

Saler Solutions LLC

PROPERTY & CONSTRUCTION MANAGEMENT

11/27/2020

Project: Cypress of Sunrise

To Whom It May Concern,

I Paulo Antonione, the applicant, I am requesting the City of Sunrise to review site plans and master development plans with the intent to build 3 duplex with the commercial intent of renting the units, in the lots located at 9070 NW 38th Street, Sunrise FL 33351, with multiple folio numbers (see attached) by the project name Cypress of Sunrise. The design intent is to develop an aesthetic complex that cooperates with the new identity planned for the area, providing a design that includes a variety of finish materials and volumetric movement that enrich the elevations. This will be achieved with the use of stone veneers and varied roof styles that emphasize the difference of volumes, balconies with decorative guardrails, and incorporating molding, paint and pavers all in matching palettes for a tranquil environment.

The site operations will occur in a manner that minimize the disruption of the neighboring buildings regular activities. Providing notifications in advance of any activity that may affect them if applicable.

May you have any further questions, please do not hesitate to contact me.

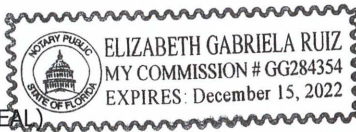
Sincerely,

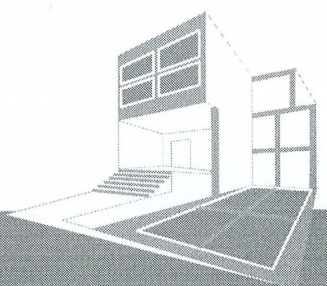
Paulo Antonione
312-907-0622

State of Florida
County of Broward

The foregoing instrument was acknowledge before me this 9 day of December 2020, by Paulo Antonione who produce a State of Florida Driver license as identification driver license

Notary Public State of Florida

(NOTARY SEAL) 





OVERALL VIEW



MUVE ARCHITECTURE, LLC
1023 NW 31ST AVE
POMPANO BEACH, FL 33069
PHONE: (954) 812-6650
www.muvearch.com

THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

RENDERINGS

SEAL

DATE

05.21.19

DRAWING NO.

R-1



FRONT FACADE



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THE CYPRESS OF SUNRISE
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RENDERINGS

SEAL

DATE

05.21.19

DRAWING NO.

R-2



REAR FACADE



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POMPANO BEACH, FL 33069
PHONE: (954) 812-6650
www.muvearch.com

THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

RENDERINGS

SEAL

DATE:

05.21.19

DRAWING NO.

R-3



SIDE FACADE



MUVE ARCHITECTURE, LLC
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POMPANO BEACH, FL 33069
PHONE: (954) 812-6650
www.muvearch.com

THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

RENDERINGS

SEAL

DATE:

05.21.19

DRAWING NO.

R-4

RESIDENTIAL PROJECT

THE CYPRESS OF SUNRISE

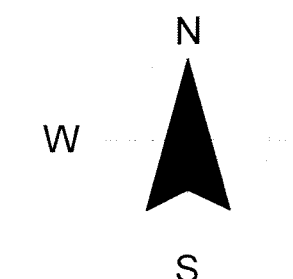
9070 NW 38TH. ST., SUNRISE, FLORIDA 33351



MUVE ARCHITECTURE
5453 NW 106TH DR
CORAL SPRINGS, FL 33076
RICARDO J. MUNIZ-GUILLET
PHONE: 954.812.6650
EMAIL: ricardo@muvearch.com
LIC. # AR97841

LEGAL DESCRIPTION

PARCELS A CYPRESS OF SUNRISE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 183, AT PAGE 444 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LYING AND BEING IN SECTION 20, TOWNSHIP 49 SOUTH, RANGE 41 EAST, CITY OF SUNRISE, BROWARD COUNTY, FLORIDA.



1 LOCATION MAP
G-101 N.T.S.

DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G-101	COVER SHEET
SP-101	ARCHITECTURAL SITE PLAN
SP-102	SITE PLAN DETAILS
SP-103	OFF SITE IMPROVEMENTS PLAN
SP-104	SITE DETAILS
A-101	FLOOR PLANS
A-201	NORTH & EAST ELEVATIONS
A-202	SOUTH & WEST ELEVATIONS
SVY-1	SURVEY
TS-1	TREE INVENTORY PLAN
LP-1	LANDSCAPE PLAN
LP-2	LANDSCAPE NOTES AND DETAILS
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION NOTES AND DETAILS
IR-3	IRRIGATION PUMP
PH-101	PHOTOMETRIC PLAN

BUILDING CODES	
CODES	EDITION
BUILDING	2017 FLORIDA BUILDING CODE (6TH EDITION)
MECHANICAL	2017 FLORIDA MECHANICAL CODE
PLUMBING	2017 FLORIDA PLUMBING CODE
ELECTRICAL	2017 NATIONAL ELECTRIC CODE (6TH EDITION)
GAS	2017 FLORIDA BUILDING CODE
ENERGY CONSERVATION	2017 ENERGY CONSERVATION CODE
ACCESSIBILITY	2017 FLORIDA ACCESSIBILITY CODE
FIRE CODE	2017 FLORIDA FIRE PREVENTION CODE - NFPA 1(6TH EDITION)
LIFE SAFETY	2017 FLORIDA FIRE PREVENTION CODE - NFPA101(6TH EDITION)

NOTES:
1. ELEVATION DATUM: NAVD 88



PROJECT NE PERSPECTIVE VIEW

ZONING INFORMATION		
ZONING	RM-10, LOW MEDIUM MULTI-FAMILY RESIDENTIAL DISTRICT	
GROSS LOT AREA	36,224 SQ. FT. (0.832 ACRES)	
TYPE OF STRUCTURE PROPOSED	THREE (3) DUPLEX RESIDENTIAL BUILDINGS SIX (6) 3-BEDROOMS RESIDENTIAL UNITS	
DENSITY	REQUIRED 10 d UNITS/GROSS ACRE = 8 d UNITS	PROPOSED 6 d UNITS
SITE COVERAGE	REQUIRED	PROPOSED
MIN. LOT SIZE	80'-0" 8,000 SQ. FT.	122'-8" 36,224 SQ. FT.
MIN. UNIT AREA	2 BEDROOM = 1,200 SQ. FT. + 1 ADD BR = 1,375 SQ. FT.	3 BEDROOM = 1,866 SQ. FT. OF INTERIOR, AIR-CONDITIONED LIVING SPACE
TOTAL UNITS PROPOSED	6 UNITS	
BLDG. FOOT PRINT PROPOSED	1,210 SQ. FT. PER UNIT X 3 DUPLEX BUILDINGS = 3,630 SQ. FT. = 10% OF LOT AREA	
OVERALL BUILDING FLOOR AREA PROPOSED	2,388 SQ. FT. PER UNIT X 3 DUPLEX BUILDINGS = 7,164 SQ. FT.	
MAX BUILDING HEIGHT	ALLOWED SHALL NOT EXCEED EITHER TWO (2) STORIES OR TWENTY-FIVE (25) FEET	PROPOSED 2 STORIES AT 23'-10"
SETBACKS	REQUIRED	PROVIDED
FRONT (EAST)	25'-0"	26'-11"
STREET SIDE (NORTH)	20'-0"	70'-11"
THROUGH-LOT REAR (WEST)	25'-0"	25'-4"
INTERIOR SIDE (SOUTH)	10'-0"	14'-0"
BETWEEN BUILDINGS	2 ₃ OF 23'-10" = 15'-10 2/3"	33'-0"
PARKING	REQUIRED	PROPOSED
REQUIRED	2.5 SPACES/3BR UNIT = 15 X 10% (VISITORS) = 16.5 SPACES	
PROPOSED	6 GARAGE SPACES + 12 OUTDOOR + 4 VISITORS = 22 SPACES	
PERMEABLE LANDSCAPE AREA	REQUIRED MINIMUM PERVIOUS LANDSCAPED AREA THIRTY-FIVE (35) PERCENT	PROPOSED 16,155 14 SF LANDSCAPE AREAS / 36,224 SF LOT SIZE = 45 (45%)
FLOOD ZONE	X-SHADED, 0.2 PCT ANNUAL CHANCE FLOOD HAZARD	
FLOOD PANEL	12011C0345H	

PROJECT NOTES

- PROJECT SIGNAGE IS NOT PART OF THIS SITE PLAN APPLICATION AND MUST BE SUBMITTED SEPARATELY FOR TO OBTAIN PERMIT.
- RESIDENCE GARAGES ARE PART OF THE PARKING CALCULATIONS OF THIS SITE PLAN APPLICATION. GARAGES ARE NOT TO BE CONVERTED INTO HABITABLE SPACES WITHIN THE RESIDENCES. THIS REQUIREMENT WILL NEED TO BE ADDED TO THE HOA COVENANTS DEVELOPED FOR THIS PROPERTY.
- ALL PROJECT ELEVATIONS SHOWN ON THESE PLANS ARE BASED UPON NAVD 1988
- THIS SITE PLAN SET IS APPROVED PURSUANT TO SECTION 16-31 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE (CITY CODE) AND HAS NOT BEEN REVIEWED FOR COMPLIANCE FLORIDA BUILDING CODE. ANY CHANGES TO DETAILS SHOWN SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE LAND DEVELOPMENT CODE.

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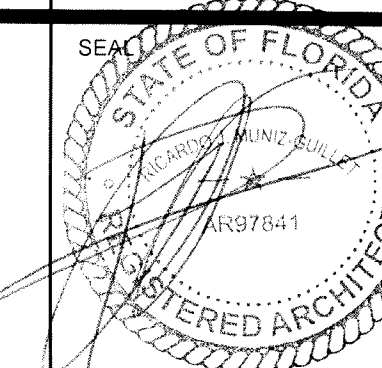


Globe Engineering, Inc.
Civil Engineering - Land Planning - Construction Management
Phone: 954-316-7628
www.civil-engineer.us
4839 SW 148 Avenue, Suite 507
Fort Lauderdale, FL 33330
Certificate of Authorization No. 8604

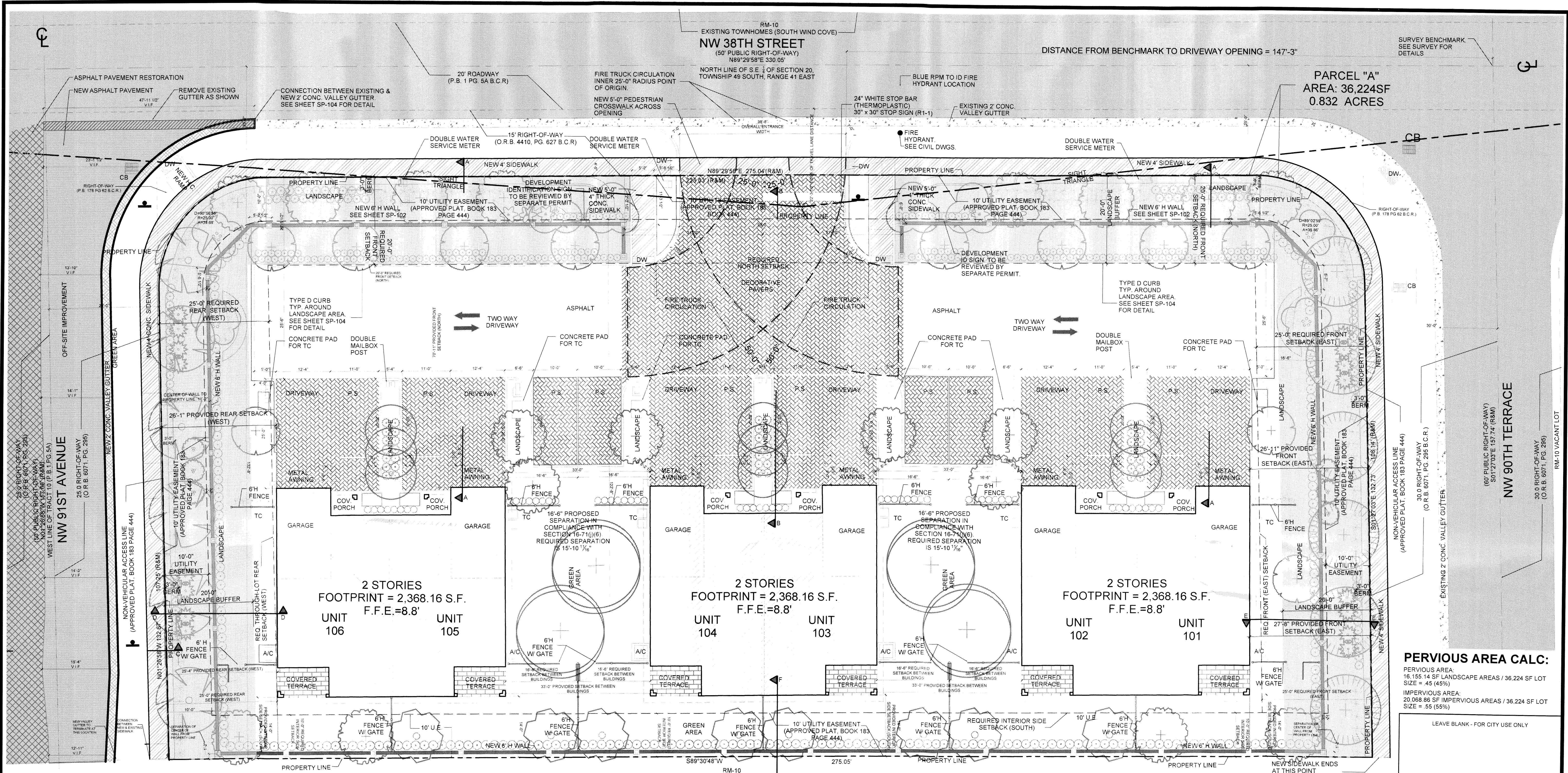
THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

COVER SHEET

RECEIVED
DEC 10 2021
City of Sunrise
Planning & Development



DATE: 08/09/21
DRAWING NO: G-101



PARCEL "A"
AREA: 36,224SF
0.832 ACRES

SITE PLAN
SCALE 3/32"=1'-0"

GENERAL NOTES

- ALL GARAGE DOOR TO BE PROVIDED WITH AUTOMATIC OPENERS.
- NO CONVERSION OF GARAGES TO A HABITABLE ROOM PERMITTED.
- A/C EQUIPMENT AND TRASH CANS SHOWN FOR REFERENCE ONLY AND ARE NOT A SITE PLAN FEATURE. REFER TO BUILDING PERMITS FOR SPECIFIC LOCATIONS AND DETAILS.
- ELEVATION DATUM: NAVD 88.
- 0.2 PCT ANNUAL CHANCE FLOOD HAZARD, FLOOD ZONE X.
- SITE DESIGN TO COMPLY WITH ADA 2010 FLORIDA ACCESSIBILITY CODE.
- ALL TRAFFIC SIGNAGE AND PAVEMENT MARKING TO BE PROVIDED ON THE SITE IN CONFORMANCE WITH BOTE AND MUTCD STANDARDS.
- FOR IMPROVEMENT RELATED TO NW 91ST AVENUE SEE SHEET SP-103.

DETECTABLE WARNING AND RAMP NOTES

CURB RAMP RUNNING SLOPES SHALL NOT BE STEEPER THAN: 1:12 AND CROSS SLOPE SHALL BE 2% OR LESS.

DETECTABLE WARNING SURFACES SHALL BE CONSTRUCTED BY TEXTURING OR APPLYING A TRUNCATED DOME PATTERN IN CONFORMANCE WITH US DEPARTMENT OF JUSTICE A.D.A. STANDARDS FOR ACCESSIBLE DESIGN, A.D.A. ACCESSIBILITY GUIDELINES, SECTION 4.29.2 TRANSITION SLOPES ARE NOT TO HAVE DETECTABLE WARNINGS.

WHERE A CURB RAMP IS CONSTRUCTED WITHIN EXISTING CURB, CURB AND GUTTER AND/OR SIDEWALK, THE EXISTING CURB OR GUTTER SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE CURB TRANSITIONS OR TO THE EXTENT THAT NO REMAINING SECTION OF CURB AND GUTTER IS LESS THAN 5'-0" LONG. THE EXISTING SIDEWALK SHALL BE REMOVED TO THE NEAREST JOINT BEYOND THE TRANSITION SLOPE WALK AROUND OR TO THE EXTENT THAT NO REMAINING SECTION OF SIDEWALK IS LESS THAN 5'-0".

WHERE ADJACENT WALKING SURFACES ARE COLORED OR ARE CONSTRUCTED WITH MATERIALS OTHER THAN STANDARD CLASS I PORTLAND CEMENT CONCRETE, THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK ON LIGHT OR LIGHT ON DARK.

LEGEND

	4 1/2" X 9" AQUALINE PERMEABLE PAVERS BY BELGARD, HERRINGBONE 45" PATTERN	CB	CATCH BASIN		6" H WHITE PVC SHADOWBOX FENCE SEE SHEET SP-102 FOR DETAIL
	4 1/2" X 9" AQUALINE PERMEABLE PAVERS BY BELGARD, RUNNING BOND PATTERN	P.S.	PARKING SPACE		CONCRETE CURB OR SIDEWALK REMOVAL (OFF-SITE IMPROVEMENT)
	DETECTABLE WARNING	TC	TRASH CAN, SHOWN FOR REFERENCE, NOT A SITE PLAN FEATURE		ASPHALT PAVEMENT RESTORATION (OFF-SITE IMPROVEMENT)
	6" H CONCRETE WALL WITH COLUMNS EVERY 25' SEE SHEET SP-102 FOR DETAIL		LIGHTING POLE AND FIXTURE		NEW SIDEWALK (OFF-SITE IMPROVEMENT)
	LANDSCAPE BUFFER		DOUBLE MAILBOX POST		NEW CONCRETE VALLEY GUTTER (OFF-SITE IMPROVEMENT)
			STOP SIGN SEE SHEET SP-104 FOR DETAIL		NEW ASPHALT (OFF-SITE IMPROVEMENT)
					EXISTING VALLEY GUTTERS

PERVIOUS AREA CALC:

PERVIOUS AREA:
16,155.14 SF LANDSCAPE AREAS / 36,224 SF LOT
SIZE = 45 (45%)

IMPERVIOUS AREA:
20,068.86 SF IMPERVIOUS AREAS / 36,224 SF LOT
SIZE = 55 (55%)

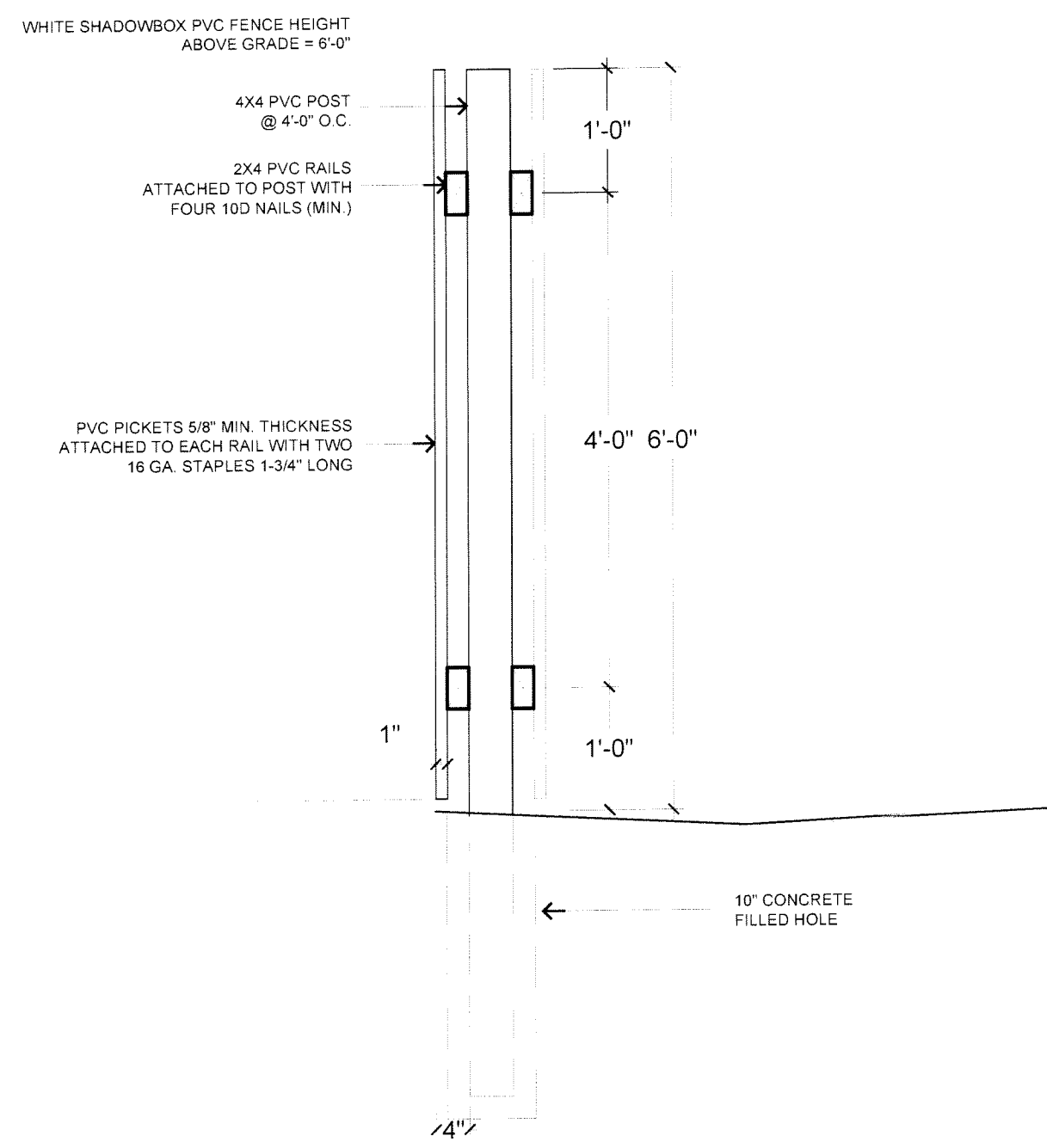
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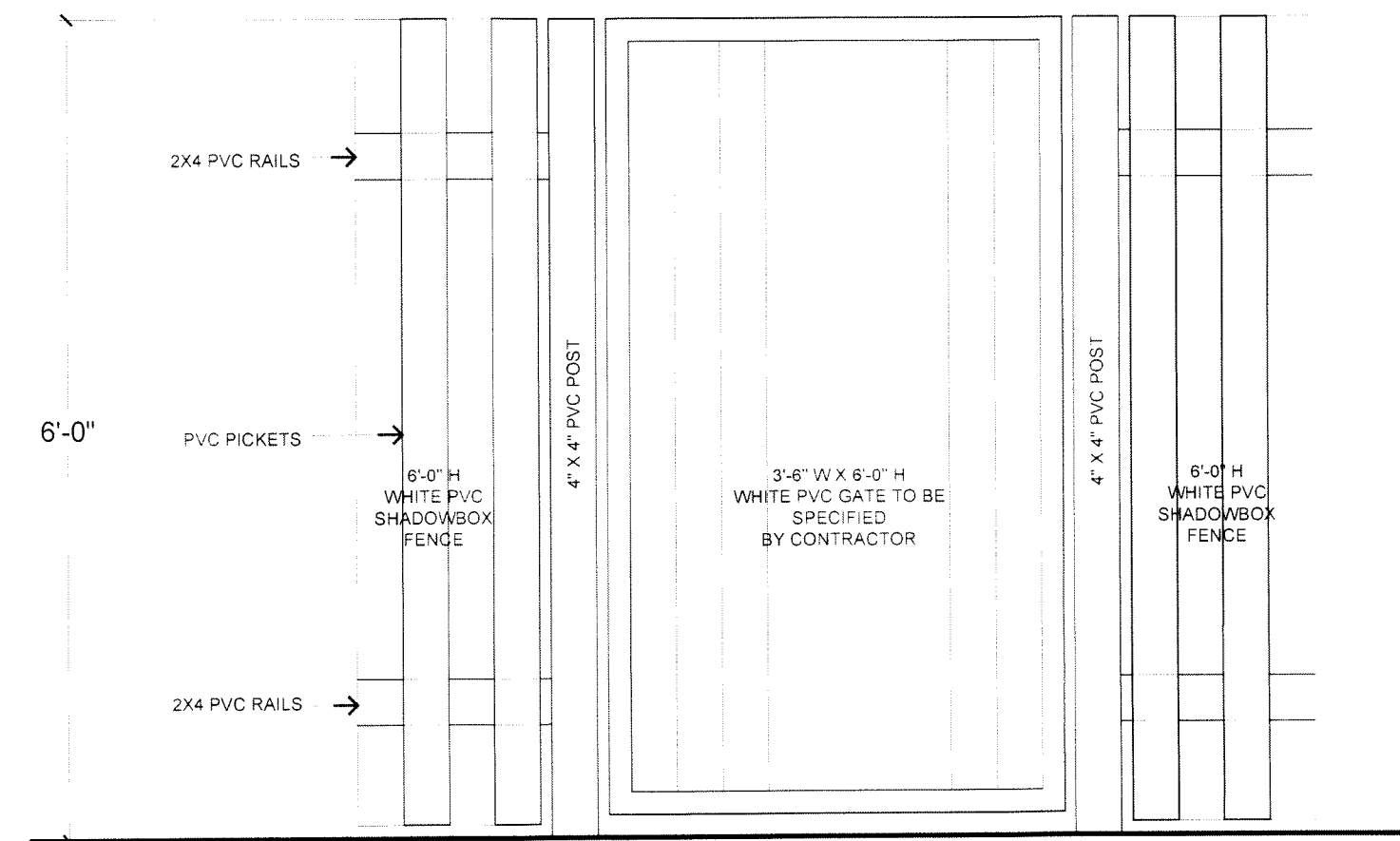
THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

ARCHITECTURAL SITE PLAN

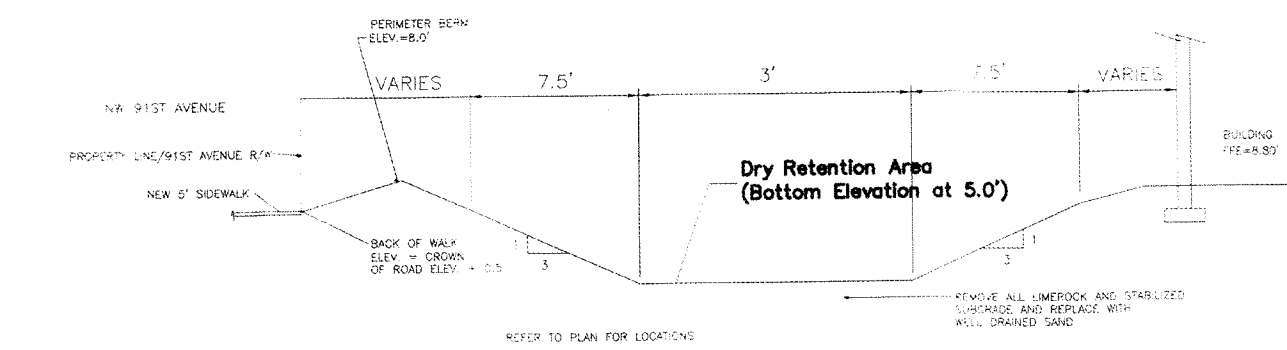
DATE: 07/21/21
DRAWING NO. SP-101



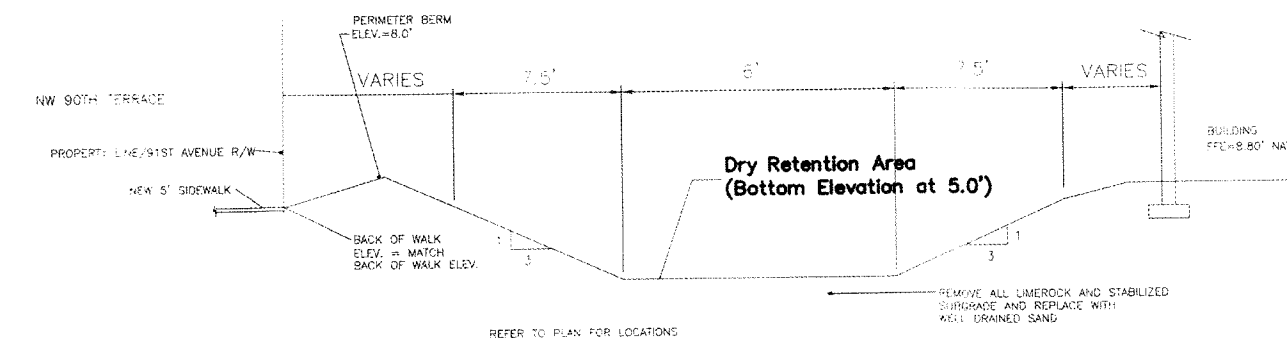
1
SP-102 6' H SHADOWBOX FENCE
N.T.S.



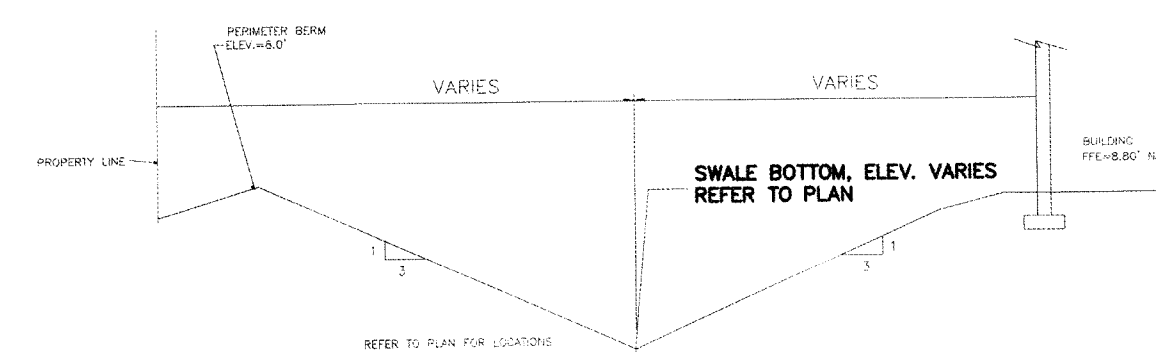
2
SP-102 6' H SHADOWBOX GATE
N.T.S.



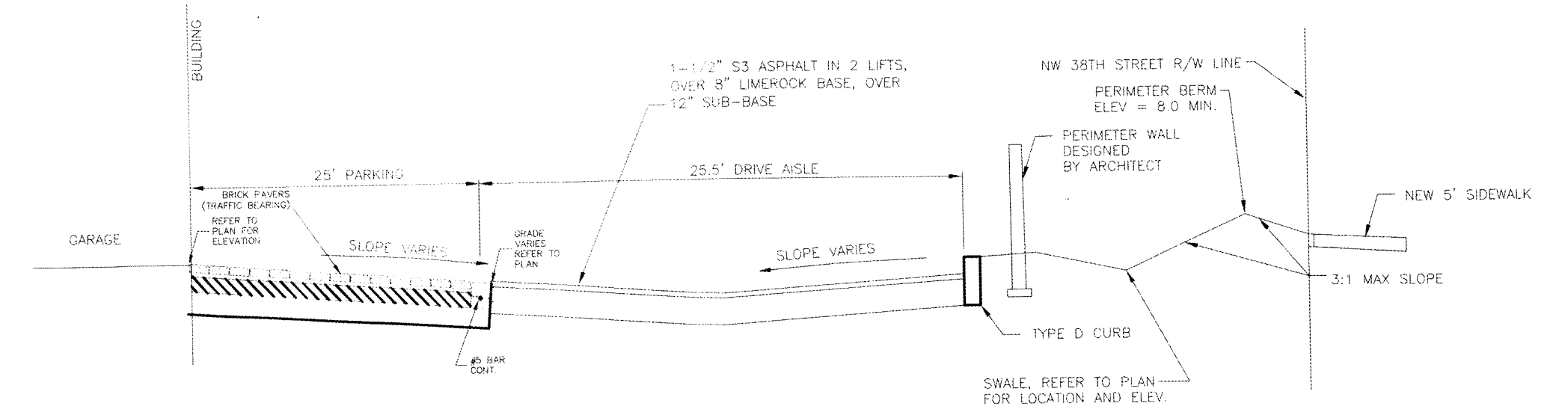
DRY RETENTION AREA CROSS SECTION D-D
N.T.S.



