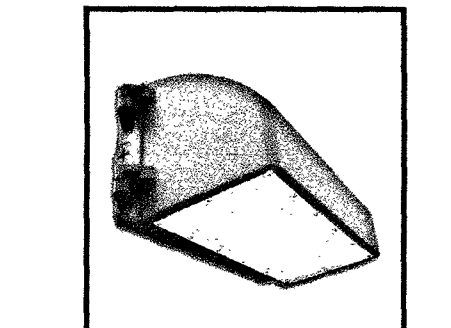
PROPOSED SOUTH ELEVATION (SIDE)
SCALE: 1/8" = 1'-0"

COLOR PERCENTAGE CHART:

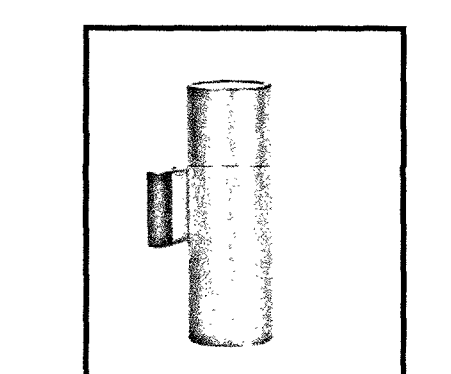
NORTH ELEVATION:
TOTAL FACADE AREA = 1,608 SF
TOTAL BLUE FACADE AREA = 119 SF (7.4%)
WEST ELEVATION:
TOTAL FACADE AREA = 2,495 SF
TOTAL BLUE FACADE AREA = 245 SF (9.8%)
SOUTH ELEVATION:
TOTAL FACADE AREA = 1,608 SF
TOTAL BLUE FACADE AREA = 119 SF (7.4%)
EAST ELEVATION:
TOTAL FACADE AREA = 2,634 SF
TOTAL BLUE FACADE AREA = 0 SF (0%)

ILLUMINATION NOTE:
MAXIMUM ILLUMINATION LEVEL ON ANY VERTICAL AND ANGULAR SURFACE SHALL NOT EXCEED 5.0 AVERAGE FOOTCANDLE RATING.

SIGNAGE NOTE:
ALL EXTERIOR SIGNAGE WILL REQUIRE SEPARATE REVIEW AND APPROVAL THROUGH THE UNIFORM SIGN CRITERIA FOR THE PROPERTY AND PRIOR TO BUILDING PERMIT APPROVAL FOR THE SIGNS.



A ALCON LIGHTING 11145. ARCHITECTURAL LED. FULL CUT OFF WALL PACK. FINISH SILVER.



B ALCON LIGHTING 11240-2. ZEN ARCHITECTURAL LED. TALL W 5" X 15" X L 7 1/2". FINISH SILVER.

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