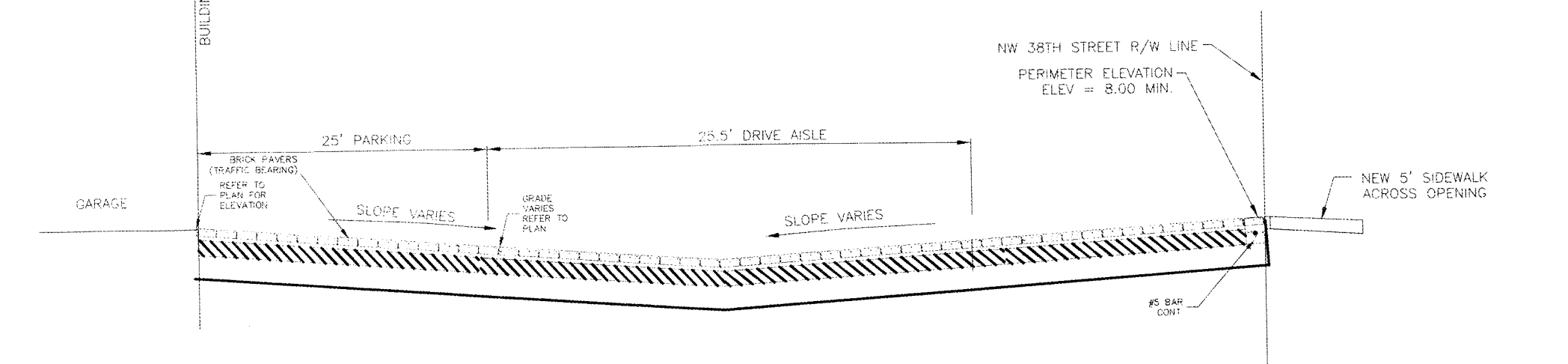
DRY RETENTION AREA CROSS SECTION E-E
N.T.S.



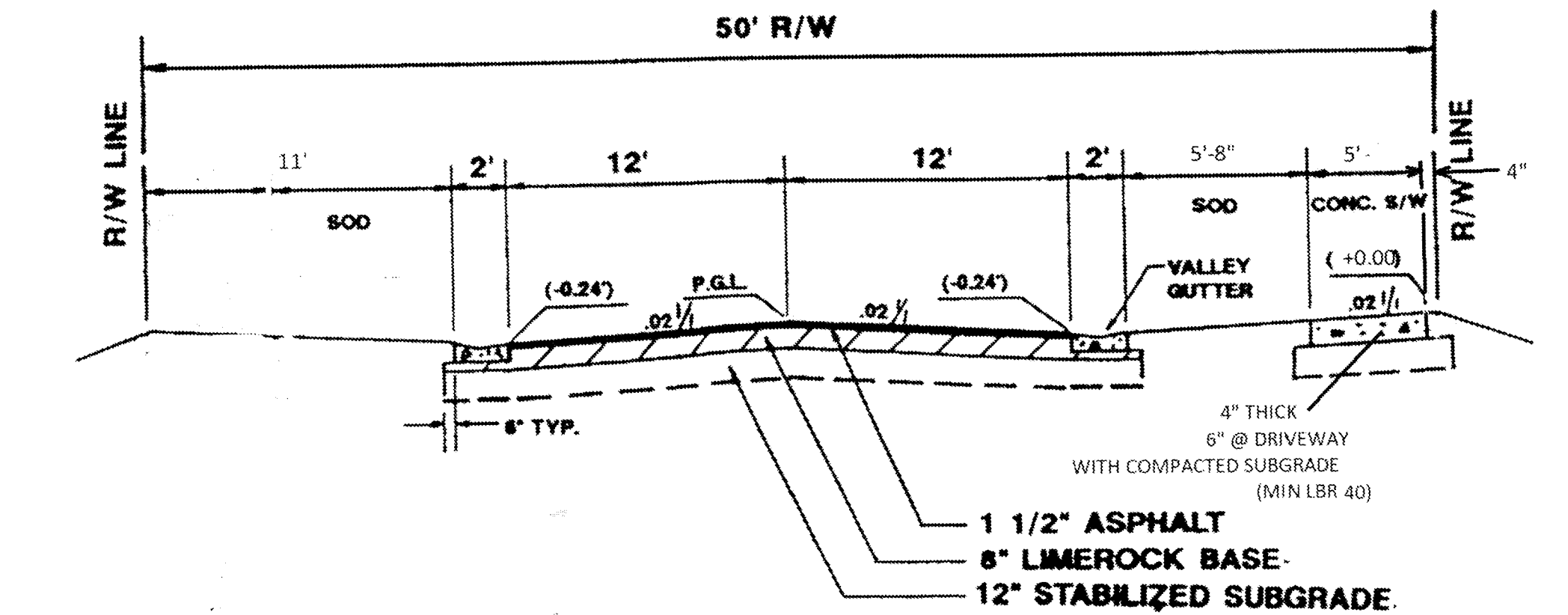
REAR YARD CROSS SECTION F-F
N.T.S.



TYPICAL SECTION FROM BLDG (UNIT 101/102 & 105/106) FACE TO PROP. LINE(A-A)
N.T.S.

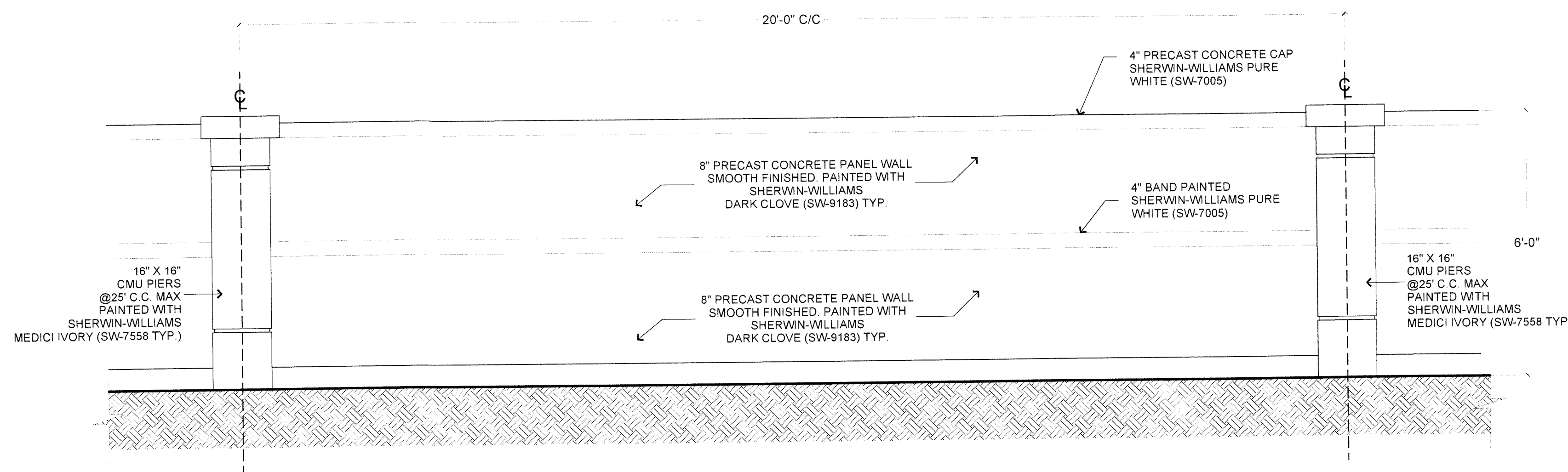


TYPICAL SECTION FROM BLDG (UNIT 103/104) FACE TO PROP. LINE(B-B)
N.T.S.

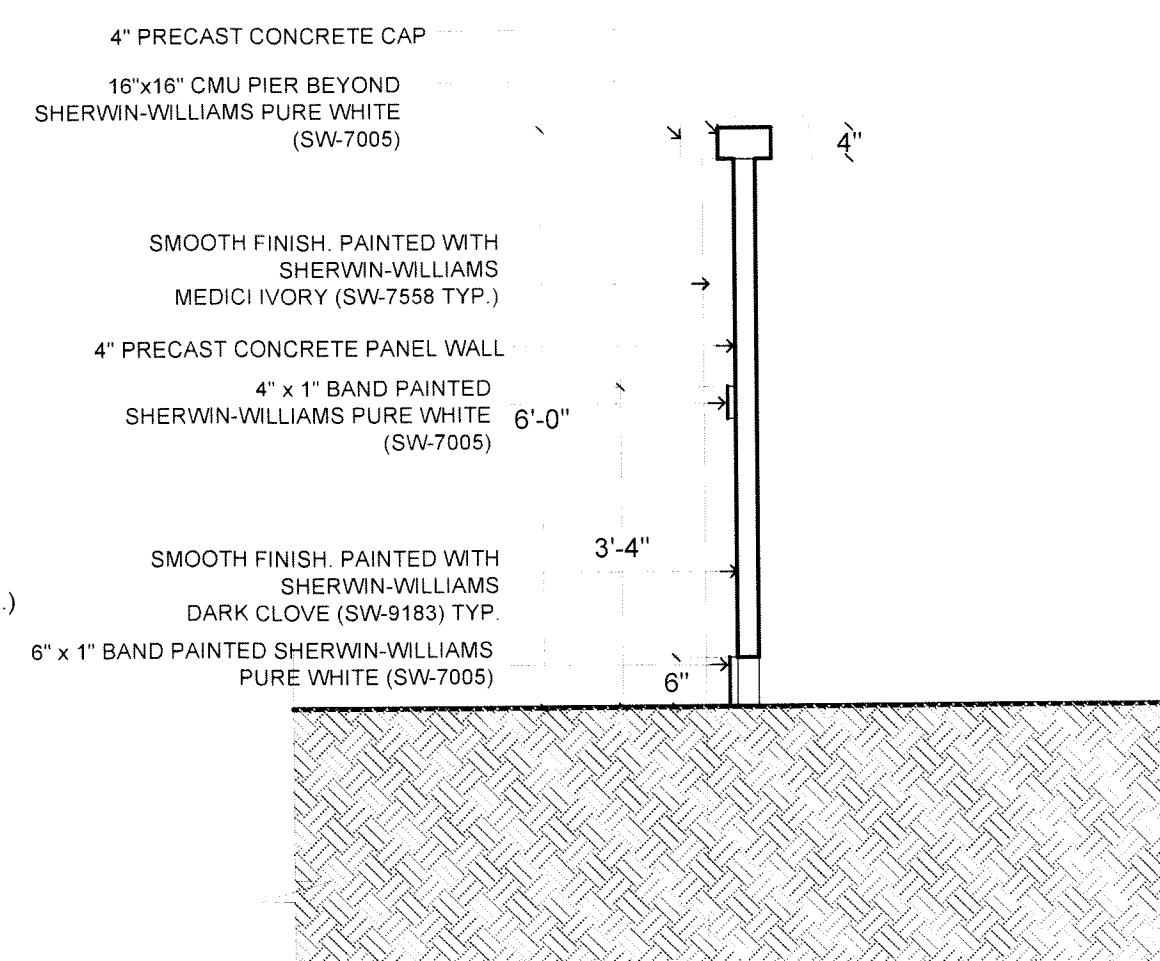


NOTE: CONSTRUCTION MATERIAL AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE OFFICE OF THE PLANNING AND DEVELOPMENT DIRECTOR.

50' R/W SECTION FOR NW 91ST AVENUE (C-C)



5
SP-102 6' H CONCRETE WALL ELEVATION
N.T.S.



6
SP-102 6' H CONCRETE WALL SECTION
N.T.S.

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RM-10
EXISTING TOWNHOUSE
(SOUTH WIND COVE)

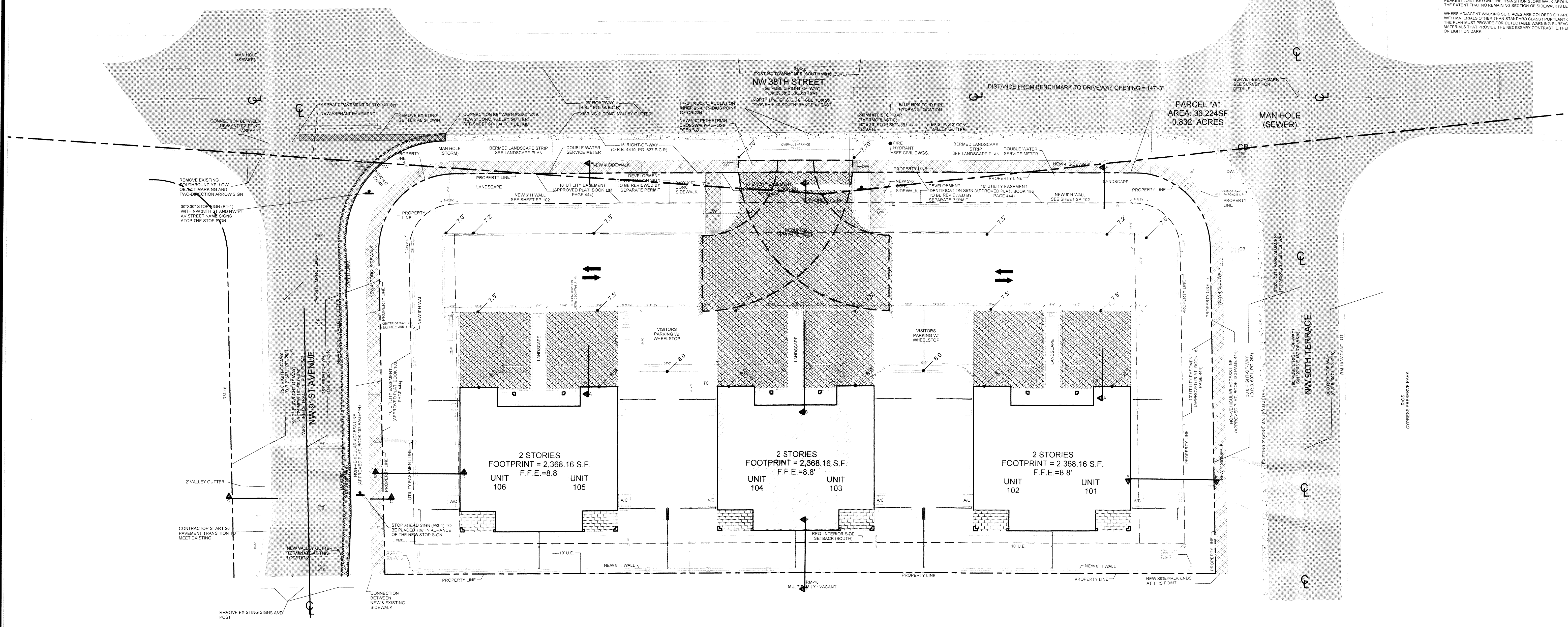
DETECTABLE WARNING AND RAMP NOTES

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WHERE ADJACENT WALKING SURFACES ARE COLORED OR ARE CONSTRUCTED WITH MATERIALS OTHER THAN STANDARD CLASS I PORTLAND CEMENT CONCRETE, THE PLAN MUST PROVIDE FOR DETECTABLE WARNING SURFACE COLORS OR MATERIALS THAT PROVIDE THE NECESSARY CONTRAST, EITHER DARK OR LIGHT OR LIGHT ON DARK.



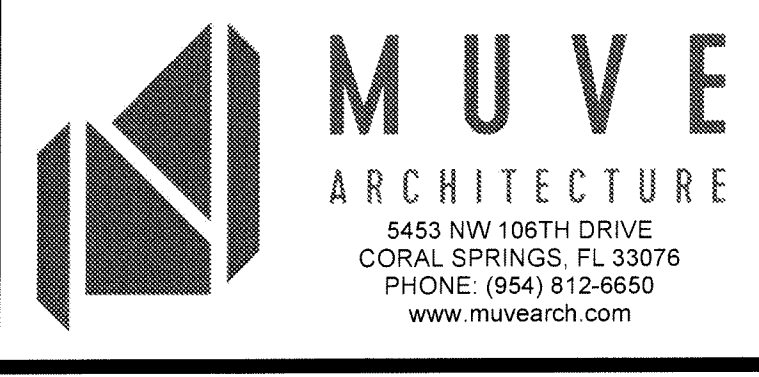
NOTE REFER TO CIVIL PLANS FOR OFF SITE IMPROVEMENT DETAILS. OFF SITE IMPROVEMENT SHALL COMPLY WITH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION REQUIREMENTS. IF REQUIRED BY THE CITY ALL TRAFFIC CONTROL SIGNAGE, STRIPING AND PAVEMENT MARKINGS WITHIN ROW SHALL BE ADDED



LEGEND

	4 1/2' X 9' AQUALINE PERMEABLE PAVERS BY BELGARD, HERRINGBONE 45° PATTERN		CB CATCH BASIN		6' H WHITE PVC SHADOWBOX FENCE SEE SHEET SP-102 FOR DETAIL
	4 1/2' X 9' AQUALINE PERMEABLE PAVERS BY BELGARD, RUNNING BOND PATTERN		P.S. PARKING SPACE		CONCRETE CURB OR SIDEWALK REMOVAL (OFF-SITE IMPROVEMENT)
	DW DETECTABLE WARNING		TC TRASH CAN SHOWN FOR REFERENCE. NOT A SITE PLAN FEATURE		ASPHALT PAVEMENT RESTORATION (OFF-SITE IMPROVEMENT)
	6' H CONCRETE WALL WITH COLUMNS EVERY 25' SEE SHEET SP-102 FOR DETAIL		LP LIGHTING POLE AND FIXTURE		NEW SIDEWALK (OFF-SITE IMPROVEMENT)
			MP DOUBLE MAILBOX POST		NEW CONCRETE VALLEY GUTTER (OFF-SITE IMPROVEMENT)
			SS STOP SIGN SEE SHEET SP-104 FOR DETAIL		NEW ASPHALT (OFF-SITE IMPROVEMENT)
					EXISTING VALLEY GUTTERS

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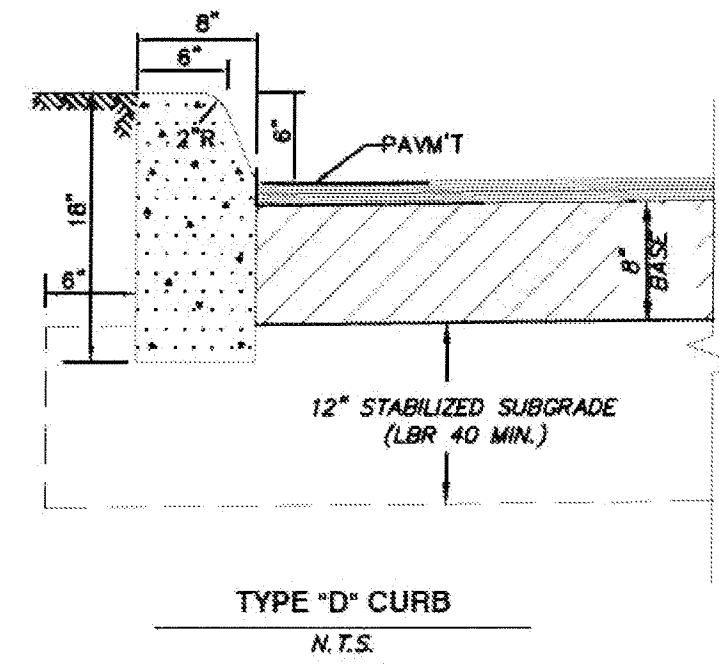
THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

OFF SITE IMPROVEMENTS PLAN

DATE: 07/21/21
DRAWING NO. SP-103

DETAIL 1- ASPHALT TIE-IN DETAIL

2 OFF-SITE IMPROVEMENT DETAILS
SP-103 N.T.S.



TYPE "D" CURB
N.T.S.

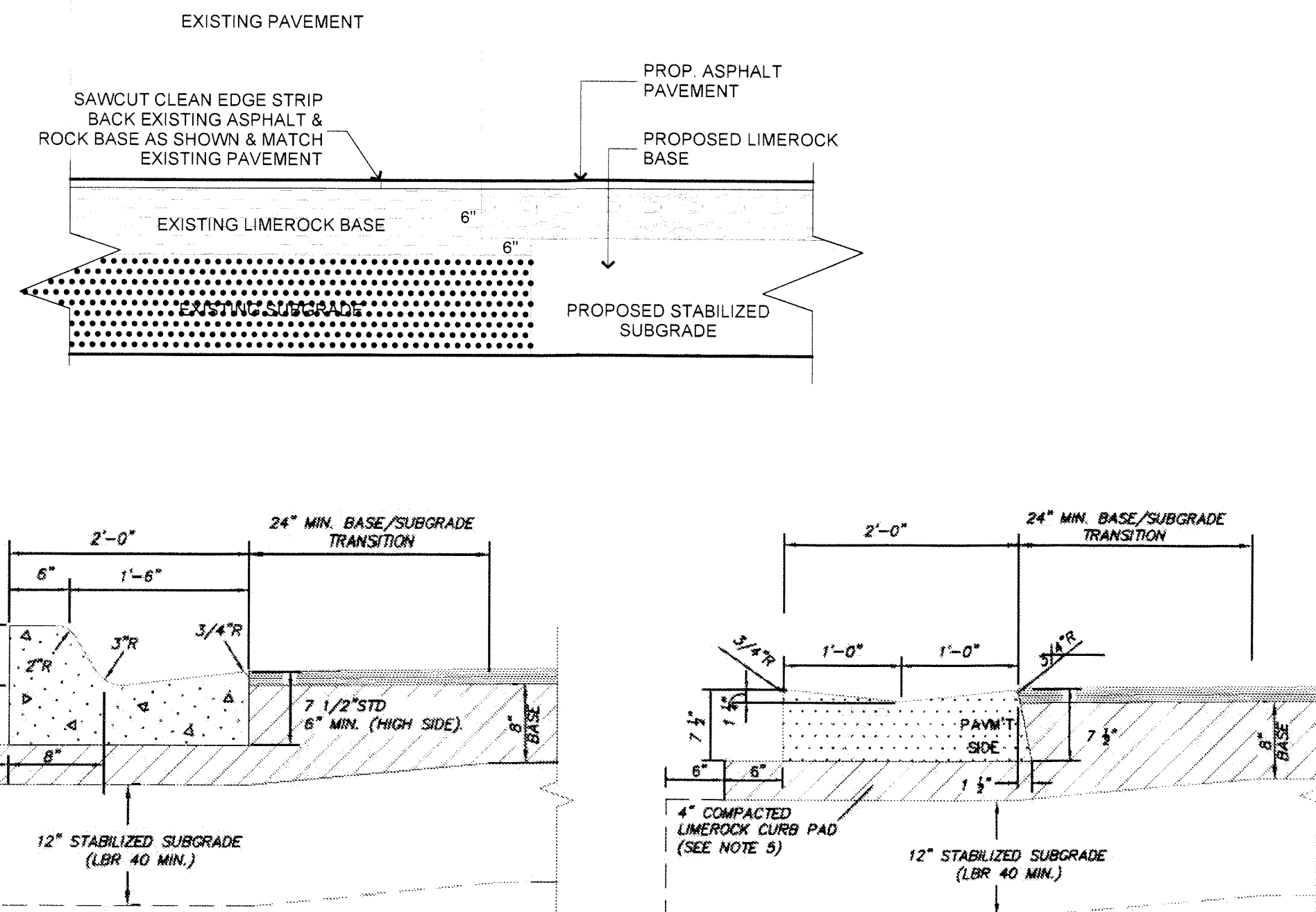
CURB NOTES:

1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
3. TYPE "D" CURB FOR PARKING LOTS MAY BE INSTALLED AS "TRENCHED" D CURB WITH EXTRUDED TOP AT THE CONTRACTOR'S OPTION. TRENCHED CURB REQUIRES CITY TRENCH INSPECTION AND APPROVAL. EXTRUDED CURB MUST BE PLACED WITHIN 15 MINUTES OF PLACEMENT OF TRENCH CONCRETE. EXTRUDED CURB AND TRENCH CONCRETE SHALL BE MONOLITHIC.

TYPE "D" CURB DETAILS

NOT TO SCALE

D-14



TYPE "F" CURB AND GUTTER
N.T.S.

CURB NOTES:

1. WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS SLOPE OF TYPE "F" GUTTER SHALL MATCH THE CROSS SLOPE OF THE ADJACENT PAVEMENT.
2. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
3. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
4. FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
5. COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.

TYPE "F" CURB & GUTTER DETAILS

NOT TO SCALE

D-12

2' VALLEY GUTTER CURB
N.T.S.

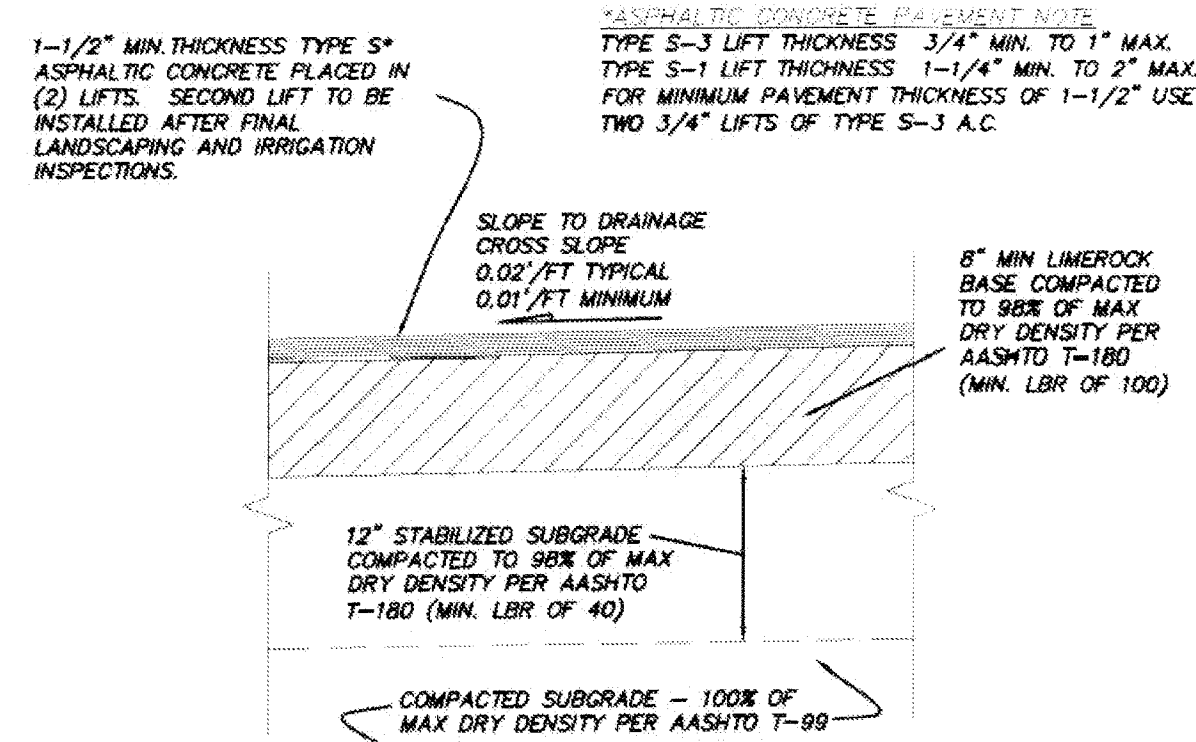
CURB NOTES:

1. PROVIDE 1/4" WIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
2. CONCRETE SHALL BE 3000 P.S.I. MIN. @ 28 DAYS.
3. FOR COMMUNITY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS COST OF CURB PAD TO BE INCLUDED IN COST OF CURB.
4. SEE PAVEMENT MINIMUM PAVEMENT DESIGN SECTION FOR COMPACTION REQUIREMENTS.
5. COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-180 SPECIFICATION.

VALLEY GUTTER CURB DETAILS

NOT TO SCALE

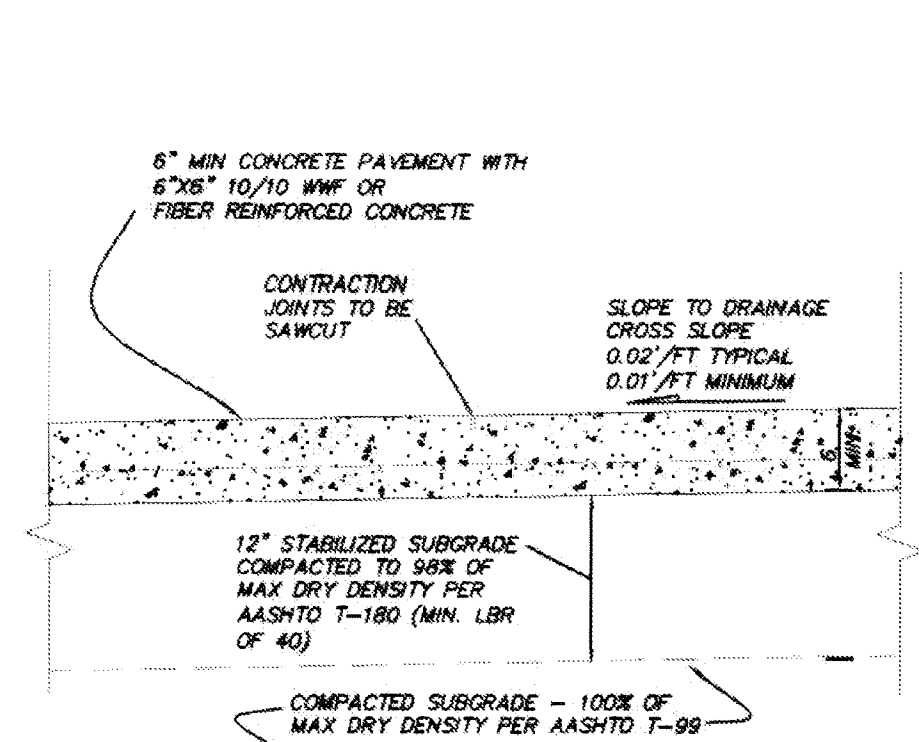
D-13



ASPHALTIC CONCRETE PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS

NOT TO SCALE

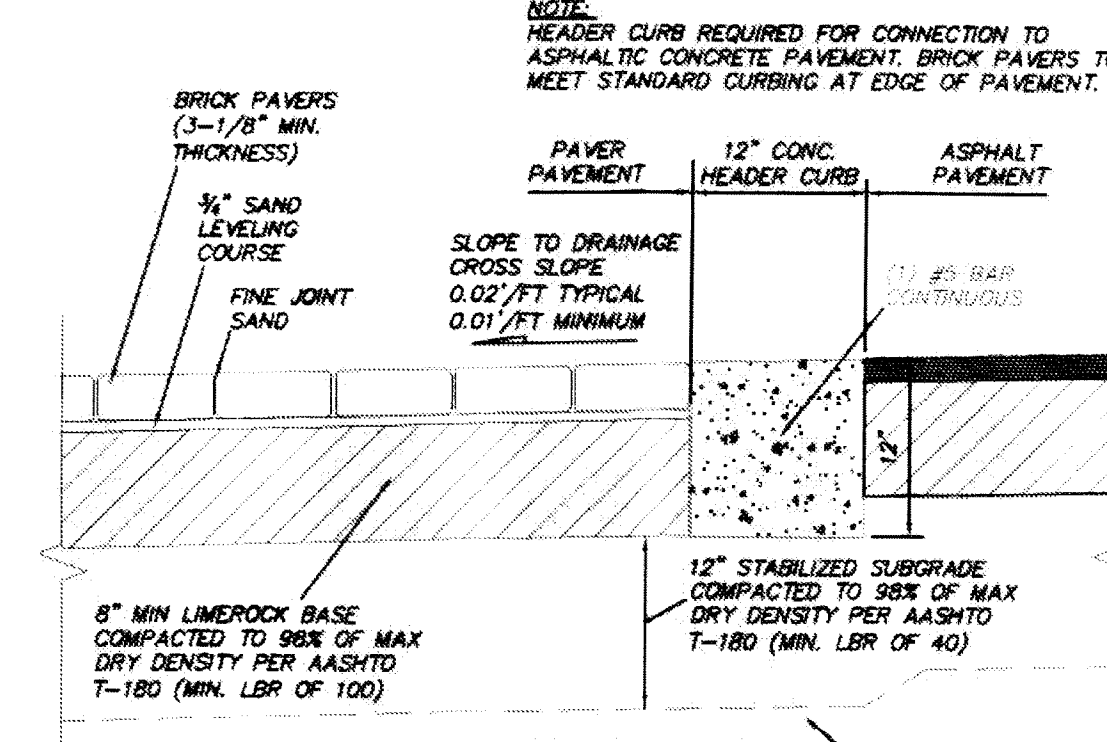
D-20



BRICK PAVER PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS

NOT TO SCALE

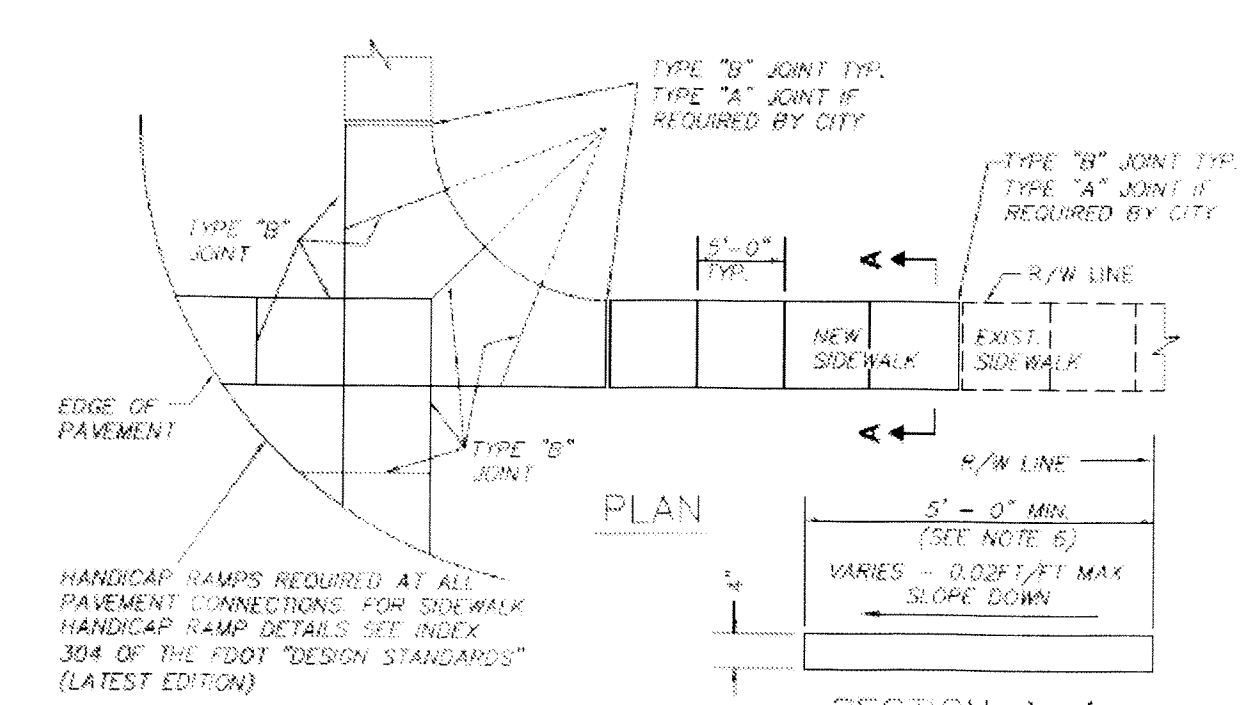
D-21



ASPHALT PAVEMENT DETAIL
MINOR ROADWAYS AND PARKING LOTS

NOT TO SCALE

D-22



SECTION A-A

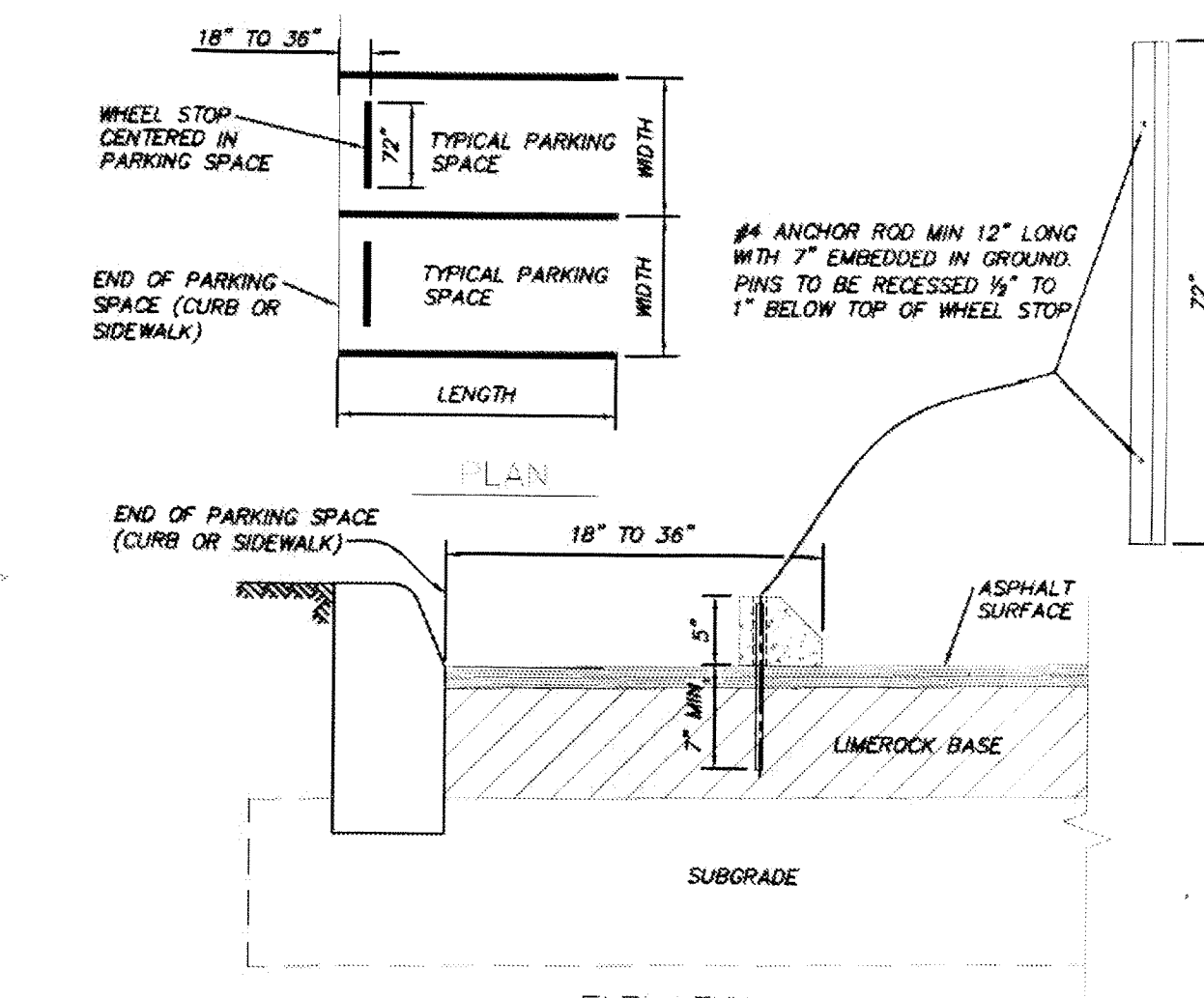
SIDEWALK JOINTS

TYPE	LOCATION
"A"	ONLY WHERE DIRECTED BY THE CITY
"B"	5'-0" MINIMUM CENTER TO CENTER ON SIDEWALK

- NOTES:
1. FOR NEW SIDEWALK LOCATIONS, SUBGRADE BELOW SIDEWALK SHALL BE A MIN. L.B.R. = 40 COMPACTED TO 98% OF MAX. DENSITY PER AASHTO T-180.
 2. CONCRETE TO BE 3000 P.S.I. MIN. @ 28 DAYS.
 3. ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOOLED. NO SAWCUT JOINTS ARE PERMITTED IN NEW SIDEWALK.
 4. THE USE OF WIRE MESH REINFORCEMENT IN SIDEWALK WILL NOT BE PERMITTED.
 5. SIDEWALK SLOPES SHALL MEET THE REQUIREMENTS OF THE "AMERICAN WITH DISABILITIES ACT". CROSS SLOPES SHALL NOT EXCEED 0.02/FT (2.0%).
 6. ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAY CROSSINGS AND OTHER VEGETABLE CROSSING AREAS, WHERE THE SIDEWALK SHALL BE A MINIMUM OF 6" THICK.
 7. MINIMUM WIDTH OF SIDEWALK PLACED AT BACK OF CURB IS 4'-0".
 8. FOR TYPE "A" EXPANSION JOINTS PRE-MOLDED EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED ONLY IF APPROVED BY THE ENGINEERING DIVISION AND SHALL BE SEALED WITH APPROVED FLEXIBLE RUBBER-TID CAULK.
 9. SIDEWALKS SHALL HAVE A LIGHT BROOM FINISH.

SIDEWALK CONSTRUCTION DETAIL D-17

N.T.S.



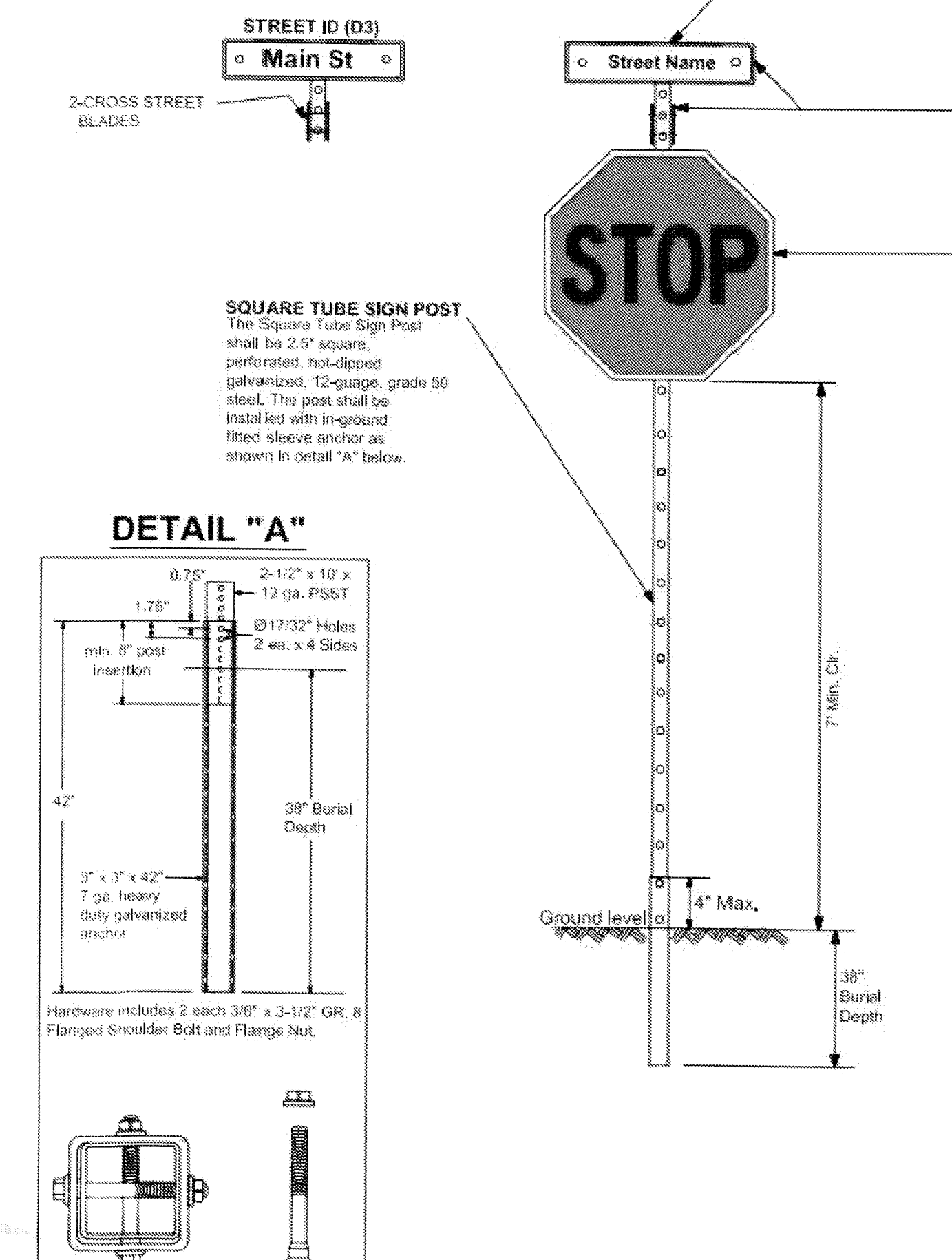
ELEVATION

- NOTES:
1. WHEELSTOP SIZES MAY VARY DEPENDING ON MANUFACTURER.
 2. WHEELSTOPS SHALL BE UNPAINTED OR PAINTED WHITE OR YELLOW EXCEPT AT HANDICAP SPACES WHICH SHALL IN ALL CASES BE UNPAINTED.
 3. ANCHOR RODS SHALL BE MINIMUM OF #4 REBAR, 12" LONG WITH 7" MINIMUM EMBEDMENT.
 4. IN PAVEMENT AREAS THE ANCHOR RODS SHALL BE A MINIMUM OF 18" LONG. HOLES SHALL BE PRE-DRILLED.
 5. WHEELSTOPS ARE REQUIRED ON ALL ANGLED PARKING SPACES (EXCEPT PARALLEL SPACES) AND ALL PARKING SPACES LESS THAN 20 FEET IN LENGTH.
 6. DISTANCE FROM END OF PARKING TO FACE OF WHEELSTOP SHALL BE THE SAME THROUGHOUT THE PROJECT.

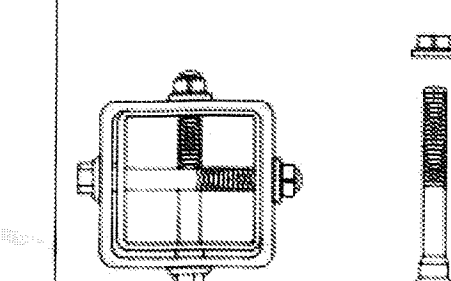
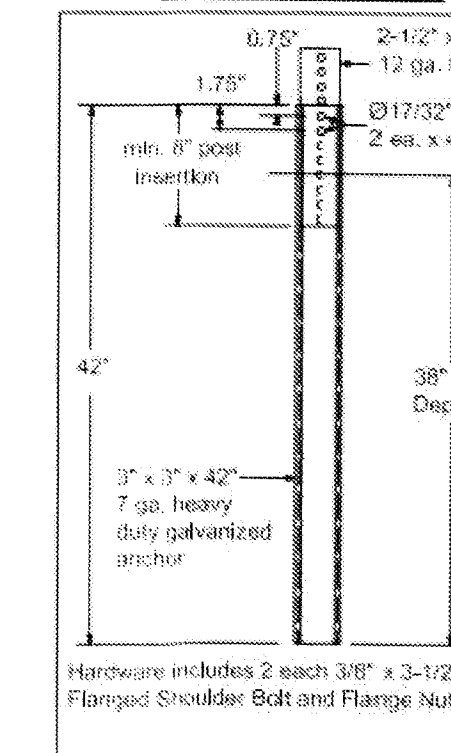
WHEELSTOP DETAIL

NOT TO SCALE

D-25



DETAIL "A"



STOP SIGN LEGEND

- STREET ID MATERIALS:
- BORDER AND LETTERS: SILVER DIAMOND GRADE TYPE XI SHEETING
 - GREEN BACKGROUND: GREEN TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR ELECTRO-CUT (EC) FILM 1177 GREEN OR EQUIVALENT
 - SIZE: 6" BLADE WHEN SPEED LIMIT IS 35 MPH OR LESS, 8" BLADE WHEN SPEED LIMIT IS 40 MPH OR GREATER. LENGTH VARIES BY STREET NAME.
 - HARDWARE: #18 THREADED STEEL ZINC BOLTS, GRADE 5, 5/16" X 3/4", W/ NYLON WASHERS.

- REGULATORY SIGN
- R1-1 DEPICTED. THE TOP OF THE STOP SIGN SHALL BE MOUNTED FLUSH TO THE TOP OF THE POST WHEN NO STREET ID IS PRESENT. ANY SIGN INSTALLED BACK TO BACK WITH THE STOP SIGN SHALL BE SMALLER THAN THE STOP SIGN.

- STOP, DO NOT ENTER OR YIELD
- WHITE DIAMOND-GRADE, TYPE XI SHEETING PRESSURE-SENSITIVE RED TRANSLUCENT INK SILK-SCREENED CLEAR-COATED OR EC FILM 1172 RED OR EQUIVALENT OVER DIAMOND GRADE.
- NOTE: ALL TYPE XI SHEETING UTILIZED MUST BE ON THE FDOT APL LIST.

STOP SIGN DETAIL

N.T.S.



THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

SITE DETAILS

DATE: 07/21/21
DRAWING NO: SP-104
REGISTERED ARCHITECT
STATE OF FLORIDA
AR97841

UNIT SQUARE FOOTAGE

FIRST FLOOR TOTAL GROSS AREA	856 SQ. FT.
FIRST FLOOR GARAGE AREA	246 SQ. FT.
FIRST FLOOR PORCH AREA	28 SQ. FT.
FIRST FLOOR TERRACE AREA	80 SQ. FT.
FIRST FLOOR TOTAL AREA	1,210 SQ. FT.

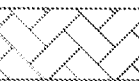
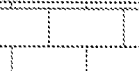
SECOND FLOOR TOTAL GROSS AREA	1,010 SQ. FT.
SECOND FLOOR BALCONY	80 SQ. FT.
SECOND FLOOR TOTAL AREA	1,090 SQ. FT.

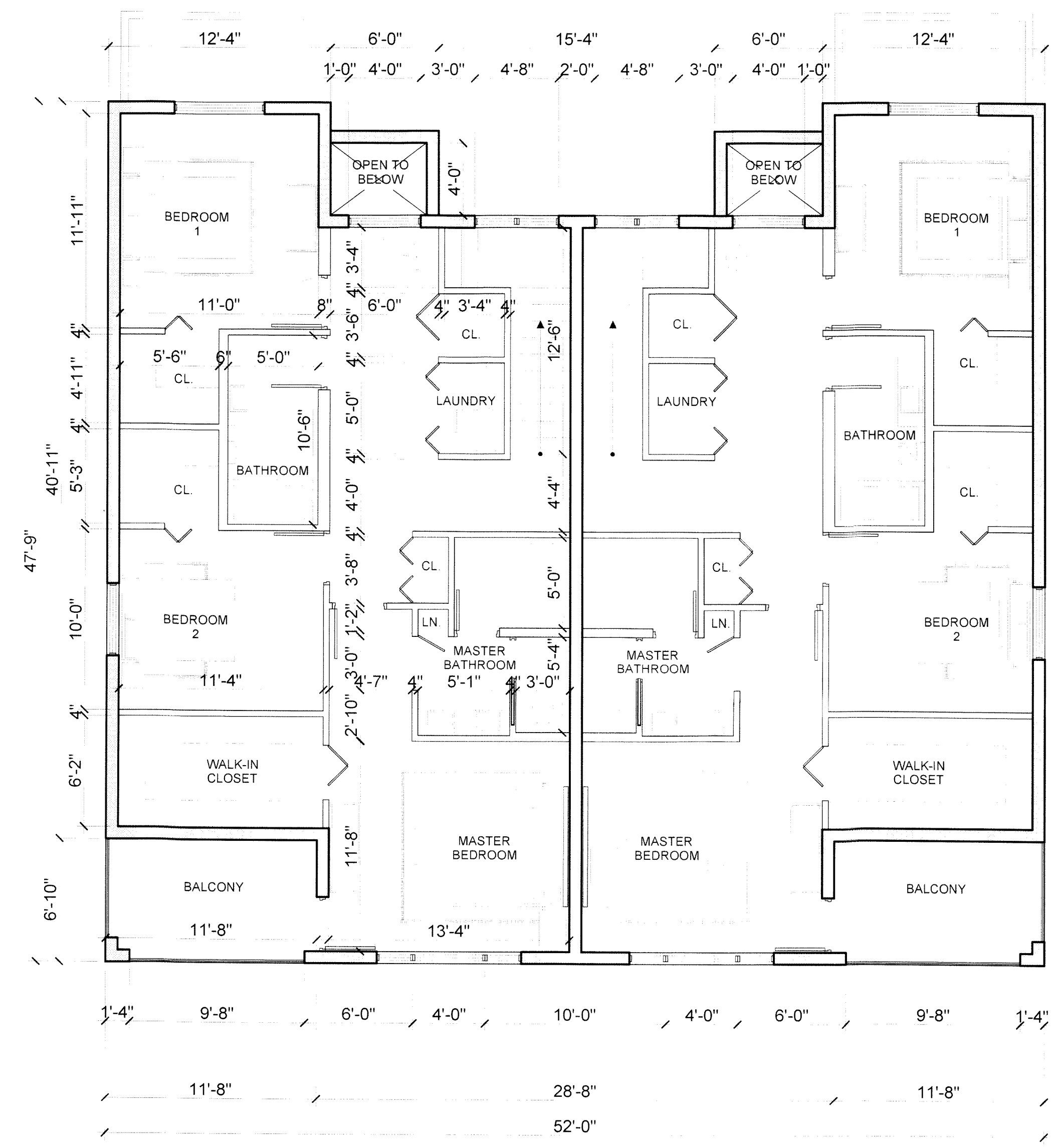
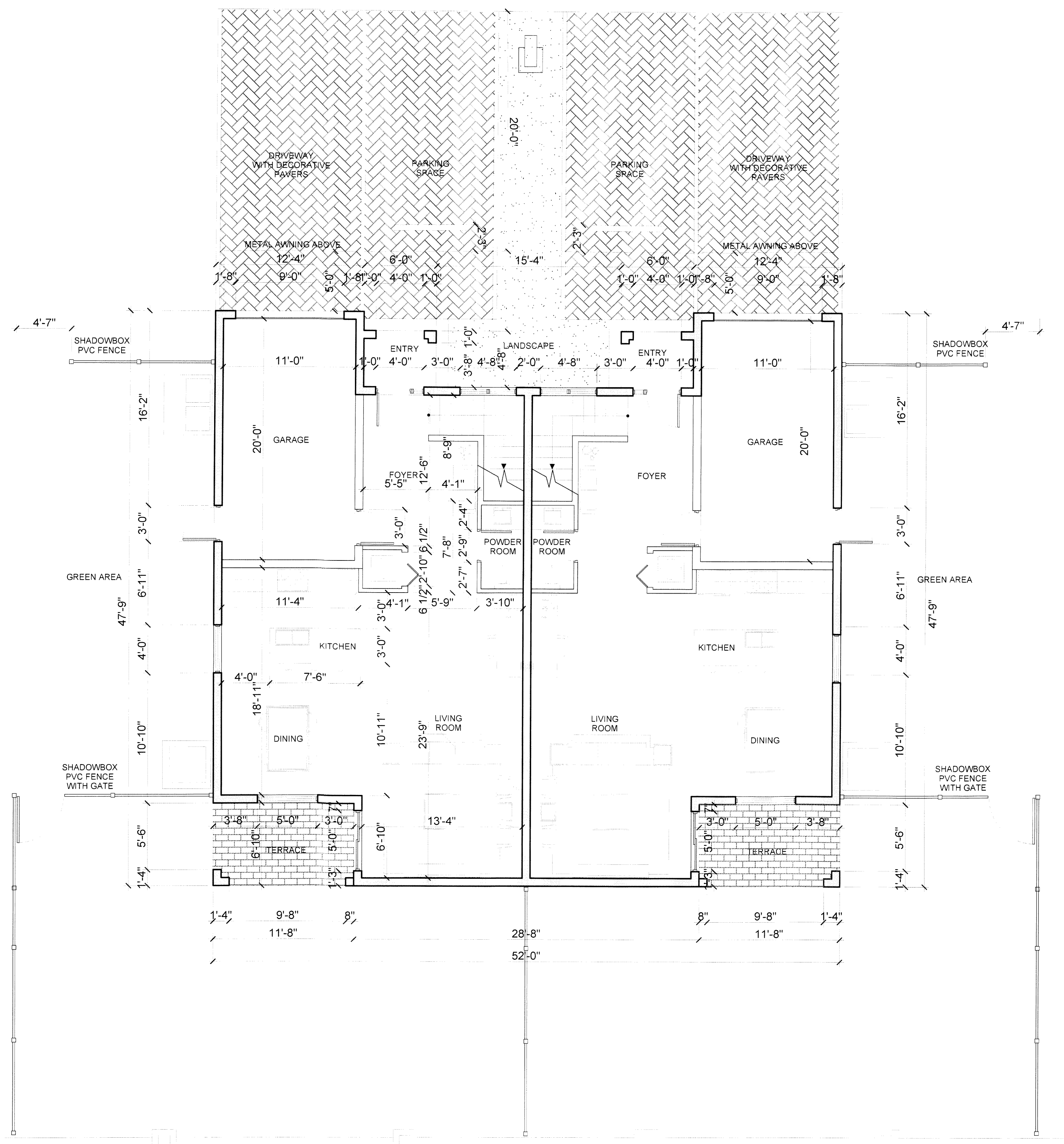
TOTAL UNIT GROSS AREA	1,866 SQ. FT.
TOTAL UNIT AREA	2,368 SQ. FT.

BUILDING SQUARE FOOTAGE

TOTAL UNITS PROVIDED	6 DU	
TOTAL GROSS AREA	1,866 SQ. FT. X 6 DU	11,196 SQ. FT.
OVERALL BUILDING FLOOR AREA	2,368 SQ. FT. X 6 DU	14,208 SQ. FT.
TOTAL BUILDING FOOTPRINT	1,210 SQ. FT. X 6 DU	7,260 SQ. FT.

LEGEND

-  4 1/2" X 9" AQUALINE PERMEABLE PAVERS BY BELGARD, HERRINGBONE 45° PATTERN
-  4 1/2" X 9" AQUALINE PERMEABLE PAVERS BY BELGARD, RUNNING BOND PATTERN
- DW DETECTABLE WARNING
- CB CATCH BASIN
- P.S. PARKING SPACE
- TC TRASH CAN, SHOWN FOR REFERENCE, NOT A SITE PLAN FEATURE



1
A-101
FIRST FLOOR PLAN
SCALE 3/16" = 1'-0"

2
A-101
SECOND FLOOR PLAN
SCALE 3/16" = 1'-0"

LEAVE BLANK - FOR CITY USE ONLY



THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

FLOOR PLANS

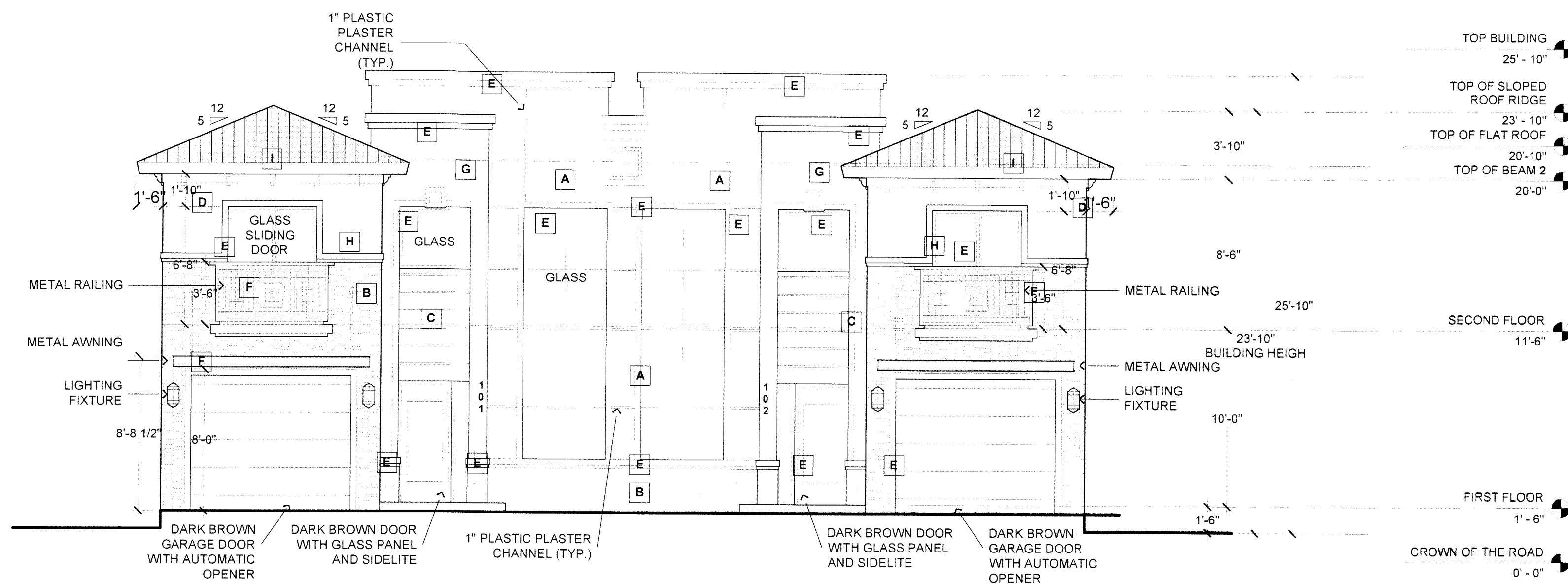
DATE: **07/21/21**
DRAWING NO: **A-101**

ELEVATIONS NOTES

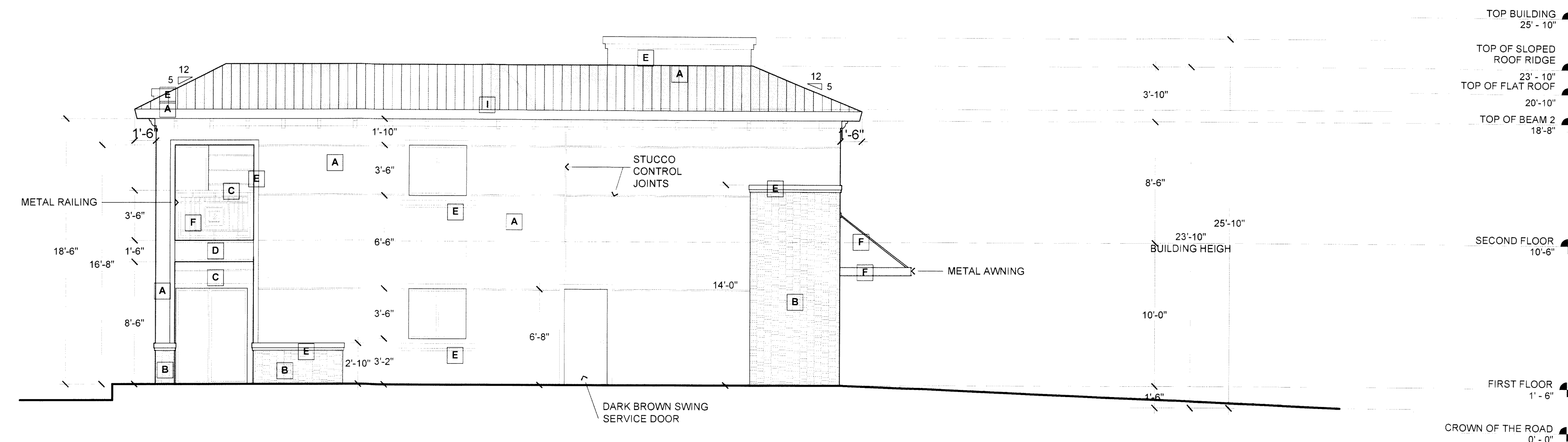
1. LIGHTING FIXTURES ARE SHOWN FOR LOCATION AND LIGHT LEVEL PURPOSE. THE DESIGN MAY BE REVISED SUBJECT TO APPROVAL OF BUILDING PERMIT
2. ALL GARAGE DOOR TO BE PROVIDED WITH AUTOMATIC OPENERS.
3. UNITS IDENTIFICATION NUMBER 5" HEIGHT.
4. ALL DOORS AND WINDOWS TO BE IMPACT AND WILL BE SUBMITTED WITH THEIR NOAS.

LEGEND

- A** STUCCO FINISH WITH 1" X 1/2" REVEALS. SHERWIN-WILLIAMS MEDICI IVORY (SW-7558)
- B** STONE VENEER EL DORADO STONE, LEDGECUT33 BIRCH
- C** STUCCO FINISH WITH 1" X 1/2" REVEALS. SHERWIN-WILLIAMS PURE WHITE (SW-7005)
- D** MOLDING SHERWIN-WILLIAMS PURE WHITE (SW-7005)
- E** 4" STUCCO BAND SHERWIN-WILLIAMS PURE WHITE (SW-7005)
- F** PAINTED METAL SHERWIN-WILLIAMS DARK CLOVE (SW-9183)
- G** STUCCO FINISH SHERWIN-WILLIAMS MARSHMALLOW (SW-7001)
- H** STUCCO FINISH SHERWIN-WILLIAMS MEDICI IVORY (SW-7558)
- I** CONCRETE TILE DARK BROWN (TYP.)



1 NORTH ELEVATION
SCALE 3/16" = 1'-0"



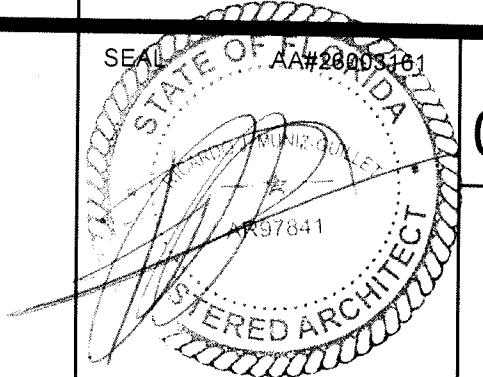
2 EAST ELEVATION
SCALE 3/16" = 1'-0"

LEAVE BLANK - FOR CITY USE ONLY



THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

NORTH & EAST ELEVATIONS



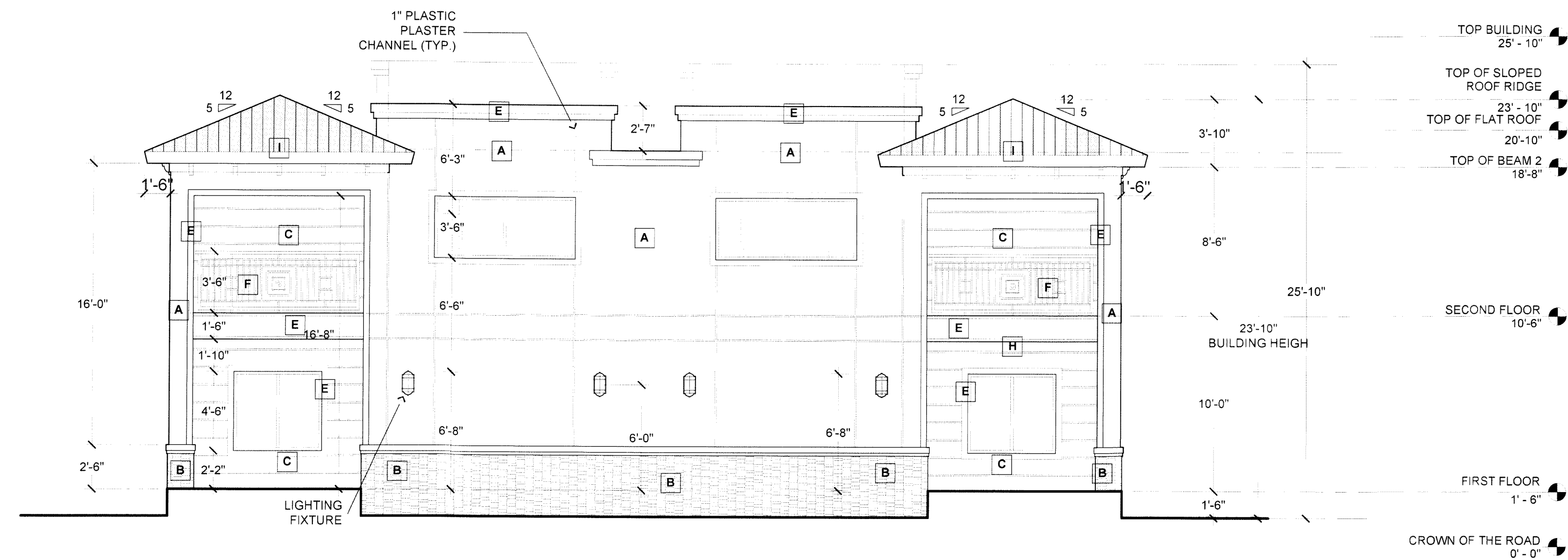
DATE: 07/21/21
DRAWING NO: A-201

ELEVATIONS NOTES

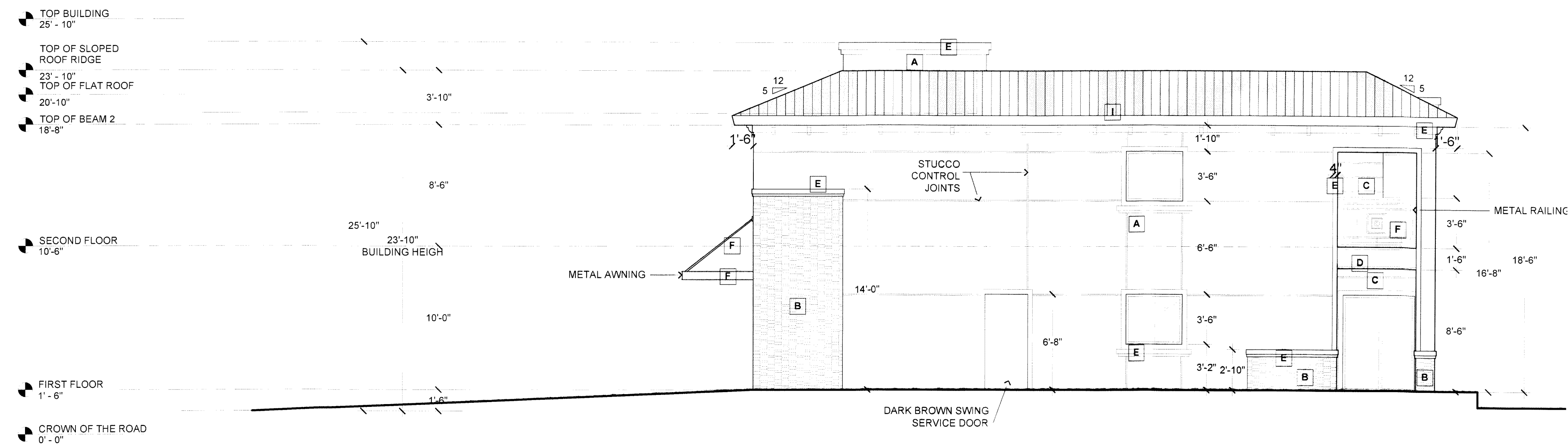
1. LIGHTING FIXTURES ARE SHOWN FOR LOCATION AND LIGHT LEVEL PURPOSE. THE DESIGN MAY BE REVISED SUBJECT TO APPROVAL OF BUILDING PERMIT.
2. ALL GARAGE DOOR TO BE PROVIDED WITH AUTOMATIC OPENERS.
3. UNITS IDENTIFICATION NUMBER 5" HEIGHT.
4. ALL DOORS AND WINDOWS TO BE IMPACT AND WILL BE SUBMITTED WITH THEIR NOAs.

LEGEND

- A** STUCCO FINISH WITH 1" X 1/2" REVEALS
SHERWIN-WILLIAMS MEDICI IVORY (SW-7558)
- B** STONE VENEER
EL DORADO STONE, LEDGECUT33 BIRCH
- C** STUCCO FINISH WITH 1" X 1/2" REVEALS
SHERWIN-WILLIAMS PURE WHITE (SW-7005)
- D** MOLDING
SHERWIN-WILLIAMS PURE WHITE (SW-7005)
- E** 4" STUCCO BAND
SHERWIN-WILLIAMS PURE WHITE (SW-7005)
- F** PAINTED METAL
SHERWIN-WILLIAMS DARK CLOVE (SW-9183)
- G** STUCCO FINISH
SHERWIN-WILLIAMS MARSHMALLOW (SW-7001)
- H** STUCCO FINISH
SHERWIN-WILLIAMS MEDICI IVORY (SW-7558)
- I** CONCRETE TILE
DARK BROWN (TYP.)



1 SOUTH ELEVATION
SCALE 3/16" = 1'-0"



2 WEST ELEVATION
SCALE 3/16" = 1'-0"

LEAVE BLANK - FOR CITY USE ONLY

BOUNDARY SURVEY

PREPARED FOR:
BRANGUS DEVELOPMENTS, LLC
LYING AND BEING IN SECTION 20, TOWNSHIP 49 SOUTH, RANGE 41 EAST
CITY OF SUNRISE, BROWARD COUNTY, FLORIDA.

J. Hernandez & Associates Inc
LAND SURVEYORS AND MAPPERS
CERTIFICATE OF AUTHORIZATION No. LB8092
4805 NW 70th AVE. SUITE #8, MIAMI, FL 33166
(P) 305-526-0008 (E) info@jhasurveys.com

DRAWN BY: M.J.M. CHECKED BY: J.S.P. JOB NO.: 151361
DATE: 07/20/18 DATE: 07/10/18 F.B. BC-4, PG. 53

LEGAL DESCRIPTION
PARCELS A, CYPRESS OF SUNRISE, ACCORDING TO THE
PLAN THEREOF, AS RECORDED IN PLAT BOOK 183, AT PAGE
444, OF THE PUBLIC RECORDS OF BROWARD COUNTY,
FLORIDA.
LYING AND BEING IN SECTION 20, TOWNSHIP 49 SOUTH,
RANGE 41 EAST, CITY OF SUNRISE, BROWARD COUNTY,
FLORIDA.

SURVEYOR'S NOTES

- FIELD SURVEY WAS COMPLETED ON JULY 6, 2018 AND
UPDATED ON MARCH 17, 2021.
- LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT.
- SUBJECT PROPERTY AREA: 36,224 SQ.FT. (0.832 ACRES)
- BEARINGS BASED ON AN ASSUMED BEARING OF
N89°29'58"E ALONG THE CENTERLINE OF N.W. 38TH
STREET AS SHOWN ON SAID PLAT OF WIND OF SUNRISE
(P.B.178, PG.62).
- DISCREPANCIES ALONG BOUNDARY LINES, AS SHOWN HEREON,
ARE RECORD AND/OR MEASURED UNLESS OTHERWISE
NOTED.
- INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR
INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE
NOTED.
- UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES
HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY,
UNLESS OTHERWISE NOTED.
- ABOVEGROUND AND/OR VISIBLE UTILITIES HAVE BEEN
LOCATED AT THE TIME OF THIS SURVEY, UNLESS
OTHERWISE NOTED.
- SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO
AND FROM N.W. 38TH STREET.
- THIS BOUNDARY SURVEY IS SUBJECT TO EASEMENTS,
RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE
REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT
PROPERTY.

PROPERTY INFORMATION

- PROPERTY OWNER: BRANGUS DEVELOPMENTS, LLC
- PROPERTY ADDRESS:
9070 NW 38TH STREET, SUNRISE FL, 33351
- PROPERTY FOLIO NUMBER:
0412003000, 0100, 0110, 0010, 0020, 0030, 0040, 0050, 0060,
0070, 0080
- SUBJECT PROPERTY IS LOCATED IN ZONE RM-10 RESIDENTIAL
MULTI-FAMILY.

FLOOD ZONE INFORMATION
SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "X" AS
SHOWN ON FLOOD INSURANCE RATE MAP NUMBER
1201100349H, DATED AUGUST 16, 2014.
ELEVATION REFER TO NORTH AMERICAN VERTICAL DATUM OF
1988 AND IS EXPRESSED IN FEET.

DATUM AND BENCHMARKS

- ELEVATIONS SHOWN HEREON REFER TO NORTH
AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 1988) AND
ARE EXPRESSED IN FEET.
- BENCHMARK
BENCHMARK NUMBER: 124
ELEVATION: 10.34 (N.E.V.D. 1988 - 1.51+ 9.43' N.A.V.D.
1988)
DESCRIPTION: "SQUARE" CUT IN BULLDOZE ON WEST
SIDE OF CHANDLER PARK BOULEVARD INTERSECTION
AT NORTHWEST 91 AVENUE.

ENCROACHMENTS

- OTHER THAN THESE SHOWN HEREON, THERE ARE NO
ADDITIONAL, OBSERVED, ENCROACHMENTS ON THE
SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM
THE SUBJECT PROPERTY INTO ADJOINING LANDS,
UNLESS OTHERWISE NOTED.

CERTIFY TO:

- BRANGUS DEVELOPMENTS, LLC

REVISIONS

DATE	JOB NO.	REV.	BY:
12/28/18	N/A	UPDATE SURVEY	J.G.H.
04/19/19	N/A	UPDATE SURVEY	J.G.H.
11/26/19	N/A	UPDATE SURVEY TRACT INFORMATION	J.G.H.
10/02/20	N/A	SET P.R.M.'S AND P.C.P.'S	J.G.H.
03/22/21	152273	UPDATE SURVEY INFORMATION	R.J.G.
04/14/21	N/A	ADD TEST HOLE INFO. AT WEST SIDE	R.J.G.

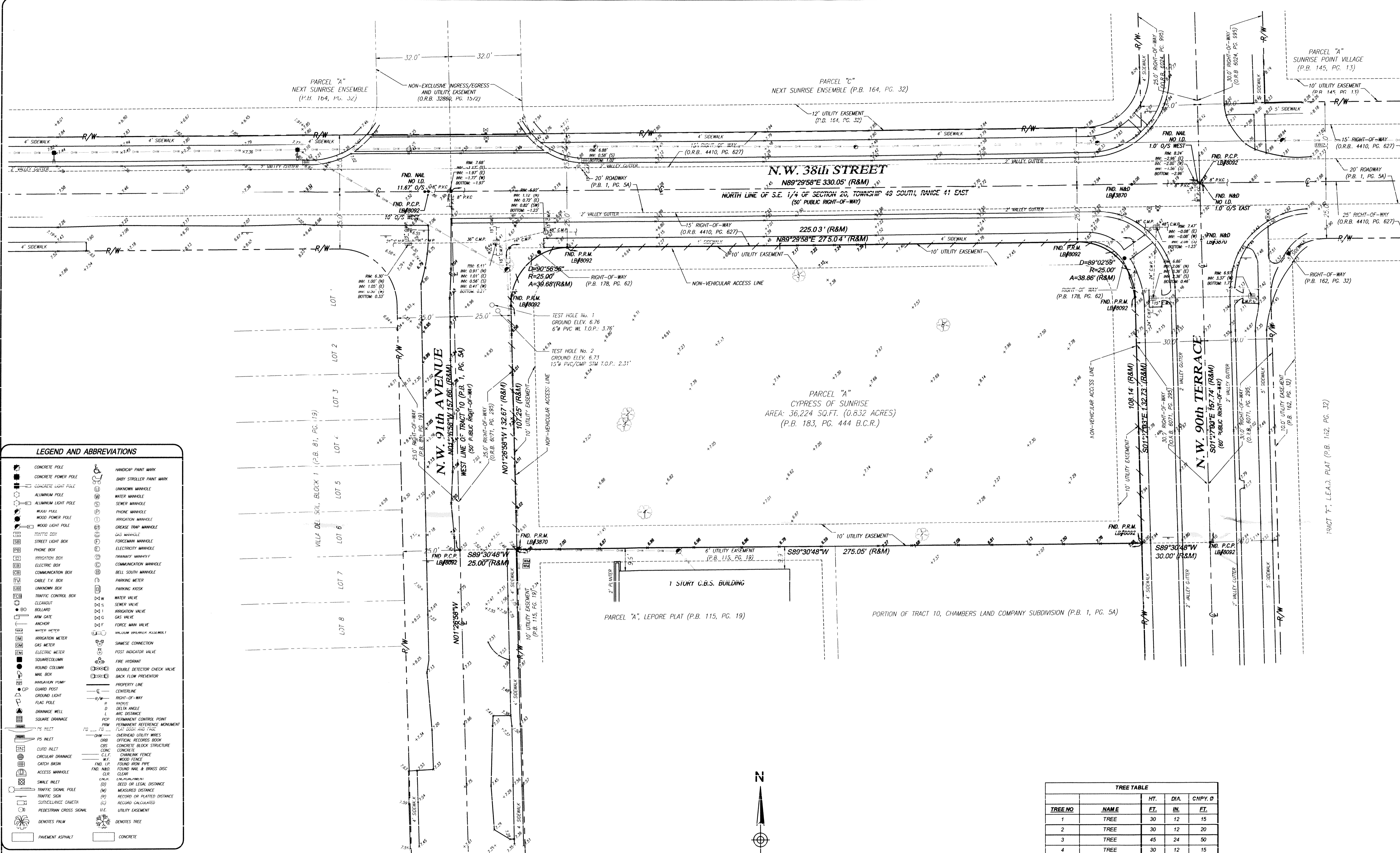
SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE
PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO THE
BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY
SURVEYED AND DRAWN UNDER MY SUPERVISION AND
CONTROL. THIS SURVEY CONFORMS WITH STANDARDS OF
PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE
BOARD OF SURVEYORS AND MAPPERS PURSUANT TO
CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED
PARTIES.

BY:
JOSE G. HERNANDEZ, PRESIDENT
PROFESSIONAL LAND SURVEYOR NO. 6952
STATE OF FLORIDA.

THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND
THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR
AND MAPPER.

THIS IS A BOUNDARY SURVEY
PROJECT NUMBER: BC-152
SHEET NUMBER: 1 OF 1



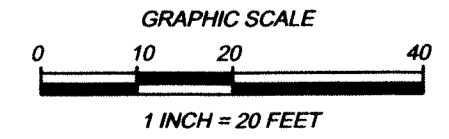
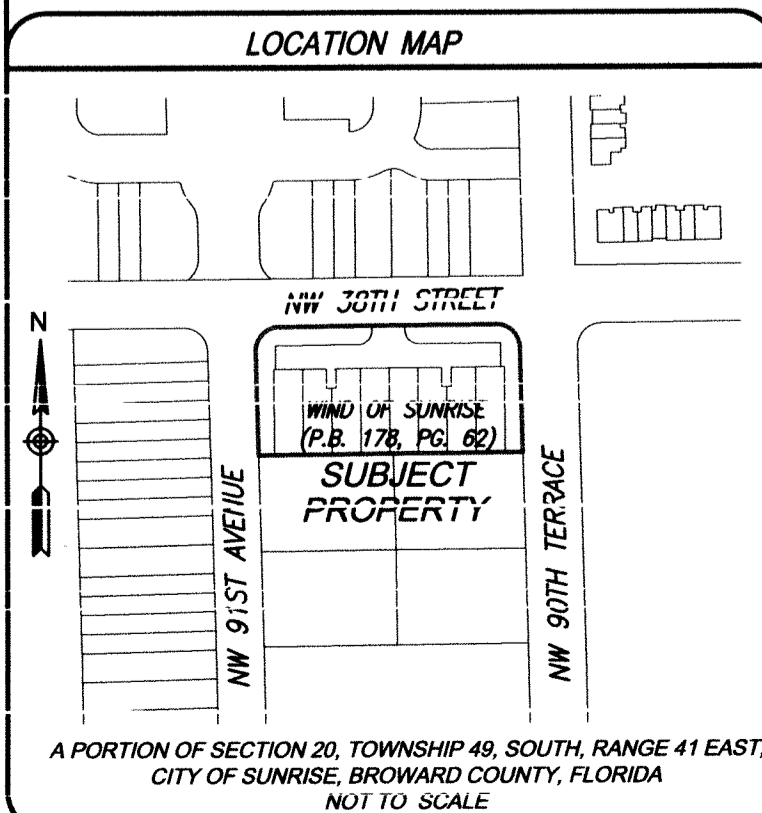
TREE TABLE

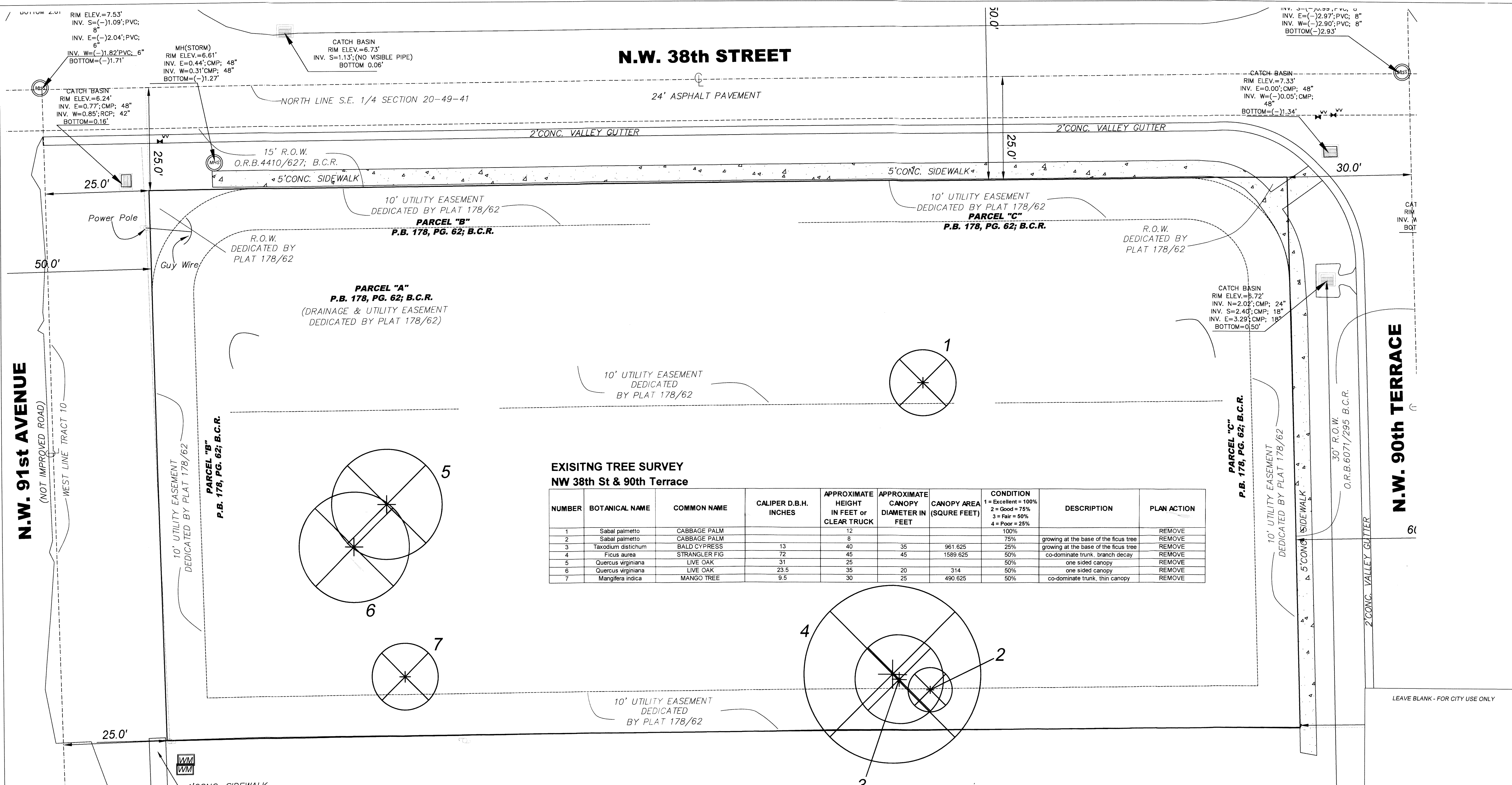
TREE NO.	NAME	HT. FT.	DIA. IN.	CMPY. D.
1	TREE	30	12	15
2	TREE	30	12	20
3	TREE	45	24	50
4	TREE	30	12	15
5	TREE	30	12	25
6	PAI M	25	12	20
7	TREE	25	12	20

TREE IDENTIFICATION MUST BE VERIFY BY A
CERTIFIED SPECIALIST.

LEGEND AND ABBREVIATIONS

CONCRETE POLE	HANDICAP PAINT MARK
CONCRETE POWER POLE	BABY STROLLER PAINT MARK
CONCRETE LIGHT POLE	UNKNOWN MANHOLE
ALUMINUM POLE	WATER MANHOLE
ALUMINUM LIGHT POLE	SEWER MANHOLE
WOOD POLE	PHONE MANHOLE
WOOD POWER POLE	IRRIGATION MANHOLE
WOOD LIGHT POLE	GREASE TRAP MANHOLE
STREET LIGHT BOX	GAS MANHOLE
PHONE BOX	FIREWORK MANHOLE
SEWER BOX	IRRIGATION MANHOLE
ELECTRIC BOX	IRRIGATION MANHOLE
COMMUNICATION BOX	BELL SOUTH MANHOLE
CABLE TV BOX	PARKING METER
UNKNOWN BOX	PARKING KIOSK
TRAFFIC CONTROL BOX	WATER VALVE
CLEARCUT	SEWER VALVE
RELIANT	IRRIGATION VALVE
ARM GATE	GAS VALVE
ANCHOR	FORCE MAIN VALVE
WATER METER	WILCOX ORKNEY ASSEMBLY
IRRIGATION METER	SHAMISE CONNECTION
GAS METER	POST INDICATOR VALVE
ELECTRIC METER	FIRE HYDRANT
SQUARE COLUMN	DOUBLE DETECTOR CHECK VALVE
ROUND COLUMN	BACK FLOW PREVENTOR
MANHOLE BOX	PROPERTY LINE
IRREGULAR PUMP	CENTERLINE
GUARD POST	RIGHT-OF-WAY
GROUND LIGHT	FLAC POLE
FLAC POLE	IRREGULAR
ORNB	DELTA ANGLE
ORNB	ARC DISTANCE
ORNB	PERMANENT CONTROL POINT
ORNB	PERMANENT REFERENCE MONUMENT
ORNB	OVERHEAD UTILITY WIRES
ORNB	OFFICIAL RECORDS BOOK
ORNB	CONCRETE BLOCK STRUCTURE
ORNB	CONCRETE
ORNB	CHAINLINK FENCE
ORNB	WOOD FENCE
ORNB	FOUND IRON PIPE
ORNB	FOUND NAIL & BRASS DISC
ORNB	CLEAR
ORNB	ENCROACHMENT
ORNB	DEED OR LEGAL DISTANCE
ORNB	MEASURED DISTANCE
ORNB	RECORDS OF PLATTED DISTANCE
ORNB	RECORD CALCULATED
ORNB	UTILITY EASEMENT
ORNB	DEMOTES PALM
ORNB	DEMOTES TREE
ORNB	PAVEMENT ASPHALT
ORNB	CONCRETE

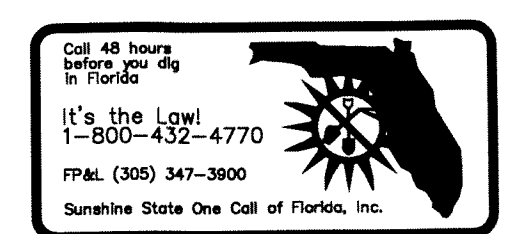
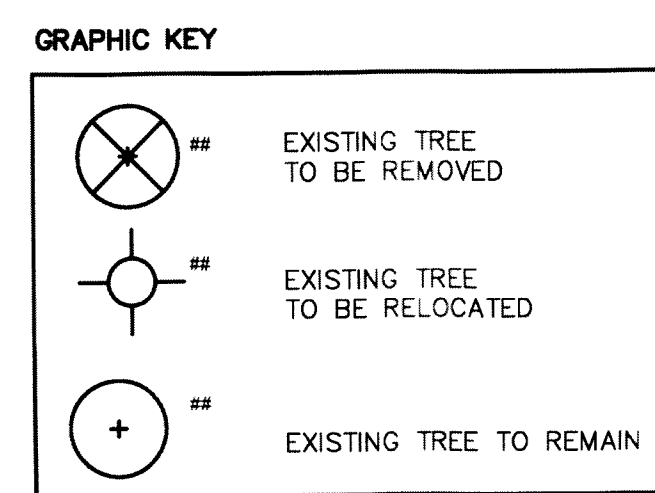




**EXISTING TREE SURVEY
NW 38th St & 90th Terrace**

NUMBER	BOTANICAL NAME	COMMON NAME	CALIPER D.B.H. INCHES	APPROXIMATE HEIGHT IN FEET or CLEAR TRUCK	APPROXIMATE CANOPY DIAMETER IN FEET	CANOPY AREA (SQUARE FEET)	CONDITION 1 = Excellent = 100% 2 = Good = 75% 3 = Fair = 50% 4 = Poor = 25%	DESCRIPTION	PLAN ACTION
1	Sabal palmetto	CABBAGE PALM		12			100%		REMOVE
2	Sabal palmetto	CABBAGE PALM		8			75%	growing at the base of the ficus tree	REMOVE
3	Taxodium distichum	BALD CYPRESS	13	40	35	961.625	25%	growing at the base of the ficus tree	REMOVE
4	Ficus aurea	STRANGLER FIG	72	45	45	1589.625	50%	co-dominate trunk, branch decay	REMOVE
5	Quercus virginiana	LIVE OAK	31	25			50%	one sided canopy	REMOVE
6	Quercus virginiana	LIVE OAK	23.5	35	20	314	50%	one sided canopy	REMOVE
7	Mangifera indica	MANGO TREE	9.5	30	25	490.625	50%	co-dominate trunk, thin canopy	REMOVE

TOTAL CANOPY SQ. FT) REMOVED: 3,355.87
SEE SHEET LP-1 LANDSCAPE PLAN FOR TREE REPLACEMENT



LEAVE BLANK - FOR CITY USE ONLY

Thomas Laubenthal

Digitally signed by Thomas Laubenthal
DN: cn=Thomas Laubenthal,
o=Landscape Architect Consultants,
Inc, ou=LA0000563,
email=tom@lacfl.com, c=US
Date: 2021.07.29 14:45:04 -04'00'

M U V E
ARCHITECTURE
5453 NW 106TH DR CORAL SPRINGS, FL 33076
PHONE: (954) 812-6650 www.muvearch.com
AA#26003161

LAC
LANDSCAPE ARCHITECT
CONSULTANTS
2215 W. Broward Boulevard, Plantation, Florida 33317
P. (954) 581-1110 F. (954) 581-7118
Thomas J. Laubenthal, R.L.A.
TOM@LACFL.COM

Revision Schedule

Number	Description	Date

THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

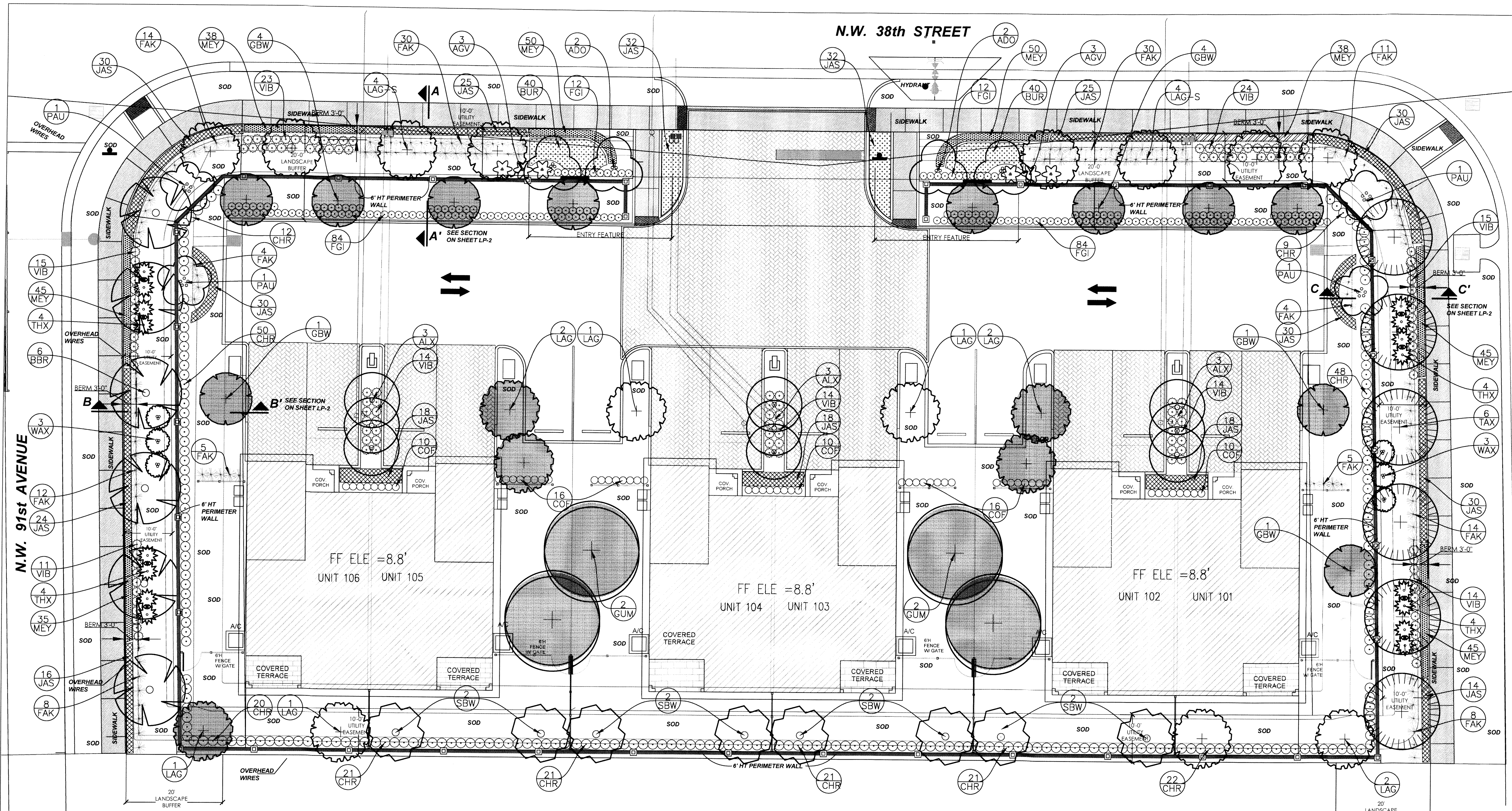
SHEET NAME
TREE INVENTORY PLAN:

DRAWN
RIM
SCALE
3/32" = 1'-0"
JOB NUMBER
17-005
ISSUE DATE
07/12/19

SEAL

DATE:
THOMAS J. LAUBENTHAL
#LA-0000563 #LC-26000422

EDIT DATE
6/19/2019 10:10:58 AM
SHEET NUMBER
TS-1 of 1



N.W. 91st AVENUE

N.W. 90th TERRACE



LANDSCAPE CODE Sunrise, Florida Zone RM-10

16-169(a)(1) a. Req. Bermed Landscape strip 15' W. adjacent to street ROW
 c. Berms average Ht + hedge= 48" Ht.
 berm min 24" Ht.
 d. Residential abutting street ROW bermed landscape strip at least 20' width
 Combination of wall 6' Ht and berm. Wall setback 10' from sidewalk.
 Low, mid and upper level landscape
 (2) 1 tree per 25 L.F. NW 38th St 10 Trees Req.
 NW 90th Terrace 6 Trees Req.
 NW 91st Avenue 6 Trees Req.
 6 Trees Provided (6 TAX)
 6 Trees Provided (6 BBR)

(b). Landscape req. abutting properties.
 Buffer 10' width.
 1 tree per 25 L.F. 275 L.F. / 25= 11 Trees Req.
 6' Ht wall
 Provided
 11 Trees Provided (8 SBW + 3 LAG)

(c). Parking area interior landscaping.
 25 square feet per parking space
 1 tree per 8 parking spaces
 Landscape islands 8' wide min.
 Provided
 Provided (2 LAG)

(d). Foundation or pedestrian landscape
 (2) 1 large evergreen tree per 30 L.F. of pedestrian zone.
 Provided (9 ALX)

(e). Entry feature landscaping.
 Consist of trees, low, mid, and upper level landscape and shall be
 provided on the perimeter of the project, extended on both sides the
 length of the entry drive.
 Provided (2 ADO)

1 tree per 25' of req landscape
 1 shrub per 2 L.F.
 Ground covers, 100% of the length.
 Provided

No more than 25% of proposed trees shall be slow growing (SG)
 Provided

25% of trees must be specimen
 (1/3 larger than min installation size of 12" HL)
 Provided (8 LAG-S = 16" HL)

PLANT LIST

KEY	PLANT DESCRIPTION	SPECIFICATIONS	QTY
BBR	Callistemon lanceolatus Red Bottlebrush	12' ht x 6' Spr., 6" CT, 2" caliper	6
GBW	Conocarpus erectus Green Buttonwood	10' ht x 5' Spr., 5" CT, 2" caliper, Multi-5 trunks min.	11
GUM	Bursera simaruba Gumbo Limbo	16' ht x 6' Spr., 6" CT, 4" caliper	4
LAG	Lagerstroemia indica "Natchez" Natchez White Crape Myrtle	12' ht x 6' Spr., 6" CT, Standard 3" cal.	10
LAG-S	Lagerstroemia indica "Natchez" Natchez White Crape Myrtle	16' ht x 8' Spr., 6" CT, Standard 4" cal.	8
SBW	Conocarpus erectus sericeus Silver Buttonwood	12' ht x 6' Spr., 5" CT, 2" caliper, Multi-5 trunks min.	8

TREE	CREDIT (S.F)	AMOUNT	TOTAL CREDIT (S.F)
GUMBO LIMBO	300	4	1200
GREEN BUTTONWOOD	150	11	1650
CRAPE MYRTLE	150	5	750
GRAND TOTAL			3600

TOTAL CANOPY (SQ. FT) REMOVED= 3,355.87 S. F
 TOTAL CANOPY (SQ. FT) REPLACED = 3,600 S. F

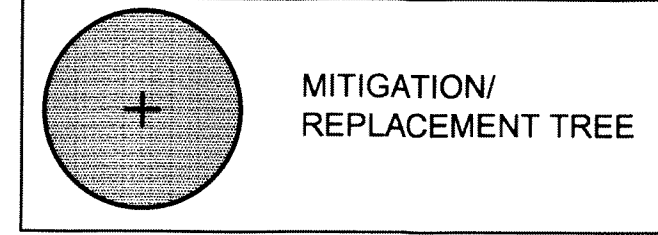
TAX	Taxodium distichum Bald Cypress	12' ht x 6' Spr., 6" CT, 3" caliper	6
WAX	Myrica cerifera Wax Myrtle	10' ht x 5' Spr. 5 trunks min. 2" caliper	6
ADO	Adonidia merrillii / Vacthia merrillii Triple Christmas Palm	10' CT, 18" OA ht, staggered heights	4
ALX	Ptychosperma elegans Alexander / Solitaire Palm	10'-12'-14" CW straight trunks Staggered heights	9
PAU	Accolorrhapha wrightii Paurotis / Everglade Palm	7'-20' OA staggered heights min 7 stems, full to base.	4
THX	Thrinax radiata Florida Thatch Palm	8' O.A. ht., matched palms Full head	16

WHERE REPLACEMENT CANNOT BE ACCOMPLISHED THE
 APPLICANT SHALL PAY A REPLACEMENT CONTRIBUTION
 INTO THE CITY'S REFORESTATION ACCOUNT. THE
 REPLACEMENT CONTRIBUTION WILL BE DETERMINED USING
 A SCHEDULE FOR CURRENT VALUE OF REPLACEMENT
 TREES PLUS INSTALLATION AND MAINTENANCE AS
 ESTABLISHED BY THE CITY.

AGV	Furcraea foetida Giant False Agave	36" ht x 36" spr 10 gal.	6
BUR	Philodendron "Burle Marx" Burle Marx Philodendron	18" Ht X 18" Spr. 18" O.C. sp.	80
CHR	Chrysobalanus icaco "Red Tip" Red Tip Coccoloba	24" Ht X 24" Spr. 24" O.C. sp.	236
COF	Psychotria nervosa Wild Coffee	24" Ht X 24" Spr. 24" O.C. sp.	62
FAK	Tripsacum dactyloides Dwarf Fakahatchee Grass	24" Ht X 24" Spr. 3-4" O.C. sp. as shown on plan	145
FGI	Ficus microcarpa "Green Island" Green Island Ficus	18" Ht X 18" Spr. 18" O.C. sp.	192
JAS	Jasminum volubile Waxy Jasmine	18" Ht X 18" Spr. 18" O.C. sp.	460
MEY	Asparagus densiflorus "Meyerii" Meyers' Foxtail Fern	1 Gal., full to pot 12" OC spacing	346
VIB	Viburnum suspensum Sandankwa	24" Ht X 24" Spr. 24" O.C. sp.	144
SOD	Stenotaphrum secundatum "Palmetto" St. Augustine Grass	Solid sod tight joints, weed free	as needed
MULCH	All areas not covered by Sod shall be Mulched in 3" continuous layer.	Eco-Mulch / available source 561-499-8148 www.mulchingsolutions.com	as needed

*PLANS TAKE PRECEDENCE OVER PLANT LIST

GRAPHIC KEY



SEE SHEET LP-2 FOR BERM CROSS SECTION

NOTE:
 WHERE DISCREPANCIES EXIST, THE CITY
 OF SUNRISE LAND DEVELOPMENT CODE
 ARTICLE VIII SHALL GOVERN.

NOTE:
 THE CITY OF SUNRISE REQUIRES A LANDSCAPE PRE-CONSTRUCTION CONFERENCE A
 MINIMUM OF TWO MONTHS BEFORE FINAL LANDSCAPE INSPECTION. THE CITY OF
 SUNRISE WILL REJECT ALL PLANT MATERIAL WHICH IS NOT FLORIDA NUMBER ONE AND
 ALL FIELD GROWN TREES WHICH DO NOT HAVE ROOTS GROWING THROUGH THE BURLAP.
 ALL SPECIES SUBSTITUTIONS OR REVISIONS TO THESE PLANS WILL BE CAUSE FOR
 REJECTION UNLESS APPROVED BY THE CITY OF SUNRISE IN ADVANCE OF PLANTING.

IRRIGATION NOTE:
 IRRIGATION SYSTEM WILL BE PROVIDED TO ENSURE 100%
 COVERAGE TO ALL LANDSCAPE AREAS, 50% OVERLAP

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 TOM@LACFL.COM

Revision Schedule

NUMBER	PER CITY COMMENTS Description	DATE
1	PER CITY COMMENTS	5-23-19
2	PER CITY COMMENTS	1-24-20
3	PER CITY COMMENTS DATED 5/11/20	12-02-20

THE CYPRESS OF SUNRISE
 9070 NW 38TH STREET
 SUNRISE, FLORIDA

SHEET NAME

LANDSCAPE PLAN:

DRAWN RJM
 SCALE 3/32" = 1'-0"
 JOB NUMBER 17.005
 ISSUE DATE 07/12/19

SEAL

DATE 12-07-20

EDIT DATE 6/19/2019 10:10:58 AM

SHEET NUMBER LP-1 of 2

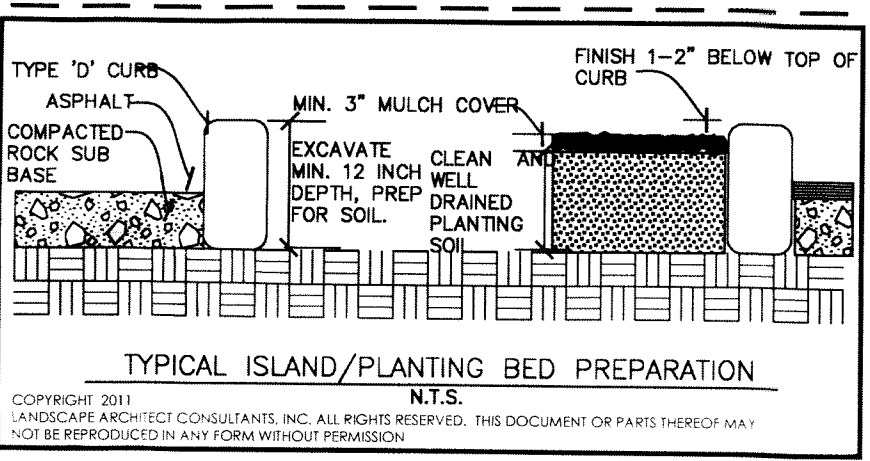
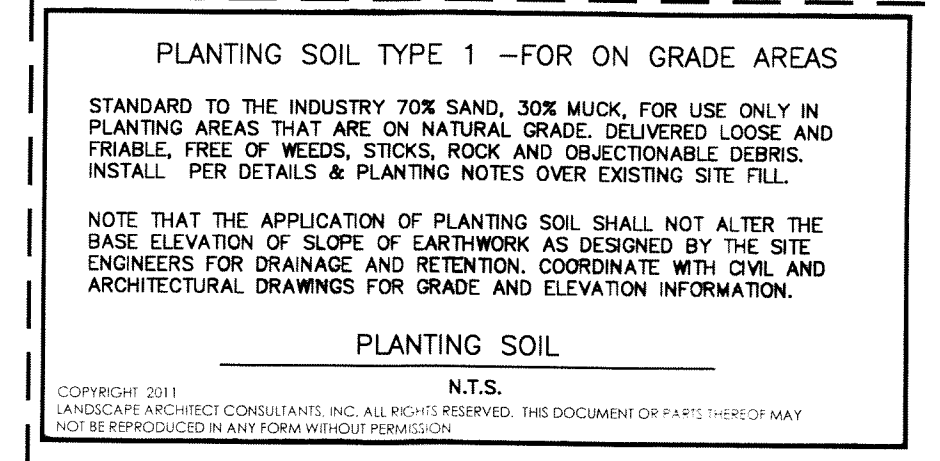
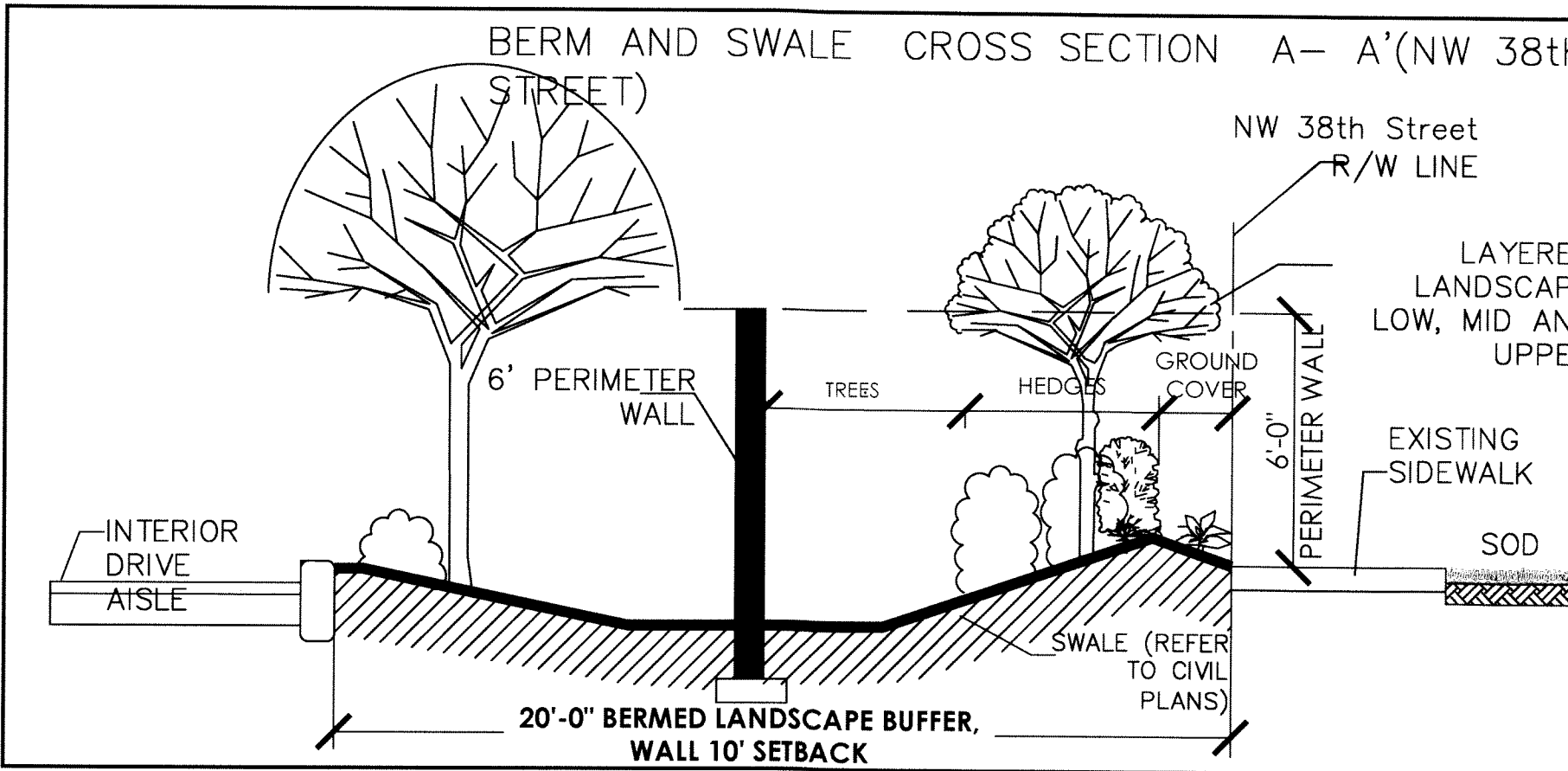
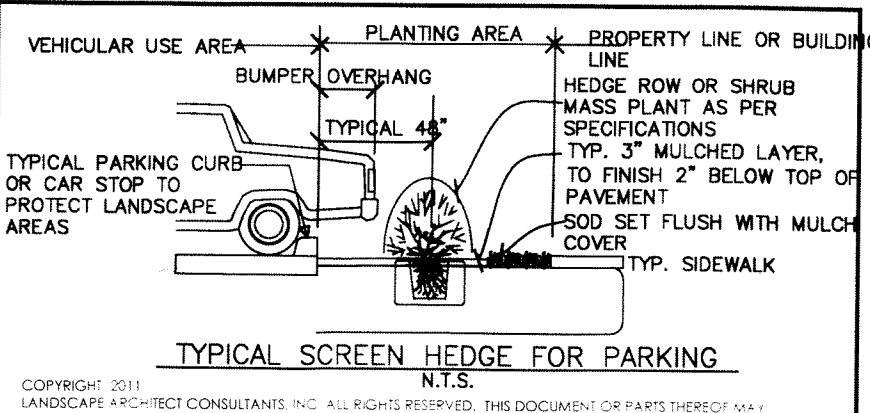
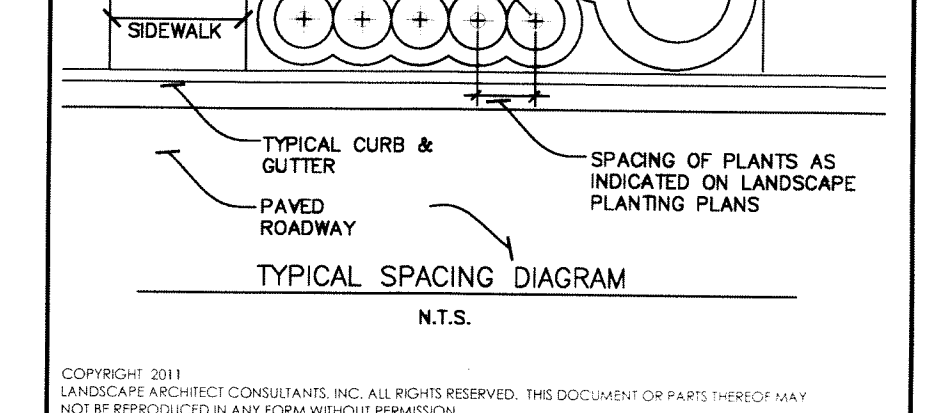
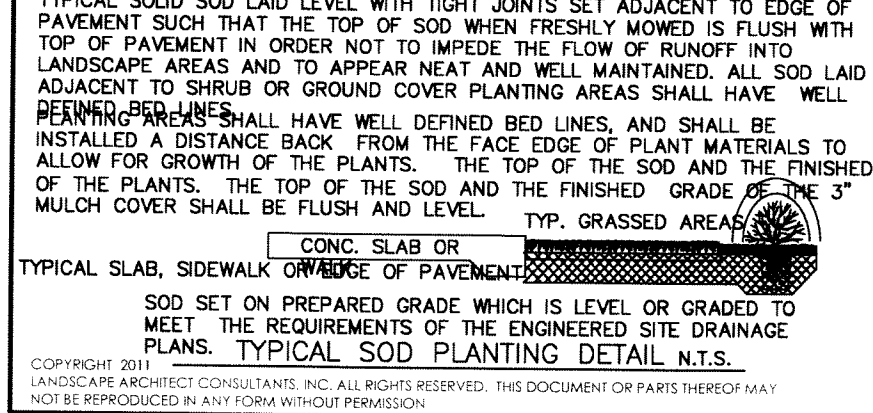
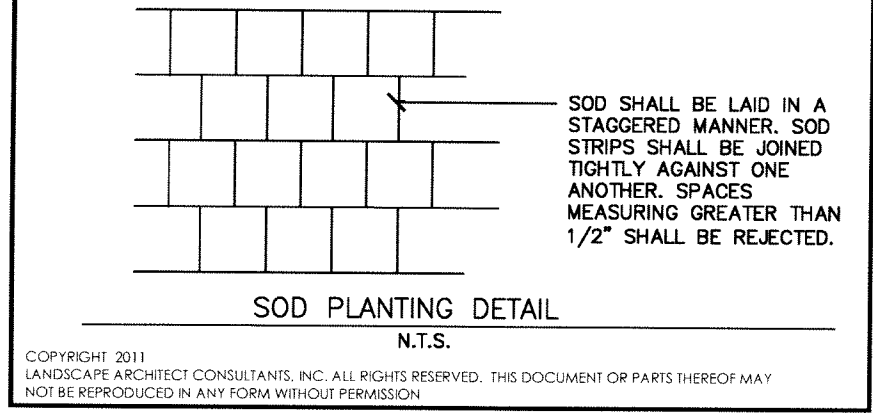
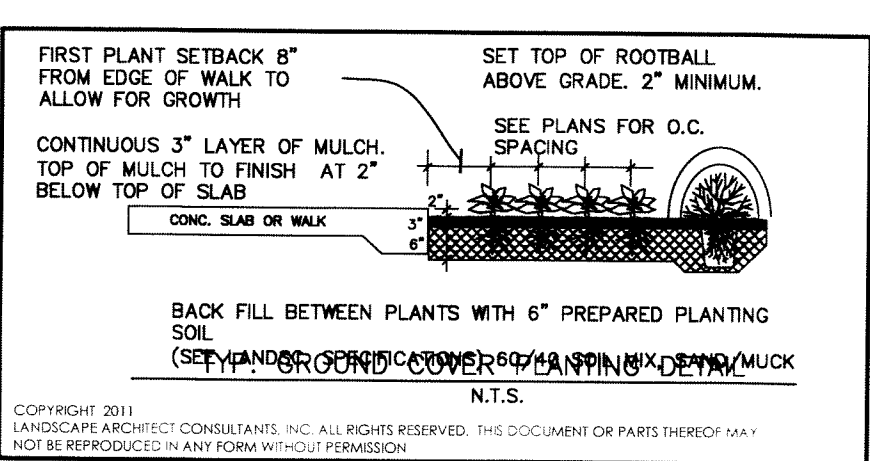
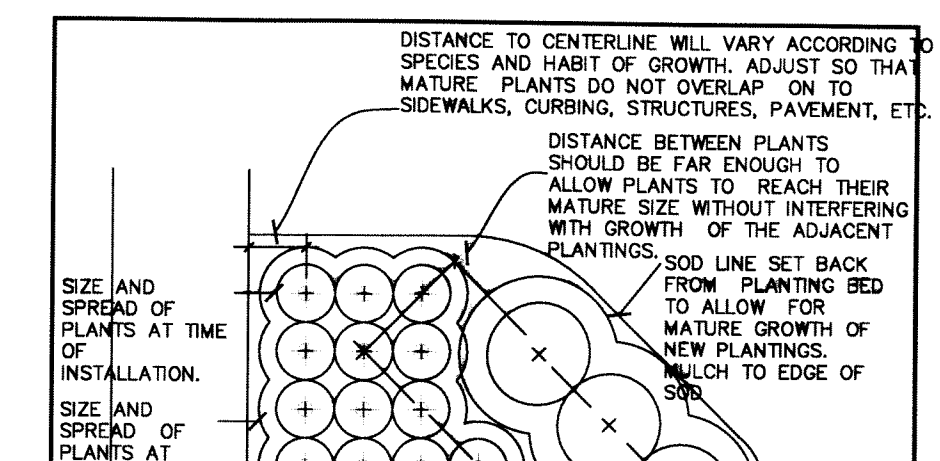
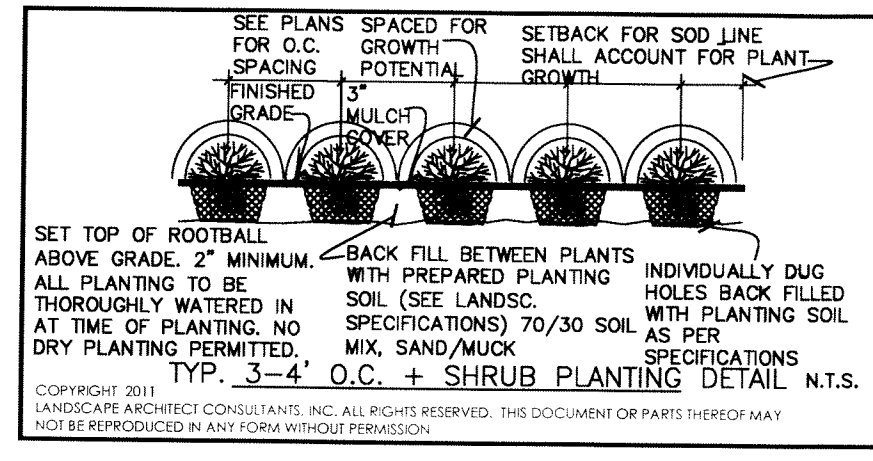
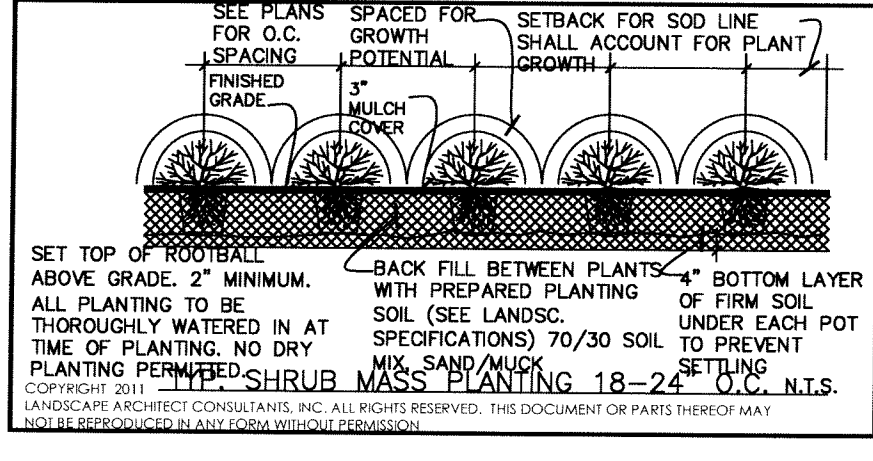
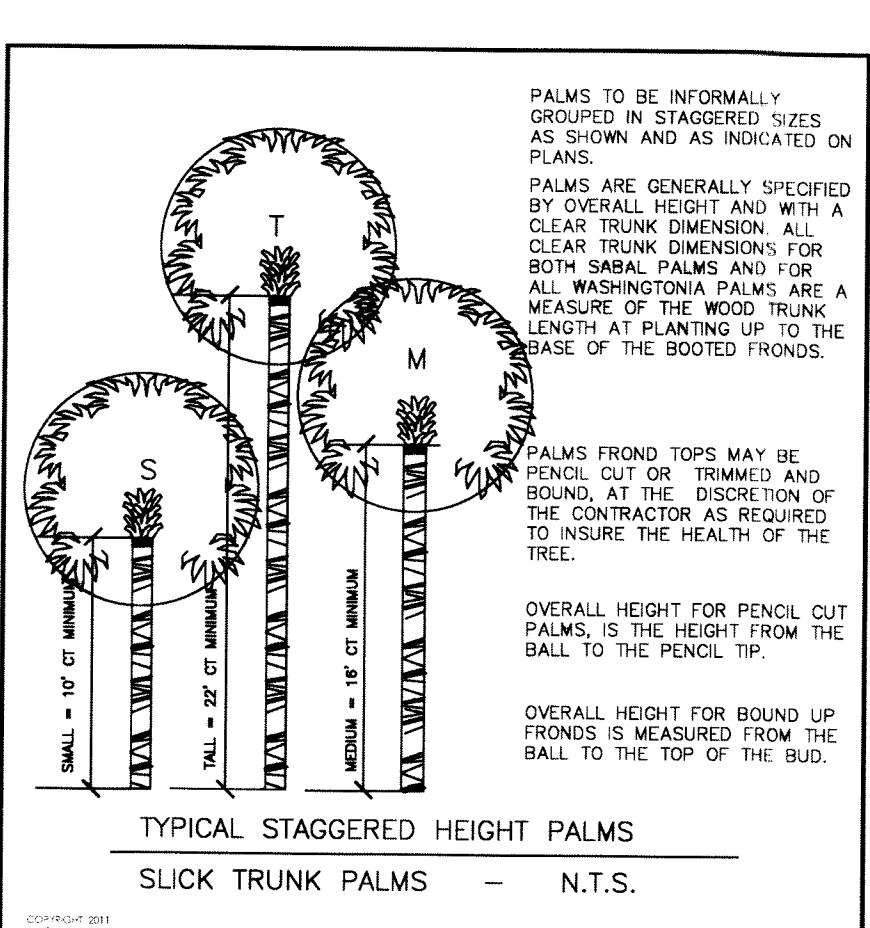
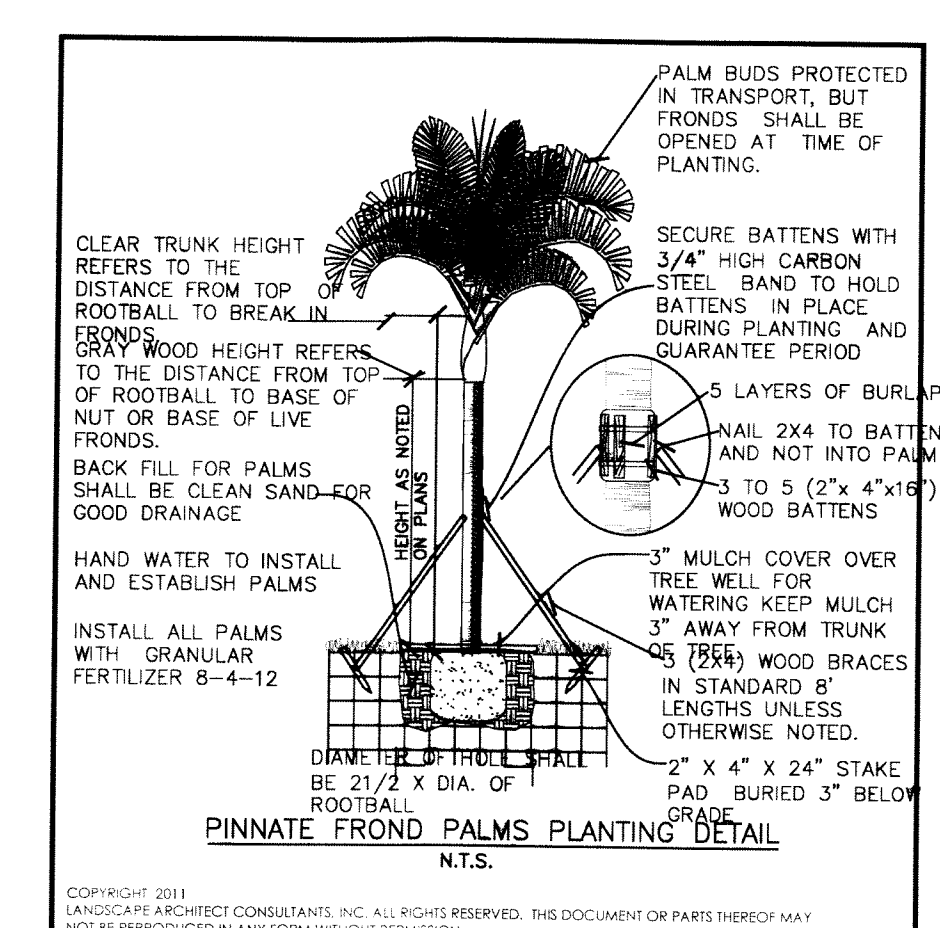
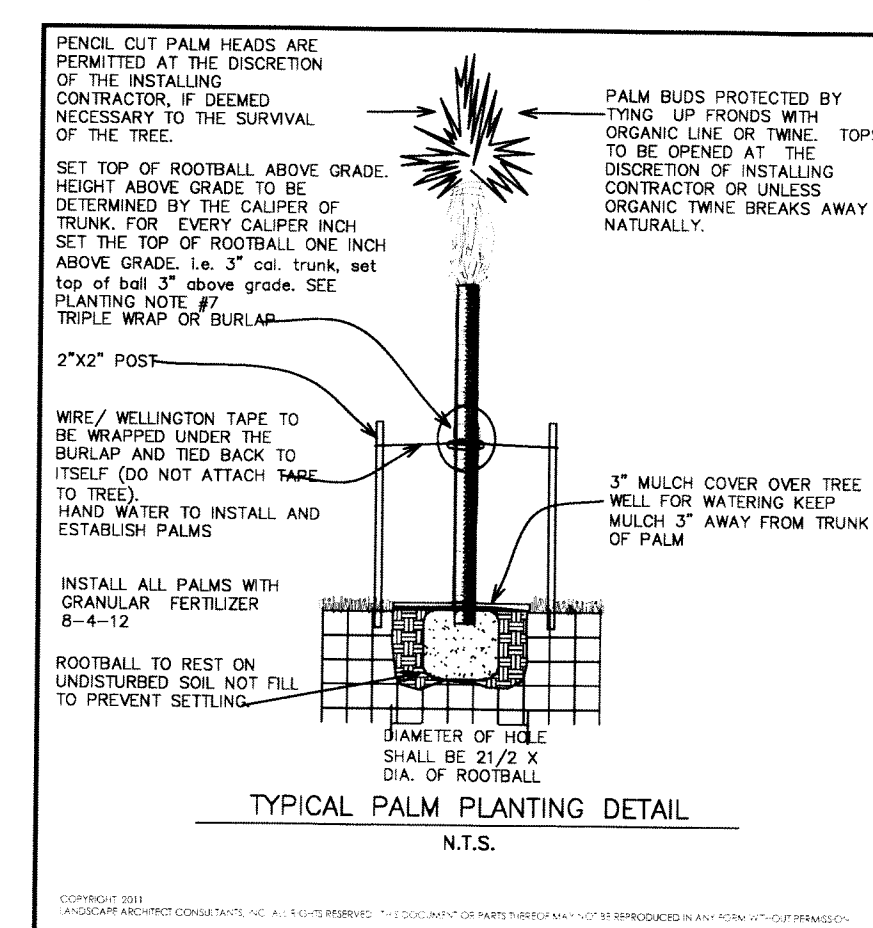
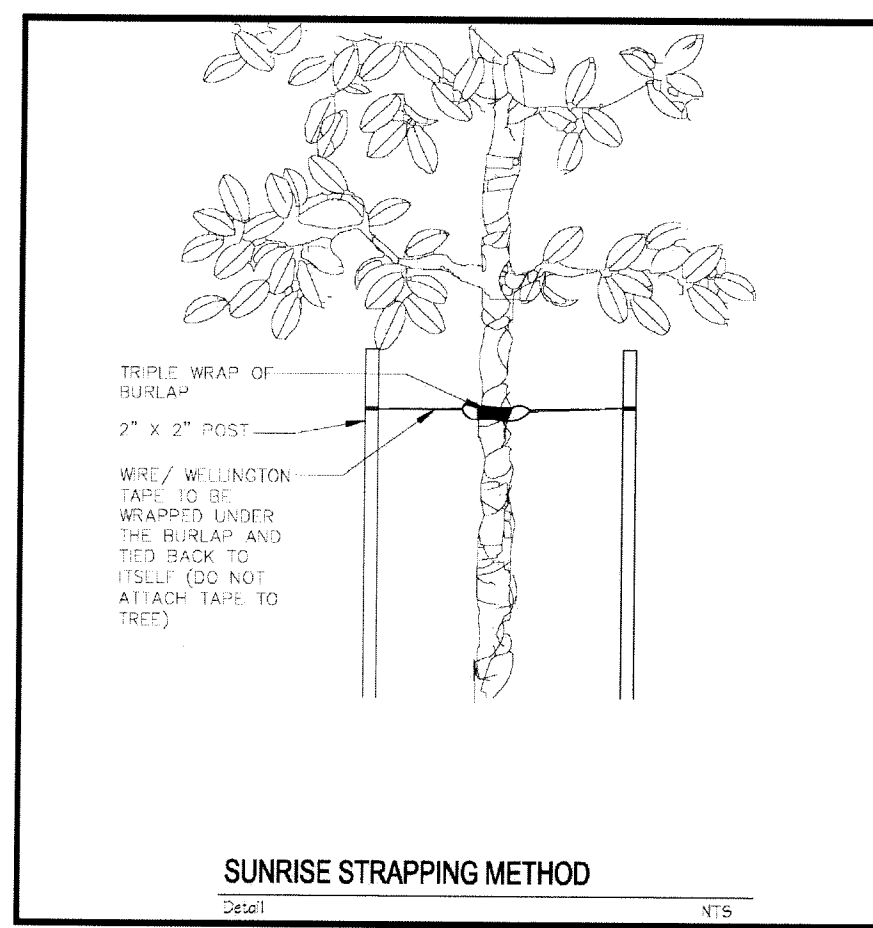
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PLANTING NOTES

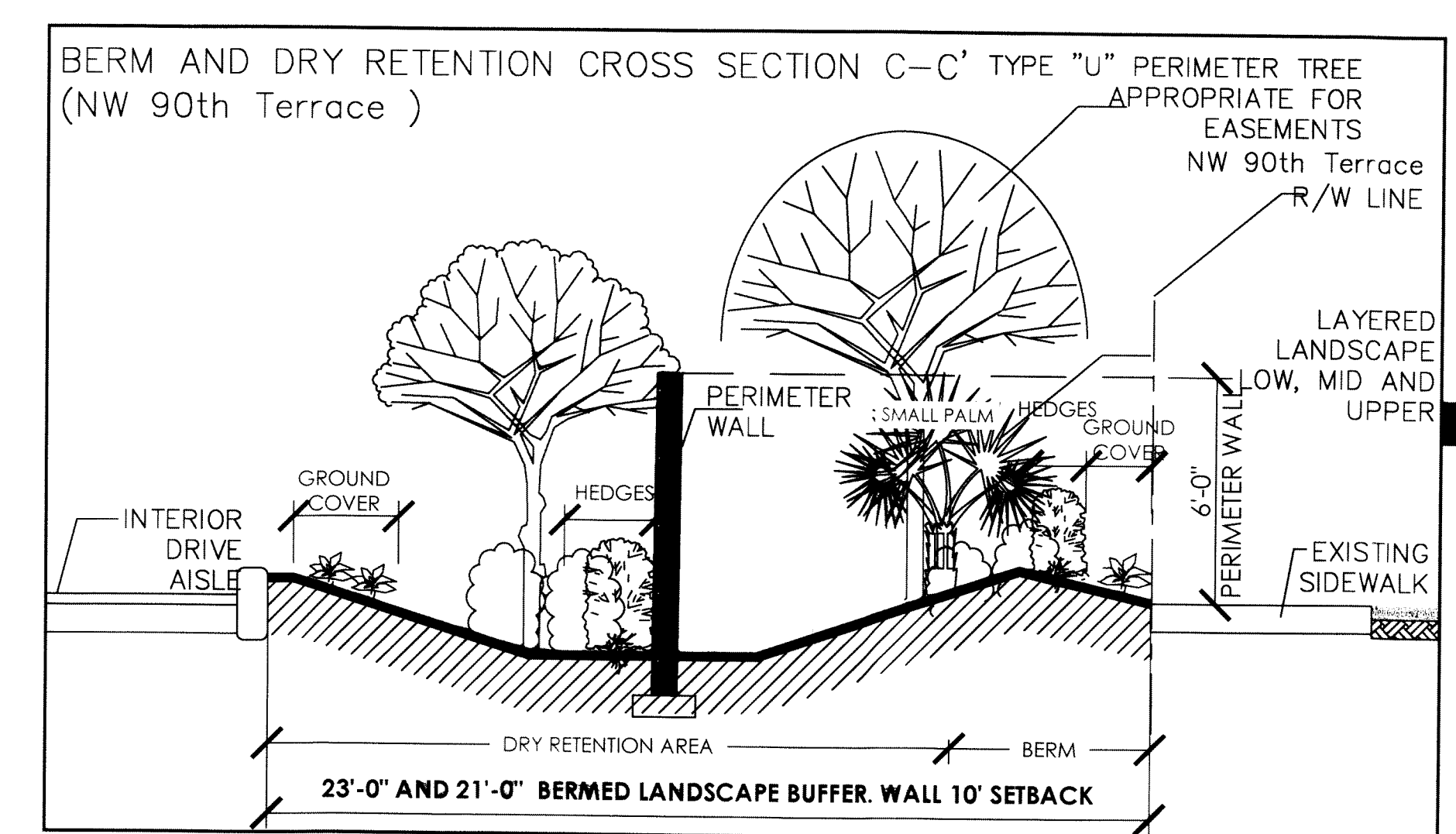
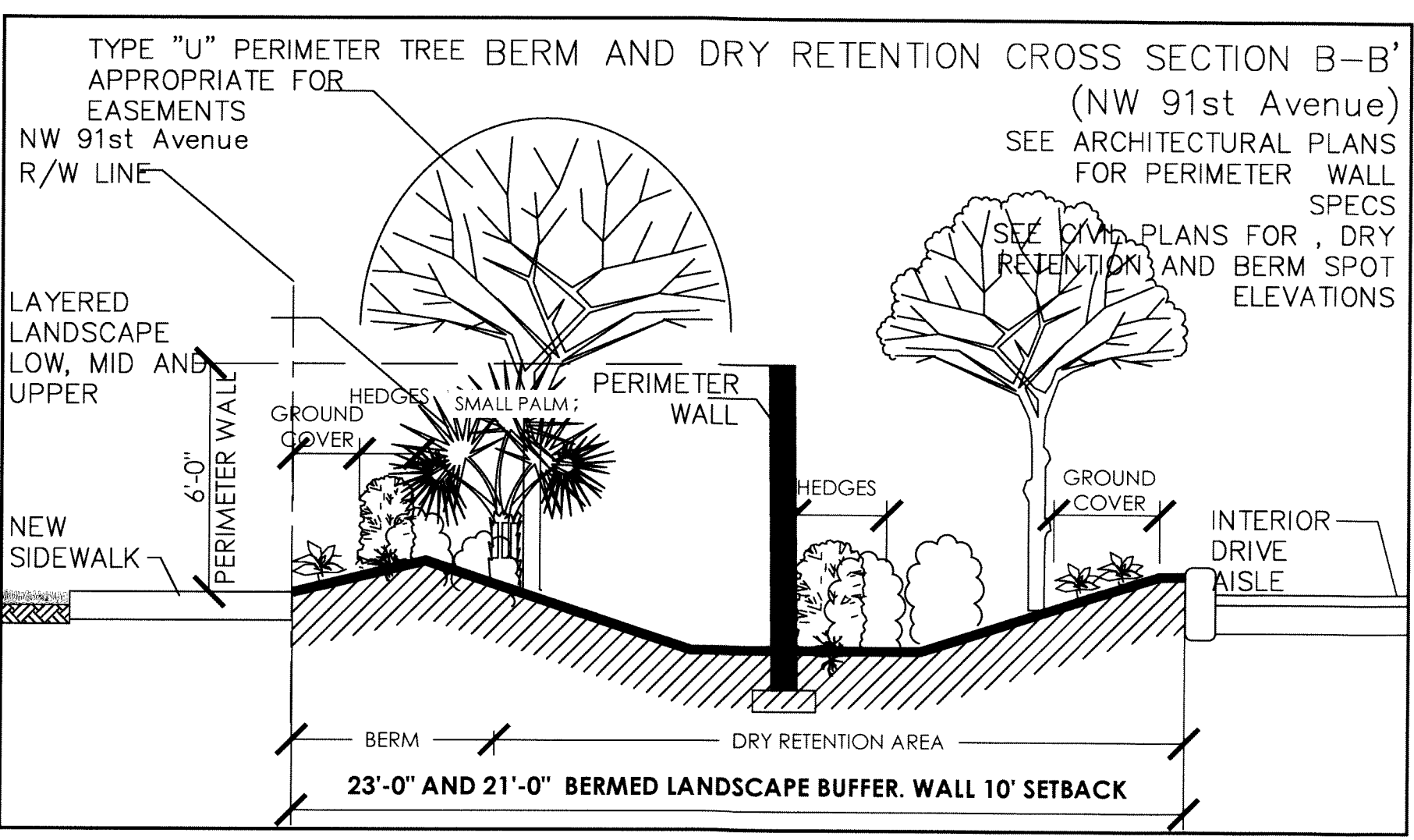
- All sizes for plant material shown on plan are to be considered as minimums. All plant material must meet or exceed all minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan will also be required for final acceptance.
- All plant material furnished by the Landscape Contractor shall be Florida No 1 or better, unless otherwise specified, and shall be installed as specified in the most current edition of Grades and Standards for Nursery Plants, Part I by the Florida Department of Agriculture, Consumer Services Division, State Plant Board of Florida.
- Landscape Design and installation shall conform to xeriscape landscape principles as included in the South Florida Water Management District's xeriscape Principle Guide II, updated version. Xeriscape requirements apply to all materials required by code. Additional plantings over and above code are provided to develop a higher aesthetic than code requires, and are not bound by these minimum standards.
- In addition to these requirements all local landscape codes and requirements shall be met as a part of this base bid and contract in order to satisfy the review and approval of the governing municipality.
- Quantities for landscape materials as noted on plans supersede any quantities listed in summary tables or lists.
- All landscaping scheduled to occur in vehicular use areas shall be protected from vehicular encroachment by curbing or other durable barriers.
- All planting holes shall have a minimum diameter of 2 1/2 times the diameter of the plant ball and have a minimum of 12" of soil on all sides of the plant ball. All planting holes shall be excavated to remove all objectionable materials, such as asphalt, sub-base, concrete, rock, caustic materials with an excessive soil Ph, or similar materials not suited for landscape planting. Planting holes shall be dug to a depth that is 90% the height of the root ball, with the installed root ball resting on undisturbed soil. Top of root ball to be 10% above final grade. For small caliper trees of 4" or less, plant the root ball above grade 1" for every 1" caliper. (i.e. if you have a 3" caliper tree plant the rootball 3" above grade. For all shrubs and ground cover plant the rootball minimum 2" above grade.
- All plant material shall be installed in planting soil that is delivered to the site in a clean, loose and friable condition. All soil shall have well draining characteristics. Soil must be free of all rocks, sticks, objectionable debris including weeds and weed seed. Minimum soil depth requirements may vary with each municipality. See details and local codes for clarification.
- All plant materials shall be thoroughly watered in at the time of planting. No dry planting shall be permitted.
- Local codes require specific formulas for the use of native plants, as well as calculations for required number of code size trees by type and caliper inch. See code calculation tables provided with plan drawings.
- Plans and new plantings shall be required to provide for safe sight lines at all access and egress points from the site, as well as intersections. All emergency equipment such as fire hydrants shall be maintained as visible and accessible, free of obstruction by new plantings. Trees require setbacks from lighting poles and fixtures. The contractor is required to field adjust the location of plant materials to meet these standards as work in contract.
- Fertilizer shall be applied directly to the surface of the plant bed immediately after installation and prior to mulching.
 - Turf Areas - Sunland Fertilizer 16-4-8, applied per mfg. recommendation noted on the bag.
 - Shrub Areas - Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.
 - Canopy Trees - Atlantic Fertilizer 12-6-8 plus Minors, applied per mfg. recommendation noted on the bag.
 - Palm Trees - Atlantic Fertilizer Palm Mix 8-4-12 plus Minors, applied per mfg. recommendation noted on the bag.
- All landscape areas not covered by shrubs or ground cover shall be planted with sod, and conversely all areas not covered by sod shall be covered with mulch to a minimum depth of (3) three inches of cover when settled. Mulch shall be kept 3" away from the face of the trunk (tree or palm). Eco-Cypress mulch or Eco-Melaleuca mulch shall be used; see natural mulch products at www.mulchingsolutions.com for product information or call 561-499-8148.
- Sod shall be (as noted) solid sod, and shall be laid on a smooth planting base which has been graded to meet the drainage characteristics of the site. All sod shall be laid with closely fitted joints, and shall be in a green and healthy growing condition at planting. Sod shall be free of disease, debris, sticks, rocks and weeds. Variety as specified in plans. Where sod is abutting shrub and/or ground cover beds, the sod line shall be cut in a clean smooth line (radial or straight) free of any jagged or crooked edges.
- All landscape areas shall be finished graded such that they are flush and level with the surrounding paved surfaces as not to impede the flow of drainage into landscape areas and to prevent the back wash of mulch and debris onto paved areas.
- All new landscaped areas shall be excavated of all road rock, existing site fill down to a depth of 12" minimum from top of curb. SEE DETAIL THIS SHEET FOR SPECIFICS.
- All landscape areas shall be irrigated by a fully automatic system adjusted to provide 100% coverage. All heads shall be adjusted to minimum 100% overlap.
- The irrigation system shall be equipped with a rain sensor shutoff device, hard wired to override the time clock, controller or pump station in the event of rain or equally wet conditions. This requirement conforms to the County and SFWMD ordinance.
- Any existing trees and their root zones on site shall be protected from damage during construction. All trees/palms to be removed or relocated shall require proper permitting and documentation of size, species, condition and proposed action. Established values for mitigation is required in the case of removals. Trees to be relocated shall be free of any hazardous defects and/or characteristics including but not limited to: Girdling roots, codominant leaders with bark inclusions, active trunk decay, stub cuts, open trunk wounds and palm fronds shall be hurricane cut in advance for any Sabal Palms to be relocated.
- All selective trimming of existing and/or relocated trees on site, shall be done applying the standards of the American National Standards Institute, ANSI 300, 2001.
- All new trees and relocated trees shall be guyed and braced applying the Standards of the National Arborist Association Guide Lines 1988 edition or most current.
- All trees and palms shall be setback from roadways, walks and utility clear zones as required to conform to safety standards of the local municipality, FDOT and/or the utility companies, whether the plans show dimensions or not. These standards shall supersede all plan documents and are included in the work required by the contractor to complete the project.
- Any substitutions to plant materials for areas addressed on the plans shall be approved by the governing municipality prior to work performed.
- Landscape materials shall be maintained during construction as part of this base contract and any materials that die or decline below grades and standards shall be replaced immediately for final acceptance.
- All landscape materials are guaranteed for full replacement including the material and labor for a period of one year from the time of final acceptance. This applies to any materials which are dead or have declined below grades and standards. The guarantee is void only in cases of 75 mph hurricane force winds at the site and/or a freeze below 35 degrees when established by the weather bureau as affecting the project location.
- Medium and large maturing palms shall be planted at least 3' (feet) from all hardscapes and at least their typical frond length from a building or light pole.
- Medium and large maturing trees shall be planted at least 5' (feet) from all hardscapes (e.g. sidewalks, driveways, pavers, curbs, etc.) They shall be planted a minimum of 10' (feet) from a building or light pole.

NOTE:
WHERE DISCREPANCIES EXIST, THE CITY OF SUNRISE LAND DEVELOPMENT CODE ARTICLE VIII SHALL GOVERN.

CODE REQUIRES 20' BERMED LANDSCAPE BUFFER ABUTTING R.O.W. AND 6' HT WALL TO BE 10' SETBACK FROM SIDEWALK. ON NW 90th TERRACE AND NW 91st AVENUE THE LANDSCAPE WIDTH REQUIREMENT HAS BEEN PROVIDED. HOWEVER, FOR DRAINAGE AND EASEMENTS REASONS, A DRY RETENTION AREA HAS BEEN PROPOSED, LEAVING A NARROW STRIP AVAILABLE FOR THE BERM. SEE CIVIL PLANS. SEE ARCHITECTURAL PLANS FOR PERIMETER WALL SPECS. THE HEIGHT OF THE WALL MAY VARY TO PROVIDE A CONTINUOUS 6' HEIGHT MEASURED FROM THE PERIMETER SIDEWALK ELEVATION. SEE CIVIL PLANS FOR DRY RETENTION AND BERM SPOT ELEVATIONS



CODE REQUIRES 20' BERMED LANDSCAPE BUFFER ABUTTING R.O.W. + 6' HT WALL TO BE 10' SETBACK FROM SIDEWALK. ON NW 38th STREET ONLY 10' LANDSCAPE STRIP HAS BEEN PROVIDED + 6' HT WALL (10' SETBACK FROM SIDEWALK). SEE ARCHITECTURAL PLANS FOR PERIMETER WALL SPECS LEAVING A NARROW STRIP AVAILABLE FOR THE BERM. SEE CIVIL PLANS FOR DRY RETENTION AND BERM SPOT ELEVATIONS



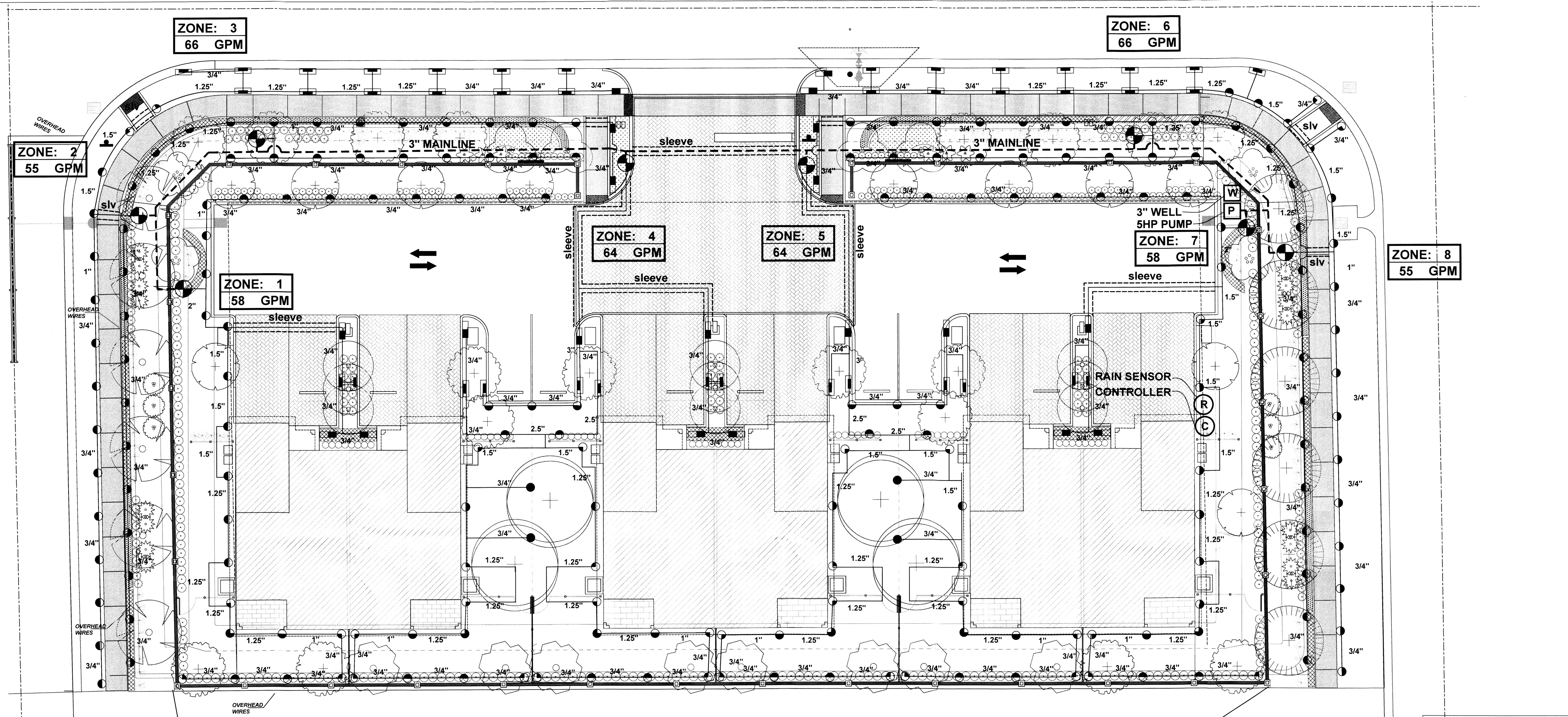
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JOB NUMBER		ISSUE DATE	
17-005		07/21/19	
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THOMAS J. LAUBENTHAL		6/19/2019 10:10:58 AM	
DATE		SHEET NUMBER	
2021.07.29		LP-2 of 2	

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Thomas J. Laubenthal, RLA
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DN: cn=Thomas Laubenthal, o=Landscape Architect Consultants, Inc, ou=LA0000563, email=tom@lacfl.com, c=US
Date: 2021.07.29 14:44:23 -0400





ZONE: 3
66 GPM

ZONE: 6
66 GPM

ZONE: 2
55 GPM

ZONE: 4
64 GPM

ZONE: 5
64 GPM

ZONE: 7
58 GPM

ZONE: 8
55 GPM

ZONE: 1
58 GPM

IRRIGATION EQUIPMENT GRAPHIC KEY:

- RAINBIRD PRS - 1800 SERIES F, TQ, H, Q, 6" OR 12" COMMERCIAL POP-UP BODY, w/ SCREEN AND NOZZLES TO TYP. SPACING. UTILIZE FULL SPECTRUM OF NOZZLES AVAILABLE BY MANUFACTURER TO PROVIDE FULL COVERAGE WITHOUT OVERSPRAY ONTO PAVEMENT. NOZZLES w/ SEAL-A-MATIC INTERCHANGEABLE NOZZLES. OPERATING POUNDS PER SQUARE INCH (PSI) AT 40.
- RAINBIRD 15SST, 15 EST, 6" COMMERCIAL POP-UP BODY, w/ SCREENS AND NOZZLES TO TYP. SPACING. UTILIZE FULL SPECTRUM OF NOZZLES AVAILABLE BY MANUFACTURER TO PROVIDE FULL COVERAGE WITHOUT OVERSPRAY ONTO PAVEMENT. NOZZLES SERIES 9 SIDE STRIPS.
- 5 HP PUMP SEE PLAN FOR LOCATION.
- W WELL. APPROX. LOCATION AS SHOWN ON PLAN. EXACT SIZE AND LOCATION TO BE DETERMINED BY CONTRACTOR.
- ⊕ RAINBIRD ESP - LY.ME. 12 - STATION OPERATING SPECIFICATIONS, BATTERIES, AS REQUIRED FOR A FULLY OPERATIONAL SYSTEM TO CONTROL ALL VALVES INSTALLED IN THIS PHASE OF CONSTRUCTION. WALL MOUNTED IN LOCATION SHOWN ON PLAN (VERIFY W/OWNER).
- RAINBIRD RAIN SWITCH AND BYPASS SWITCH. (SEE DETAILS) MOUNTED IN LOGICAL LOCATION AWAY FROM OVERHEAD OBSTRUCTIONS.
- RAINBIRD SERIES (OR EQUAL), 24V ELECT., GLASS FILLED NYLON BODY VALVE w/ PRESSURE REGULATOR, INSTALLED IN A VALVE BOX ASSEMBLY AS PER DETAILS.
- VALVE BOXES SHALL BE AMETEX OR APPROVED EQUAL, STANDARD 12" ROUND FOR ALL LOCATIONS. ALL VALVES, FILTERS, AND SIMILAR ASSEMBLIES AS SHOWN IN DETAILS WILL REQUIRE A SEPARATE VALVE BOX WHETHER SHOWN ON PLANS OR NOT. IT IS IMPLIED THAT EACH ASSEMBLY REQUIRES ITS OWN SEPARATE VALVE BOX ASSEMBLY.
- IRRIGATION LATERAL LINE, SIZE AS NOTED ON PLANS. ALL CONTROL WIRES SHALL BE INSTALLED IN GRAY CONDUIT IN SAME TRENCH WITH LATERAL LINES.
- MAINLINE AS SHOWN ON PLANS. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY EXACT SIZE, LOCATION AND PRESSURE AVAILABILITY OF EXISTING MAINLINE.
- SLEEVE FOR IRRIGATION MAIN LINE, SECTION LINES AND CONDUITS. SEE NOTES ON PLAN AND SLEEVE SIZING CHART.

ZONE: 3
66 GPM

THE ALPHABETICAL FIGURE INDICATES THE PARTICULAR CONTROLLER (BUILDING OR MASTER). THE NUMERICAL FIGURE INDICATES THE PARTICULAR ZONE NUMBER OR STATION. SEE VALVE SIZING SCHEDULE FOR APPROPRIATE 1", 1.5" OR 2" VALVE SIZE. THE LOWER NUMERICAL FIGURE INDICATES THE TOTAL NUMBER OF GALLONS PER MINUTE (GPM) THAT THE ZONE IS DESIGNED FOR, CORRESPONDING TO THE APPROPRIATE SIZE VALVE. SEE VALVE SIZING CHART INFORMATION.

IRRIGATION NOTE:
IRRIGATION SYSTEM TO ENSURE 100% COVERAGE TO ALL LANDSCAPE AREAS, 50% OVERLAP



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Thom as Laubenthal
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Date: 2021.07.29 14:41:23 -04'00'

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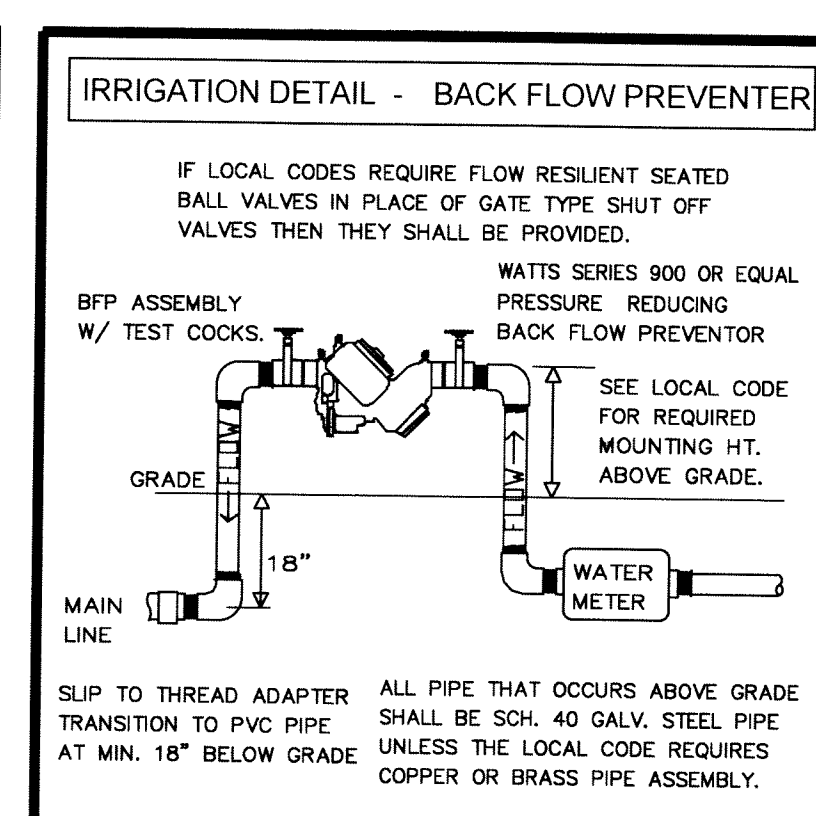
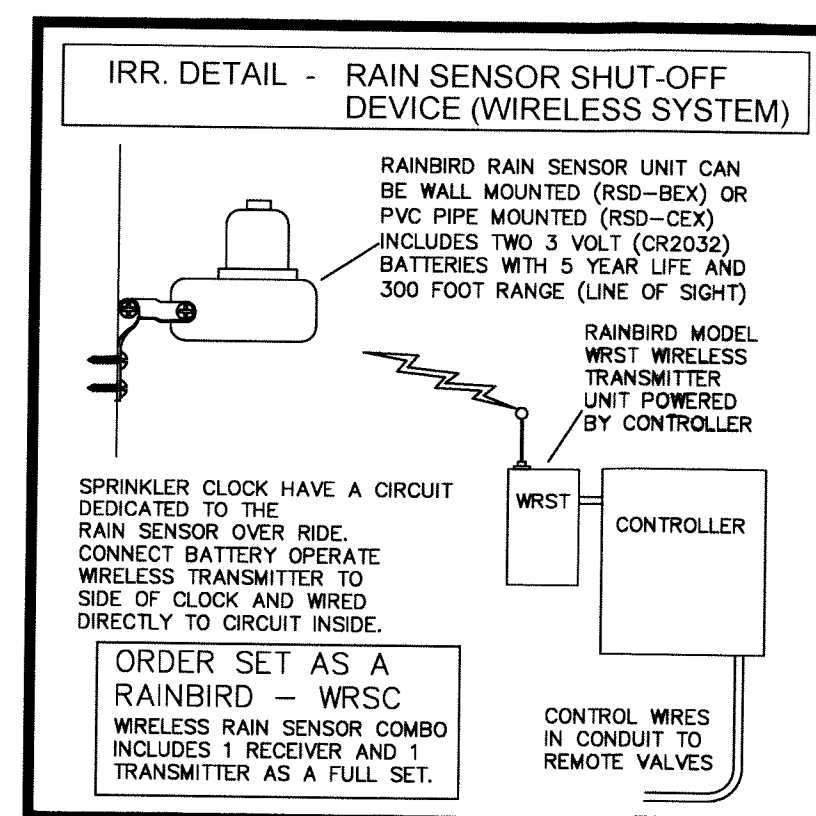
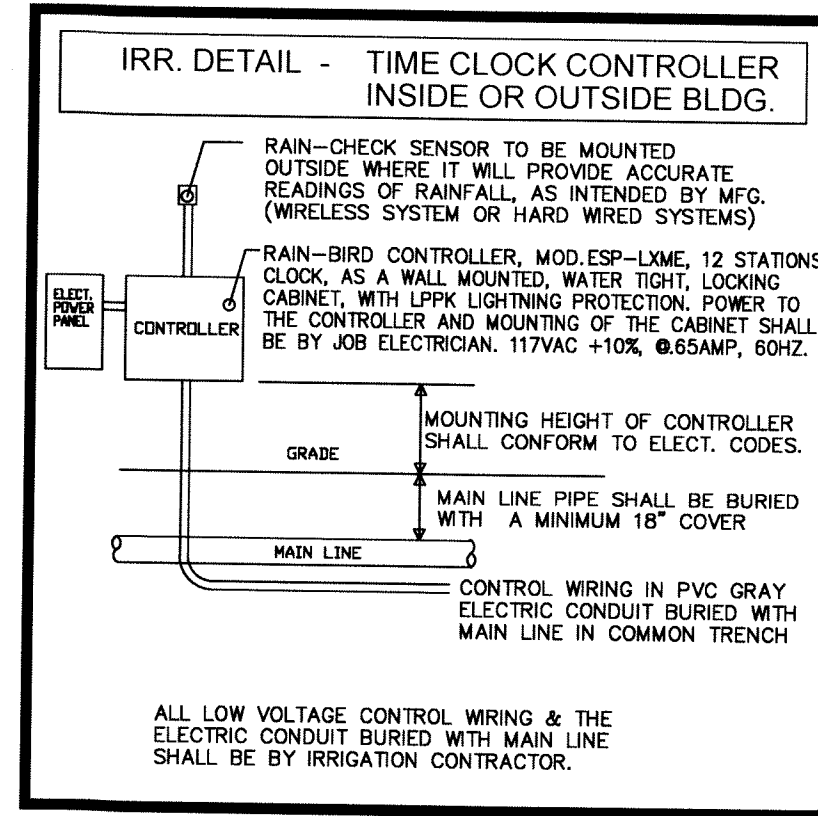
Thomas J. Laubenthal
Registered Florida Landscape Architect
LA-0000563
Project No. 18-036

Revision Schedule		
Number	Description	Date

THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

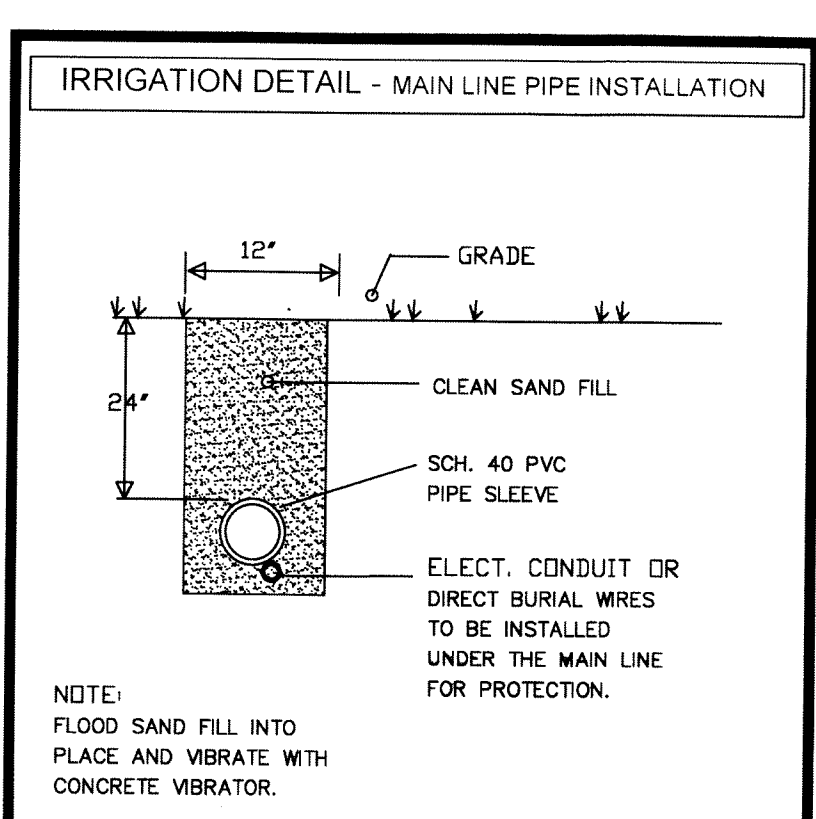
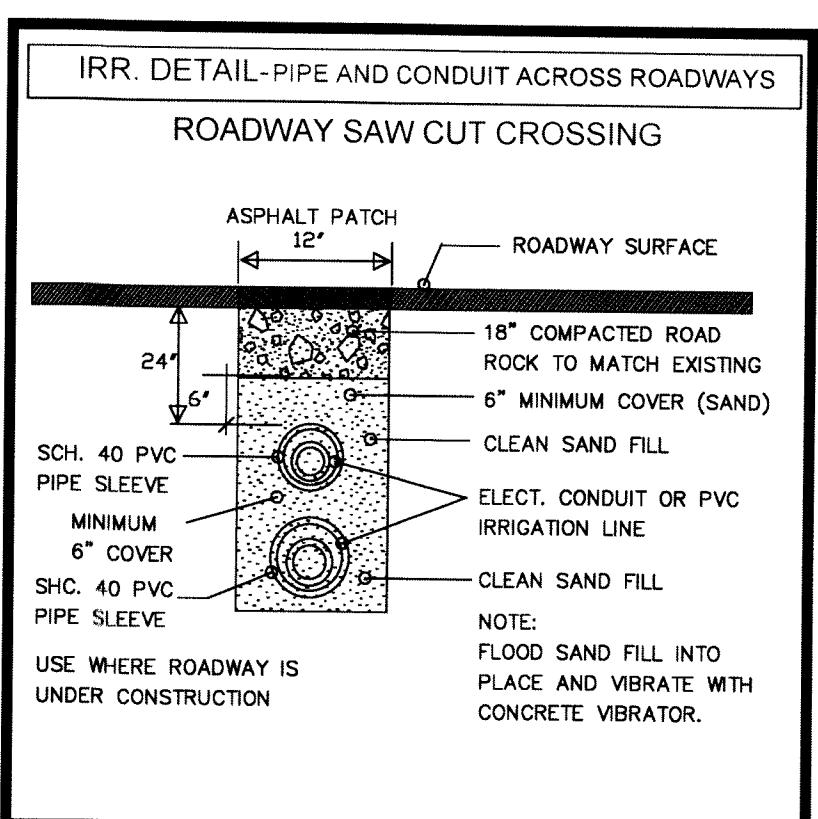
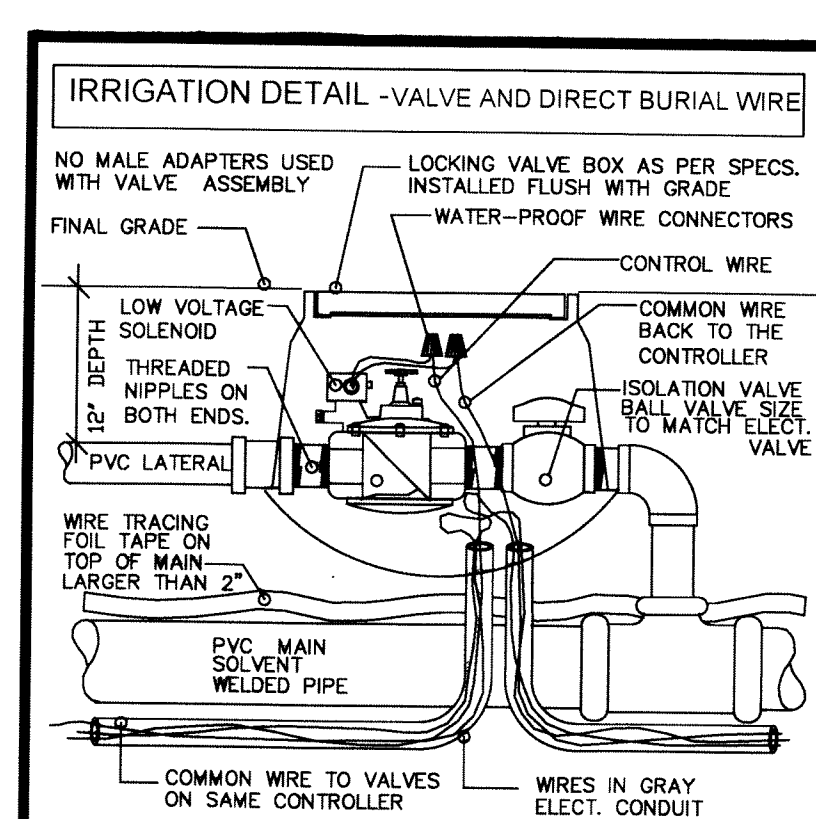
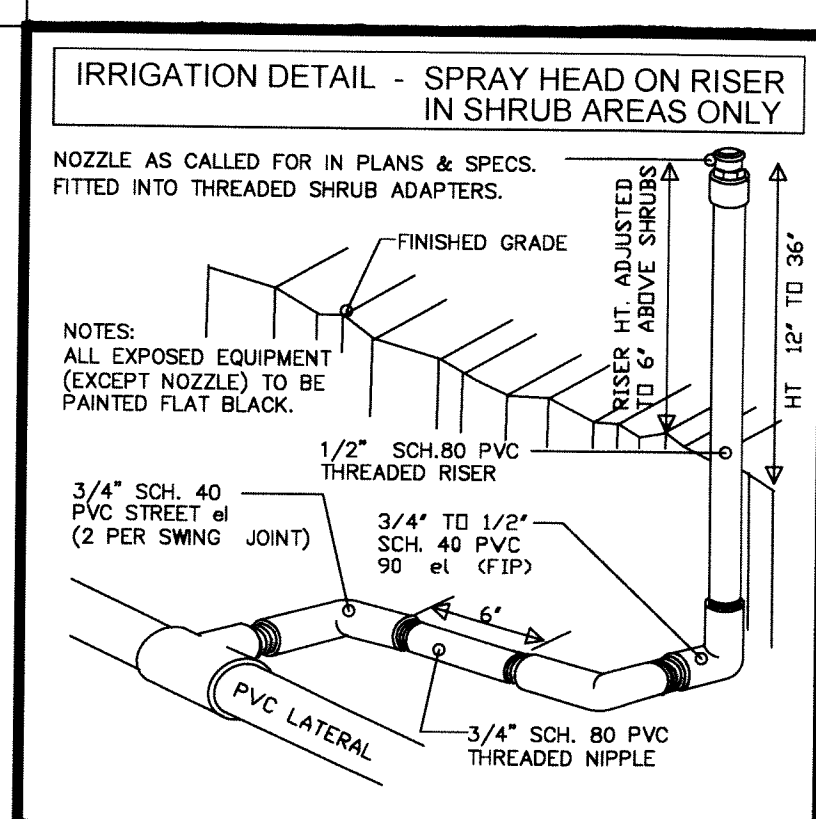
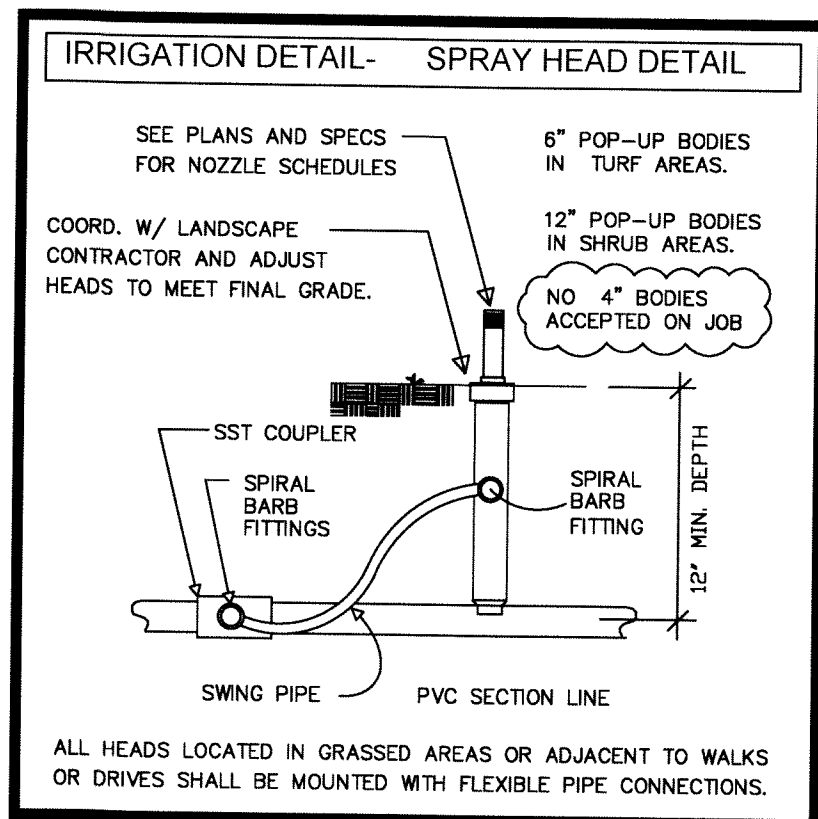
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SCALE	3/32" = 1'-0"
JOB NUMBER	17-005
ISSUE DATE	07/12/19

SEAL	EDIT DATE
<i>Thomas J. Laubenthal</i>	6/19/2019 10:10:58 AM
DATE	SHEET NUMBER
THOMAS J. LAUBENTHAL #LA-0000563 #LC-26000422	IR-1 of 3



GENERAL SPRINKLER NOTES:

- IRRIGATION CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH ALL OTHER DRAWINGS OF THE PROJECT TO RESOLVE COORDINATION AND POTENTIAL CONFLICTS WITH EXISTING UNDERGROUND PIPES AND UTILITIES OR WORK BY OTHERS. PRIOR TO ANY WORK BEING DONE. MOST MAIN LINES SHARE ALIGNMENT WITH PERMETER UTILITY EASEMENTS & SIGNIFICANT LANDSCAPE BUFFER PLANTINGS. AVOID CONFLICTS WITH ROOTBALL AREA OF TREES.
- THE IRRIGATION CONTRACTOR IS RESPONSIBLE TO CALL FOR LOCATIONS AND TO COORDINATE WITH LOCAL AGENCIES TO IDENTIFY LINES, PIPES, CABLES OF EASEMENTS WITHIN THE EFFECTED AREAS, PRIOR TO WORK. ALL WORK SHALL CONFORM TO THE FLORIDA BUILDING CODE PLUMBING SECTION, APPENDIX F FOR IRRIGATION.
- THE INSTALLING CONTRACTORS ARE RESPONSIBLE FOR THEIR OWN LICENSE, AND PERMITS WITHIN THE MUNICIPALITY AND MIAMI-DADE COUNTY AS WELL AS THE RELATED FEES WITHIN THE CONTRACT PRICE. PERMITS FOR SOUTH FLORIDA WATER MANAGEMENT DISTRICT ARE PULLED BY THE OWNER. (QUALIFIED APPLICANT 104.6.1.2) PERMITS WILL ONLY BE ISSUED TO QUALIFIED PEOPLE OR FIRMS. QUALIFICATION SHALL BE IN ACCORDANCE WITH: THE RULES OF THE BROWARD COUNTY CENTRAL EXAMINING BOARD, ORDINANCE 78-9 AND CHAPTER 9 OF THE COUNTY CODES; STATE DBPR, CHAPTER 489, PART 1 OF FLORIDA STATE STATUTES; OR OTHER EXAMINING BOARDS APPROVED BY THE BROWARD BOARD OF RULES AND APPEALS.
- THE HORIZONTAL CONTROL FOR THE PROJECT WILL BE ESTABLISHED BY THE GENERAL CONTRACTOR WHO WILL LOCATE AND STAKE PROPERTY LINES, ALL RECORDED EASEMENTS, LIMIT OF WORK LINE, LIGHT POLES, PAVED AREAS, PARKING ISLANDS, DRAINAGE STRUCTURES AND RELATED FEATURES.
- ALL MAINS AND SECTION LINES ARE SHOWN SCHEMATICALLY. LINES WHERE EVER POSSIBLE SHALL BE CONSOLIDATED INTO COMMON TRENCHES. THE CONTROL WIRES IN GRAY ELECTRICAL CONDUIT SHALL BE LOCATED UNDER THE MAIN FOR PROTECTION.
- ALL MAIN LINES SHALL BE BURIED A UNIFORM 24" BELOW GRADE. ALL SECTION LINES SHALL BE INSTALLED A MINIMUM OF 12" BELOW GRADE.
- SLEEVES UNDER ROADWAYS MAY BE DEEPER THAN 24" TO COORDINATE WITH ROADWAY CONSTRUCTION REQUIREMENTS OR TO COORDINATE WITH UTILITIES. SLEEVES UNDER PAVED PARKING AREAS WILL TYPICALLY MAINTAIN A 24" DEPTH TO ALIGN WITH MAIN LINE INSTALLATION DEPTHS.
- ALL MAIN LINE PIPE SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241.
- ALL SECTION LINE PIPE FROM 3/4" TO 2" I.D. SHALL BE SCHEDULE 40 PVC NEW PIPE ONLY. TYPE 1, PIPE, ASTM D-2241. ALL SECTION LINE PIPE FROM 2.5" TO 6" SHALL BE SDR-26 (160 PSI) PVC 1120 TYPE 1 PIPE.
- ALL PIPING IS SIZED TO MEET DESIGN CALCULATIONS FOR GPM FLOW AND FOR A PRE-DESIGNED CUSHION TO ALLOW FOR NOMINAL REPAIRS AND FOR MODIFICATIONS TO THE SYSTEM WHICH OCCUR OVER TIME IN NORMAL OPERATION OF SYSTEM. LINE SHALL BE INSTALLED TO THE SIZE AS SHOWN IN PLANS. DOWN SIZING LINES IS NOT PERMITTED WITHOUT A CHANGE ORDER AND A REVISION OF THE DRAWING. THE CONTRACTOR MAY SUGGEST REVISION OR VALUE ENGINEERING WITH THE LANDSCAPE ARCHITECT FOR REVIEW AND WRITTEN APPROVALS PRIOR TO IMPLEMENTATION.
- ALL PVC SOLVENT WELDED ASSEMBLY SHALL BE CLEANED AND PRIMED PRIOR TO THE SOLVENT WELD. ALL PVC CEMENT SHALL CONFORM TO ASTM D-2564. ALL PVC PIPE CLEANER SHALL CONFORM TO ASTM F-656.
- ALL WORK SHALL BE DONE IN A GOOD WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND STANDARDS OF THE FLORIDA IRRIGATION SOCIETY, BROWARD CHAPTER AND FLORIDA BUILDING CODE APPENDIX F.
- ALL CONTROL WIRES SHALL BE U.L. APPROVED DIRECT BURIAL TYPE PLASTIC COATED WIRE, AWG SIZE MINIMUM 14 GAUGE SOLID OR 12 STRAND WIRE. ALL SPLICES SHALL BE MADE WITH RAINBIRD ST-03 SNAP TIGHT WATERPROOF CONNECTORS. ALL WIRES SHALL BE MARKED WITH DURABLE TAGS IDENTIFYING EACH AND ALL WIRES.
- ALL CONTROL WIRES SHALL BE INSTALLED IN U.L. APPROVED SIZE OF CLASS 160 GRAY ELECTRICAL CONDUIT WITH SWEEPS UP INTO A PULL BOX OR VALVE BOX ASSEMBLY.
- THE IRRIGATION CONTRACTOR SHALL BRING THE CONTROL WIRES TO THE TIMECLOCK/CONTROLLER AND CONNECT ALL WIRING ON THE LOW VOLTAGE SIDE OF THE PANEL. ALL HIGH VOLTAGE WIRING AND POWER IS PROVIDED BY THE PUMP MANUFACTURER AND THE OWNER. LABEL ALL CONTROL WIRES AT THE PANEL TO CONFORM TO THOSE IN THE FIELD.
- ALL VALVE BOXES AND PULL BOXES FOR CONTROL WIRES SHALL BE AN AMETEX BOX, MINIMUM 10" DIAMETER ROUND BOX. ONE PER EACH VALVE.
- EACH LENGTH OF MAIN LINE BETWEEN THE PUMP STATION AND EACH ISOLATION VALVE SHALL BE PRESSURE CHECKED AND INSPECTED BY THE DESIGN PROFESSIONAL. PRESSURE MUST MAINTAIN A MINIMUM OF 5 PSI LOSS IN 24 HOURS FROM A 100 PSI PRIMING FOR ANY GIVEN TEST LENGTH.
- THE SPRINKLER CONTRACTOR SHALL COORDINATE WITH THE WATER DEPARTMENT TO INSTALL THE BACK FLOW PREVENTOR ACCORDING TO LOCAL CODES & STANDARDS ADJUSTING TO SCHEDULES OF EQUIPMENT, PIPING, MATERIALS FOR SIGN OFF AND APPROVALS. CODE REQUIREMENTS TAKE PRECEDENT OVER DETAILS & SPECIFICATIONS.
- THE FULL SPECTRUM OF NOZZLES, NOZZLE ANGLES, FULL CIRCLE, PART CIRCLE & ADJUSTABLE PATTERN HEADS IS TO BE EMPLOYED IN THIS CONSTRUCTION. THE CONTRACTOR SHALL ADJUST THE SYSTEM FOR COMPLETE COVERAGE WITH THE MANUFACTURERS RECOMMENDED 100% OVERLAP, AND UTILIZE THE ADJUSTABLE PATTERN HEADS TO AVOID OVERSPRAY TO PAVED SURFACES. THE CONTRACTOR IS ALSO TO INCLUDE IN HIS BID AND PROVIDE FOR THE INSTALLATION OF ANY ADDITIONAL HEADS REQUIRED TO BE ADDED TO INSURE COVERAGE FOR THE PROJECT.
- ALL HEADS SHALL BE SET USING THE MANUFACTURERS RECOMMENDED SWING JOINT ASSEMBLIES INCLUDING SPIRAL BARB FITTINGS AND THICK WALL PIPE OR SUBMIT SHOP DRAWINGS FOR APPROVAL.
- ALL MATERIALS ARE GUARANTEED FREE FROM DEFECTS AND ALL WORKMANSHIP AND INSTALLATION ARE GUARANTEED FOR THE COST OF FULL REPLACEMENT FOR A PERIOD OF ONE YEAR FROM THE TIME OF COMPLETION AND FINAL ACCEPTANCE OF EACH SEPARATE, COMPLETED, AND FULLY OPERATIONAL SYSTEM.



IRRIGATION DETAIL - PIPE SLEEVE SCHEDULE

NOTE: SEE PIPE SLEEVING SCHEDULE FOR SLEEVE SIZES. FOR PIPES 1/2" AND OVER THERE SHOULD BE A 2" MINIMUM BETWEEN THE INSIDE WALL OF THE SLEEVE AND THE OUTSIDE WALL OF THE PIPE.

PIPE SIZE	SLEEVE SIZE
1"	2"
1 1/4"	2 1/2"
1 1/2"	3"
2"	4"
2 1/2"+	6"

SLEEVES THAT PROTECT TWO OR MORE LATERALS AND/OR MAINS IN THE SAME SLEEVE SHALL BE SIZED BY THE CONTRACTOR WITH THE SAME MINIMUM 2" CLEARANCE STANDARD FOR ALL PIPES.

IRRIGATION DETAIL-PRESSURE TESTING MAIN LINES

MAIN LINE PIPE SHALL BE INSTALLED WITH A MINIMUM OF 18" OF COVER. NO ROCK SHALL BE IN CONTACT WITH PIPE.

MAIN LINE PIPE SHALL BE SCHEDULE 40 PVC PIPE ONLY, WITH SOLVENT WELDED FITTINGS, INSTALLED AS PER THE MANUFACTURERS RECOMMENDATIONS INCLUDING PIPE CLEANER AND SOLVENT WELDING.

ALL NEW CONSTRUCTED MAIN LINES MUST BE PRESSURE CHECKED PRIOR TO BACK FILLING. PRESSURE CHECKS SHALL INCLUDE INSTALLED VALVE ASSEMBLIES, WITH TEMPORARY CAPS TO CLOSE THE SYSTEM. PRESSURE SHALL BE BROUGHT UP TO 100 PSI, WITH A PRESSURE GAUGE IN PLACE, AND LEFT AT THAT PRESSURE FOR 24 HOURS. ANY PRESSURE LOSS OF GREATER THAN 5 PSI IN 24 HOURS IS A FAILURE OF THE MAIN.

ANY LEAKS OR BREAKS IN THE MAIN SHALL BE LOCATED AND REPAIRED, THEN THE MAIN LINE SHALL BE RETESTED BY THE SAME PROCEDURE, FOR FINAL APPROVAL AND ACCEPTANCE.

IRRIGATION DETAIL - PIPE SIZING NOTES

PIPES ARE SIZED SPECIFICALLY TO THE ANTICIPATE THE USE OF THE APPROPRIATE NOZZLE REQUIRED FOR ADEQUATE COVERAGE WITHOUT OVERSPRAY. THE PIPE SIZE IS DESIGNED WITH A REASONABLE MINIMUM CUSHION IN THE LINE SIZE THAT WILL ALLOW THE OWNER THE LATITUDE TO EFFECT NORMAL REPAIRS AND CHANGES OVER COMING YEARS. DO NOT REDUCE THE LINE SIZES FROM THE SCHEDULE SHOWN.

NO PVC PIPE AND FITTINGS, SMALLER THAN 3/4" PIPE SHALL BE PERMITTED, EXCEPT FOR SWING JOINT ADAPTERS TO FLEX PIPE FITTINGS. ALL SECTION LINE PIPE SHALL BE STANDARD INDUSTRY PIPE SIZES 3/4", 1" 1/4", 1 1/2", 2" 1/2", 3", AND 4" PIPE, WITH APPROPRIATE NEW SCH. 40 PVC FITTINGS FOR SOLVENT WELDED ASSEMBLY USING CLEANERS/PRIMERS.

IT IS THE INTENT OF THE LANDSCAPE ARCHITECT / DESIGNER TO PROVIDE A SCHEMATIC DRAWING DEMONSTRATING THE RECOMMENDED PIPING LAYOUT. THE CONTRACTOR SHALL CONFORM TO THAT PLAN DIAGRAM WHEREVER POSSIBLE. WHEN A CHANGE IN THE LAYOUT IS DEEMED NECESSARY DUE TO A CONFLICT, ADJUST PIPE AS NEEDED AND PROVIDE AS-BUILT DATA.

IRRIGATION DETAIL - PIPE SIZING & NOZZLE NOTES

CONTRACTORS SHALL EMPLOY THE FULL SPECTRUM OF NOZZLE PATTERS AVAILABLE FROM THE MANUFACTURER TO PROVIDE THE CORRECT NOZZLES TO COVER THE LANDSCAPE AREAS AND AVOID OVERSPRAY ONTO PAVED AREAS. THIS WOULD INCLUDE, BUT NOT BE LIMITED TO, ADJUSTABLE ARC NOZZLES, CENTER STRIP, END STRIP & SIDE STRIP NOZZLES, AND OTHER BASIC NOZZLES DESIGNED TO CONTROL OVERSPRAY ONTO AREAS NOT INTENDED TO GET WET OR REQUIRED COVERAGE. THE USE OF THESE NOZZLE TYPES IS IMPLIED AS PART OF THE BASE BID PRICE AND REPRESENTS A SYSTEM INSTALLATION THAT IS STANDARD TO THE INDUSTRY AND REQUIRED BY LOCAL CODES FOR WATER CONSERVATION AND SAFETY PROTECTION AGAINST WET SURFACES, SLIP & FALL SITUATIONS OR SKID ACCIDENT.

PIPES ARE SIZED SPECIFICALLY TO THE ANTICIPATE THE USE OF THE APPROPRIATE NOZZLE REQUIRED FOR ADEQUATE COVERAGE WITHOUT OVERSPRAY. THE PIPE SIZE IS DESIGNED WITH A REASONABLE MINIMUM CUSHION IN THE LINE SIZE THAT WILL ALLOW THE OWNER THE LATITUDE TO EFFECT NORMAL REPAIRS AND CHANGES OVER COMING YEARS. DO NOT REDUCE THE LINE SIZES FROM THE SCHEDULE SHOWN.

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Revision Schedule

Number	Description	Date

THE CYPRESS OF SUNRISE
 9070 NW 38TH STREET
 SUNRISE, FLORIDA

SHEET NAME

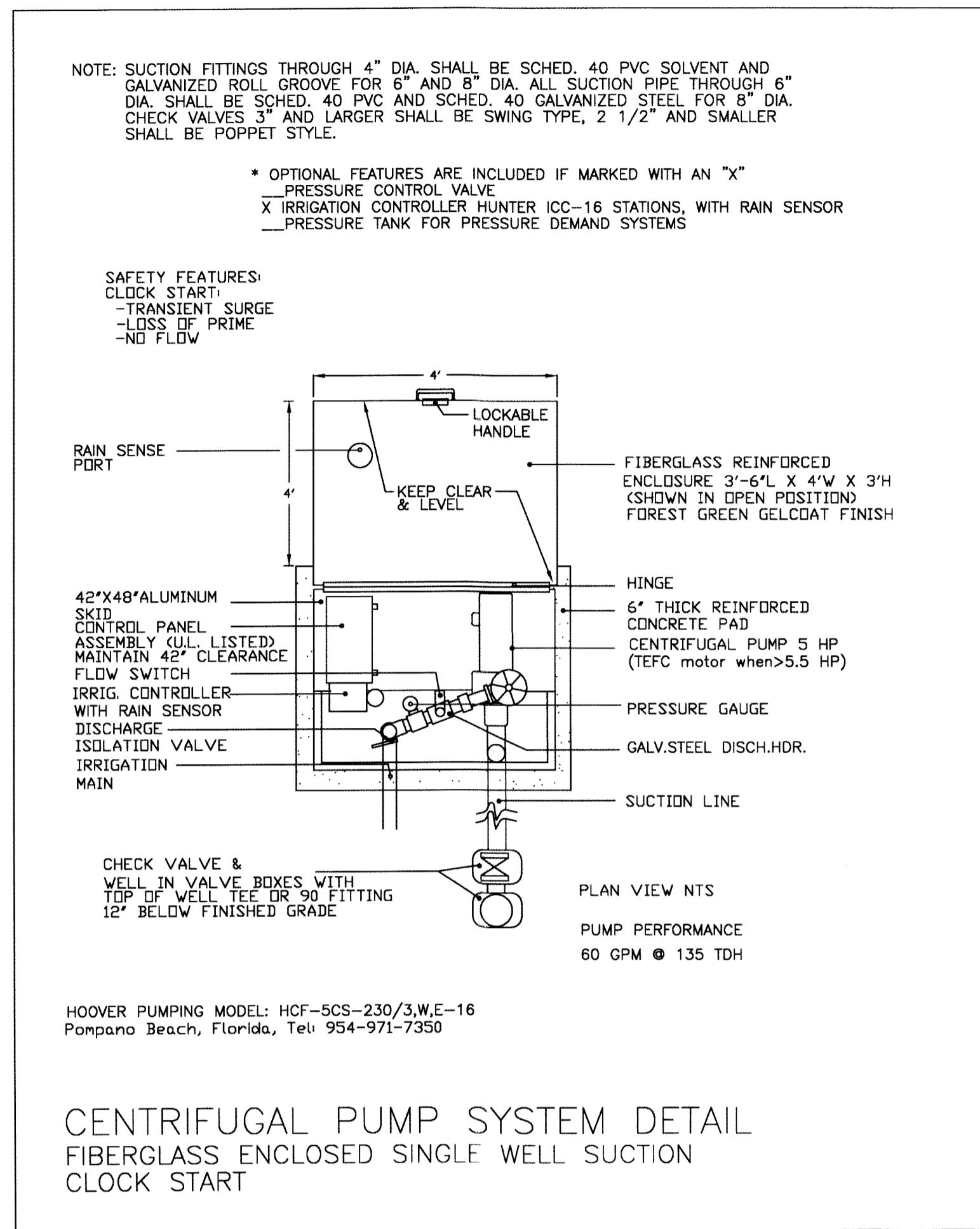
IRRIGATION NOTES & DETAILS:

DRAWN	RJM
SCALE	N.T.S.
JOB NUMBER	17-005
ISSUE DATE	07/12/19

SEAL

EDIT DATE
 6/19/2019 10:10:58 AM

SHEET NUMBER
 IR-2 of 3



SPECIFICATIONS

**SINGLE CENTRIFUGAL PUMP SYSTEM
 FIBERGLASS ENCLOSED CLOCK START**

PURPOSE:

To provide a complete prefabricated skid mounted fiberglass enclosed clock start centrifugal pump system from a sole source company, herein after referred to as the "manufacturer", whose primary business is the manufacture of prefabricated pump systems. The manufacturer will manufacture, flow test, install and warrant the system to meet all specified operating requirements described below and in the system detail. The system shall be a Model HCF-5CS-230/3,W,E-16 as manufactured by Hoover Pumping Systems of Pompano Beach, Florida USA 954-971-7350 specified below and shown on the plan details. This specification describes the general components and minimal operating requirements and shall not be construed as a manufacturing guide or complete list of required system components and appurtenances.

The contractor shall submit seven (7) complete copies of the shop drawings to the designer for approval, prior to system order placement. The submittal shall contain cut sheets for all system components. To be considered an equal, the contractor must submit the following 12 days prior to bid opening: manufacturer brochure showing prefabricated pump systems manufacturing is the primary business of the manufacturer or division proposed to manufacture the system, written specifications, dimensioned layout detail, electrical schematic, product sheets for all main components, Underwriters Laboratory electrical control panel and "Packaged Pumping System" manufacturer's file numbers, list of 6 projects with similar operating systems with current name and phone number of person responsible for system operation, manufacturer's insurance certificate for general liability showing minimum coverage of \$1 million, and written certification from the manufacturer stating the proposed system meets all requirements described in this specification, the detail and the bid documents.

If the data submitted is determined to be an equal by the designer the bidder will be notified prior to the bid date.

FIBERGLASS ENCLOSURE:

The pump station shall be protected by a fiberglass enclosure, 3'-6" x 4' through 25 Hp and 4' x 8' for 30 Hp and larger with chemical and ultraviolet resistant open mold resin with exterior finish that is uniform in color and texture, reinforced with fiberglass and stiffeners for rigidity. The enclosure shall open clear of the station for ease of service and have a stainless steel hinge and self-latching lockable handle. The enclosure shall be of dimensions adequate to contain the entire pump station including the discharge header and controls.

MOUNTING ASSEMBLY:

The pump station shall be mounted on a prefabricated aluminum skid 3'-6" x 4' through 25 Hp and galvanized steel structural skid 4' x 8' for 30 hp and larger. Aluminum pedestals shall be provided to mount the pump motor and control panel assemblies. The entire station shall be installed on a reinforced concrete slab sized as noted on the system detail.

PUMP AND MOTOR:

The pump shall be a single-stage end-suction centrifugal type, with the liquid end mounted directly to the motor enclosure to allow rear pull out of the entire motor. A pressure sensor for loss of prime protection shall be mounted into the pump volute.

The system will be designed for operation at 3,450 RPM. The pump driving motor shall be of the squirrel cage induction type. The motor shall be suitable for full voltage starting at 60 Hz. The motor enclosure shall be totally enclosed fan cooled for 5.5 horsepower and larger and open drip proof (ODP) for smaller sizes, configured to allow direct mounting of the pump's liquid end.

The main motor shall be rated at 5 HP at 60 Hz. Motor will not exceed 10HP when only single phase electric service is available.

PUMP STATION PERFORMANCE:

The required pump performance with a maximum of 12 ft. of suction lift is as follows:
 a) discharge pressure of 50 psi, b) maximum required flow of 60 GPM, and c) minimum required flow of 25 GPM.

IRRIGATION PUMP CONTROL PANEL:

The control panel assembly shall be Underwriters Laboratories listed in accordance with section 508A for "enclosed industrial control panels." All control devices and electronic auto-sensory circuitry shall be housed in a self-contained weather-resistant NEMA 4 or 4X control cabinet. An electrical schematic shall be permanently mounted inside the cabinet. The control cabinet shall contain the following protection and control equipment:

Operation

The station operates as a clock start, clock retirement system. System features include Loss of Prime and No Flow protection. The system is equipped with 'Loss Of Prime' and 'No Flow' indicator lights, and a 'Hand-Off/Reset-Auto' (H-O-A) selector switch. The self-diagnostic control panel assembly includes LED status indicator lights for power failure, no flow, loss of prime, and pump run. Pump clock start relay, and auxiliary contacts are provided.

Clock Start

The pump starts when the irrigation controller (clock) begins a watering sequence.

Clock Retirement

The pump shuts off when the clock completes a watering sequence.

Loss of Prime Protection

If the pressure in the pump volute falls below 20 PSI for 45 seconds during pump operation, the pump will shut off and the 'Loss of Prime' light will turn on. The system will remain off until manually reset with the H-O-A selector switch.

No Flow Protection

If no flow is detected for 60 seconds during pump operation, the pump will shut off and the 'No Flow' light will turn on. The pump will remain off for 12 minutes and then will restart. The 'No Flow' light will remain on until manually reset with the H-O-A selector switch to notify the irrigation maintenance personnel of potential field valve failure.

Hand - Off / Reset - Auto Switch

The station is equipped with an H-O-A selector switch, which operates as follows:

Position	Function
Hand	- Manual pump start. This position overrides all protective features and start controls.
Off / Reset	- Pump will not run. This position resets all alarms.
Auto	- Pump will start automatically. In this position, all start controls and protective features are active.

Protection equipment

- Front operated main power disconnect
- Time delayed motor starter fuses for motor short circuit protection
- Full voltage class 10 IEC motor starter
- Metal oxide varistors (MOV) for transient voltage suppression per phase
- Fused control circuitry with blown fuse lighted indicator for each circuit

DISCHARGE PIPE MANIFOLD:

The pipe discharge manifold shall be constructed of galvanized steel pipe with galvanized roll groove fittings. A flow-switch, pressure gauge and hosebib will be provided on the station discharge. A wafer type butterfly valve or bronze ballvalve will be provided at pump station discharge.

SUCTION LINE:

The minimum size suction line shall be 3" diameter or larger as required for a maximum of 5 feet per second velocity flow. If a reducing fitting is required at the pump suction, an eccentric reducer shall be installed. Any above ground pipe exposed to sunlight shall be schedule 40 galvanized steel with galvanized roll groove fittings. Suction pipe and fittings through 4" diameter shall be Schedule 40 PVC solvent weld. Suction pipe for 6" diameter shall be Schedule 40 PVC with galvanized roll groove fittings. Suction pipe for 8" diameter shall be galvanized steel with galvanized roll groove fittings.

Well Source: The pump suction line shall run from the pump to the PVC or steel tee with ANSI well flange installed by the well driller with a cast iron roll groove swing check valve placed at the well.

IRRIGATION CONTROLLER:

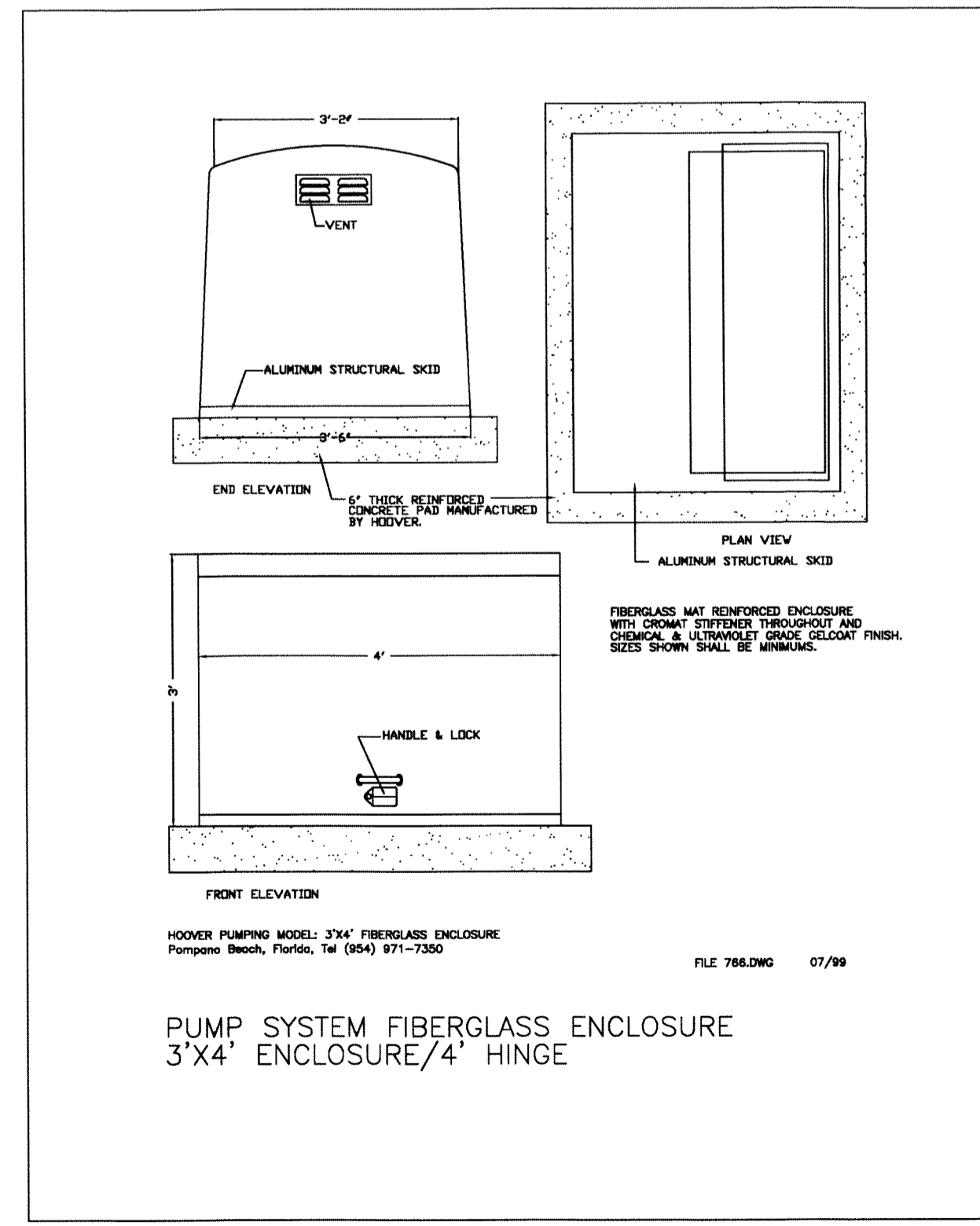
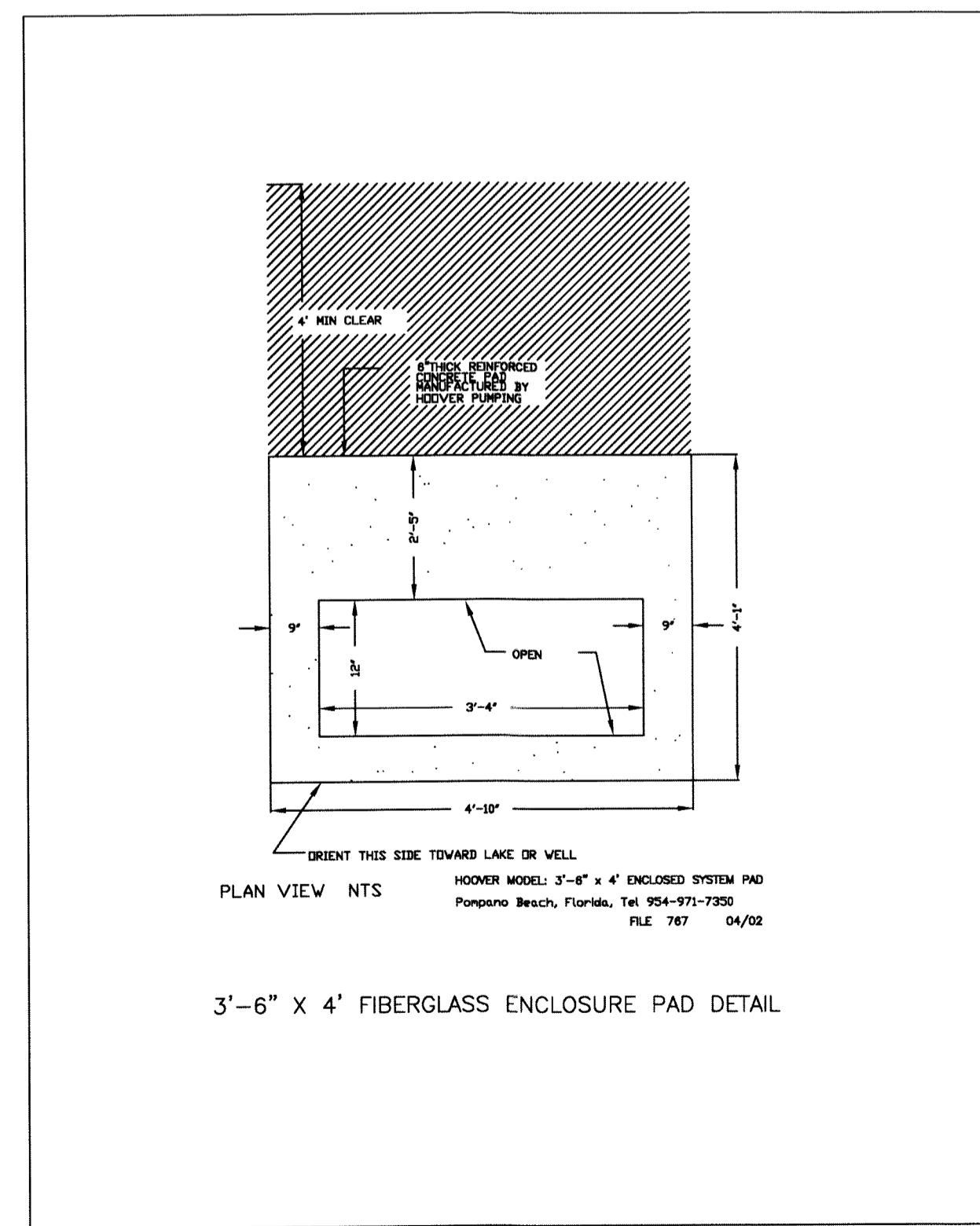
A Hunter model ICC-16 station irrigation controller and rain sensor shall be mounted on the pump system. The controller shall be powered from a fuse block in the pump system control panel. The controller shall activate the pump via a relay in the control panel.

WARRANTIES:

Prior to shipping, the manufacturer shall flow test the system and submit a certified report to the designer stating the system is within 1% + or - of the specified flow rate and pressure, and meets the operational requirements.

The manufacturer of the pumping station shall warrant all components for a period of one (1) year from date of manufacture.

THIS PUMP STATION SPECIFICATION IS PROVIDED AS A A BID BASIS. IF CONTRACTORS PLAN TO PROVIDE AND ALTERNATIVE ASSEMBLY THEN PROVIDE A COMPLETE SPECIFICATION PACKAGE WITH YOUR BID. SYSTEM TO PROVIDE A MINIMUM OF 60 GPM @ 135TDH



SHEET NAME		DRAWN		SEAL	EDIT DATE
IRRIGATION PUMP		RJM		 DATE: THOMAS J. LAUBENTHAL #LA-0000563 #LC-26000422	6/19/2019 10:10:58 AM
		SCALE			SHEET NUMBER
		N.T.S.			IR-3 of 3
		JOB NUMBER			
		17-005			
		ISSUE DATE			
		07/12/19			

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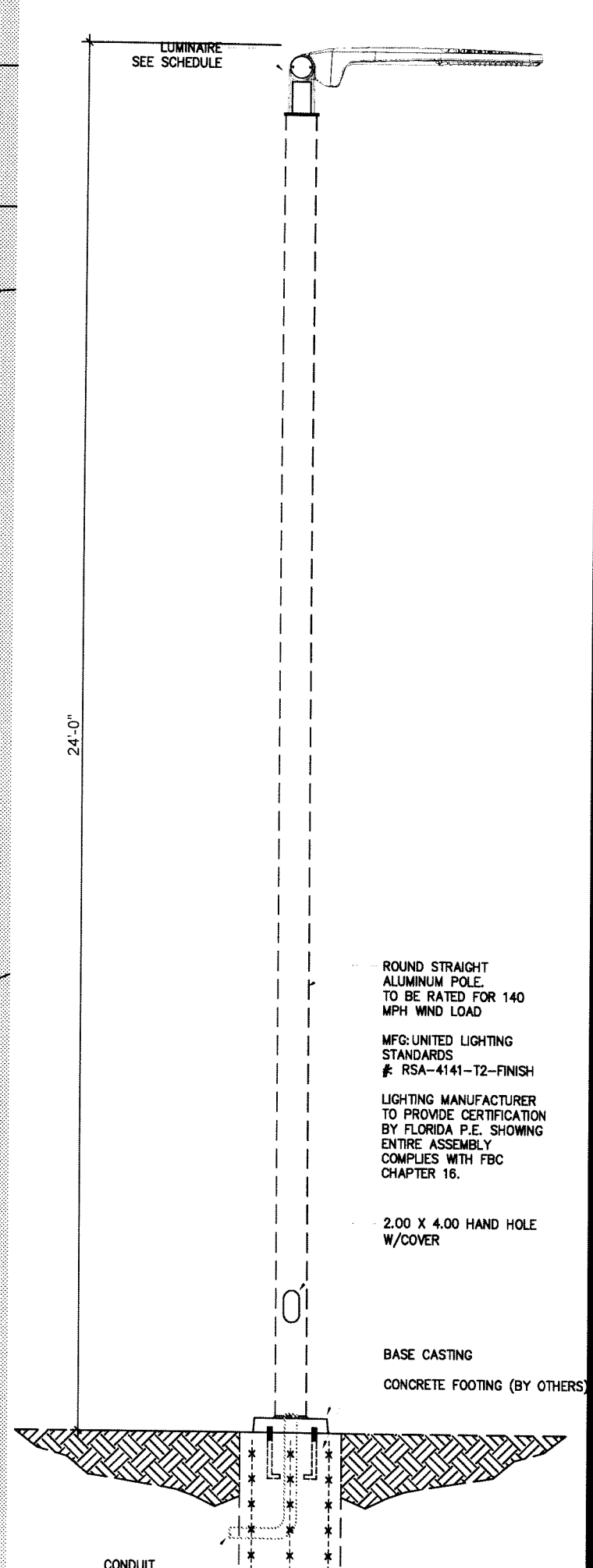
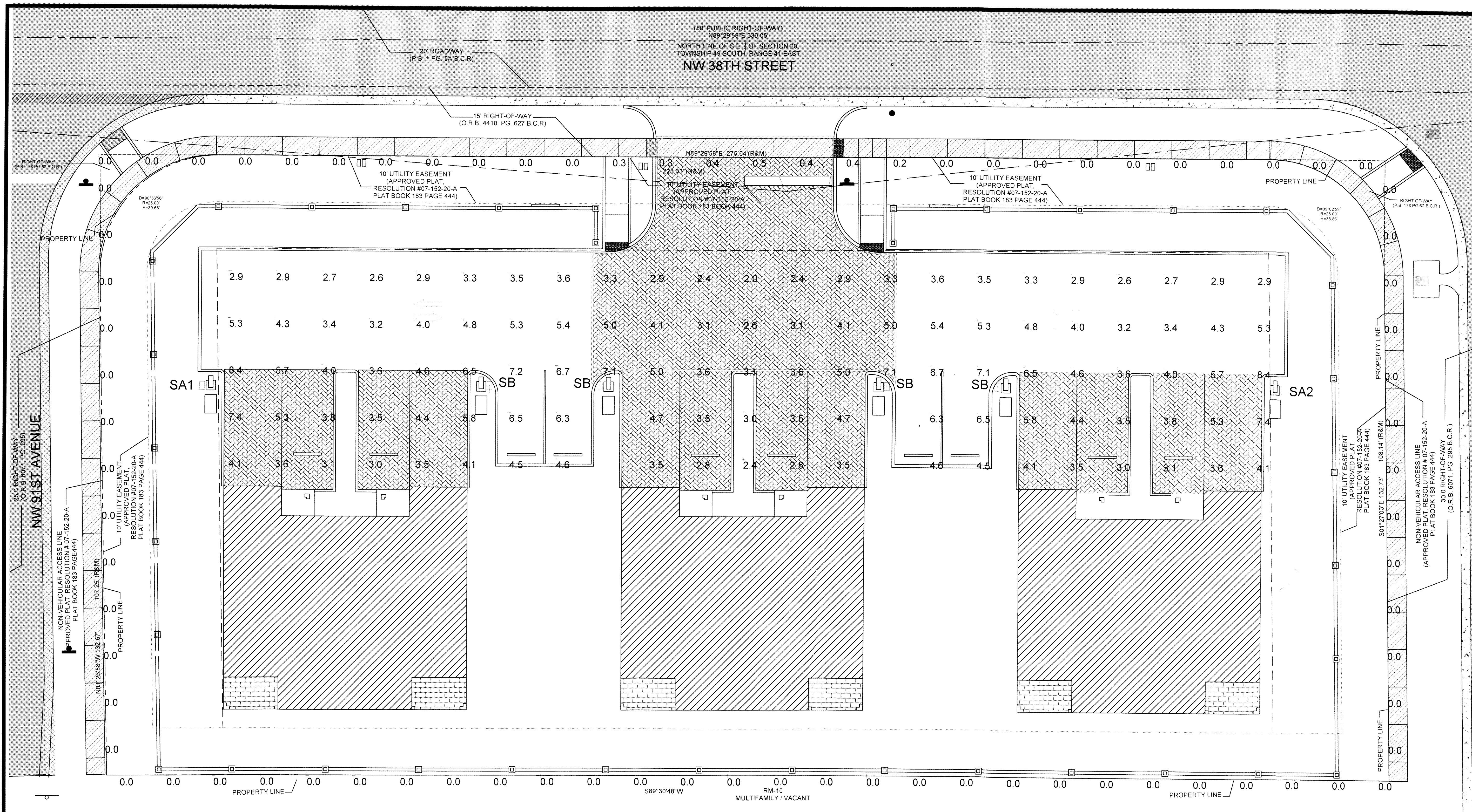
Revision Schedule		
Number	Description	Date

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 Date: 2021.07.29 14:43:01 -04'00'

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2 LIGHT POLE DTL.
PH-101 SCALE N.T.S.

LIGHT POLE IMAGE

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Luminaire Schedule

Symbol	Ref	Qty	Label	Description	Lum. Watts	LLF
		1	SA1	GARDCO ECF-S-32L-1.2A-NW-G2--SF-4-270-UNV-HIS-FINISH	121.6	0.900
		1	SA2	GARDCO ECF-S-32L-1.2A-NW-G2--SF-4-90-UNV-HIS-FINISH	121.6	0.900
		4	SB	GARDCO ECF-S-32L-1A-NW-G2-SF-5-UNV-FINISH	105.6	0.900

Calculation Summary - MOON PATH

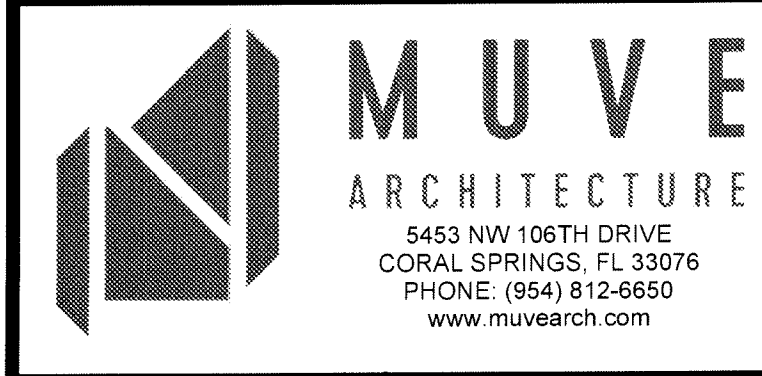
Label	CalcType	Units	Avg	Max	Min	Max/Min
PARKING AND DRIVE	Illuminance	Fc	4.28	8.4	2.0	4.20
SPILL	Illuminance	Fc	0.03	0.5	0.0	N.A.

LEGEND

- 4 1/2" X 9" AQUALINE PERMEABLE PAVERS BY BELGARD, HERRINGBONE 45° PATTERN
- 4 1/2" X 9" AQUALINE PERMEABLE PAVERS BY BELGARD, RUNNING BOND PATTERN
- 6" H CONCRETE WALL WITH COLUMNS EVERY 25' SEE SHEET SP-102 FOR DETAIL
- LIGHTING POLE AND FIXTURE. REFER TO LUMINAIRE SCHEDULE
- STOP SIGN SEE SHEET SP-104 FOR DETAIL
- 6" H WHITE PVC SHADOWBOX FENCE SEE SHEET SP-102 FOR DETAIL
- CONCRETE CURB OR SIDEWALK REMOVAL (OFF-SITE IMPROVEMENT)
- NEW SIDEWALK (OFF-SITE IMPROVEMENT)
- NEW CONCRETE VALLEY GUTTER (OFF-SITE IMPROVEMENT)
- NEW ASPHALT (OFF-SITE IMPROVEMENT)
- EXISTING VALLEY GUTTERS

GENERAL NOTES

- OVERSPILL OF LIGHTING ONTO ADJACENT PROPERTIES SHALL NOT EXCEED FIVE TENTHS (0.5) FOOTCANDLES MEASURED ON A VERTICAL PLANE BEGINNING THREE (3) FEET ABOVE GRADE AT THE PROPERTY LINE
- ALL DESIGN FOR LIGHTING SHALL MEET THE I.E.S.N.A. STANDARD PRACTICE FOR STREET AND HIGHWAY LIGHTING, LATEST EDITION.
- ALL PURPOSED UTILITIES (FPL POWER LINES, TELEPHONE, CABLE TELEVISION, ETC.), INCLUDING SERVICES LINES TO INDIVIDUAL PROPERTIES NECESSARY TO SERVE THE DEVELOPMENT UNDER CONSIDERATION, SHALL BE INSTALLED UNDERGROUND AT LEAST EIGHTEEN (18) INCHES BELOW THE FINISHED GROUND ELEVATION.
- PROPOSED LIGHTING POLES SHALL BE ABLE TO WITHSTAND SUSTAINED 140 MPH WIND LOADS
- POLE IS 5" SQUARE STEEL (11GA), BRONZE COLOR.
- LUMINAIRE IS CAST ALUMINUM BRONZE COLOR.
- LIGHTING POST TO BE LED FIXTURE
- THE PROPERTY OWNER WILL MAINTAIN THE LIGHTING POLES AND FIXTURES.



THE CYPRESS OF SUNRISE
9070 NW 38TH STREET
SUNRISE, FLORIDA

PHOTOMETRIC PLAN

DATE: 07/21/21
DRAWING NO: PH-101