



Date: Thursday, November 4, 2021
Time: 6:00 p.m.
Location: Nob Hill Soccer Club Park
Address: 10200 Sunset Strip – Sunrise, FL 33323

A. Call to Order

Ms. Storms called the meeting to order at 6:27 p.m.

B. Pledge of Allegiance and Moment of Silence

C. Roll Call

Board Members Present: Jane Storms, James TabEEK, David Iannacone, and Athea Antoine.

Board Member(s) Absent: Vivi Assidon and Fitzwilliam Thompson.

City Staff Present: Jim Koeth, Marianne Edge, and Nathalie Augustin.

E. Open Discussion – Public Participation

There were no members of the public present at this meeting.

F. Approval of Minutes – October 7, 2021 Meeting

Mr. TabEEK motioned to approve the minutes. Seconded by Mr. Iannacone. There was no further discussion.

Roll Call:

Jane Storms	Yea
James TabEEK	Yea
David Iannacone	Yea
Athea Antoine	Yea

G. Old Business

There was no old business brought before the Board at this time.

H. New Business

1. Application:	Verizon Direct Store (Revised Site Plan)
Application Number:	RSP-000097-2021
Applicant:	Rancho Cordova Associates, LLC
Property Owner:	Rancho Cordova Associates, LLC
Use:	Commercial
Location:	13705 West Sunrise Boulevard #4
Folios:	4940.27AB.0040
Current Zoning:	B-3 (General Business District)
C Number:	C21268
City Commission Meeting:	December 14, 2021
Planner:	Marianne Edge, Assistant City Planner

Ms. Marianne Edge, AICP, Assistant City Planner summarized the Staff Report with the entire report entered into the record. Ms. Edge briefed the Board on all the proposed architectural and landscape changes.

Mr. Mike Troxell, Project Manager of Thomas Engineering, was present and provided further information about the application.

The Board members each indicated support of the application.

Mr. Tabeek motioned to approve the application with Staff recommendation. Seconded by Mr. Iannacone. There was no further discussion.

Roll Call:

Jane Storms	Yea
James Tabeek	Yea
David Iannacone	Yea
Athea Antoine	Yea

I. Land Development Code Amendments

Mr. Koeth indicated there have not been any changes to the Land Development Code since the Board's last meeting on Thursday, October 7, 2021.

J. Development Project Update

Mr. Koeth provided the Board with updates regarding the applications reviewed and approved by the Board at its last meeting on Thursday October 7, 2021.

K. Board Forum

Mr. Tabeek indicated the gas station located at 10001 Sunset is developing beautifully. The Board agreed.

L. Adjournment

Mr. Tabeek motioned to adjourn the meeting. Seconded by Mr. Iannacone. All were in favor.
The meeting adjourned at 6:35 p.m.

Transcribed by:

Nathalie Augustin
Board Secretary

Date

NOTE TO READER:

- If these minutes do not bear the date of approval, this indicates that they are not the final approved minutes and will become the official minutes when approved by the Board.
- Approved at the Planning and Zoning Board Meeting of: _____
- If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose, he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S.S. 286.0105.
- Policy of non-discrimination on the basis of handicapped status; equal opportunity employer.
- Any person who believes he or she has a disability requiring the use of auxiliary aids and services at this meeting may call the Board Secretary, at (954) 746-3281 at least two (2) business days prior to the meeting to advise of his/her special requirements.



STAFF REPORT

HIDDEN CYPRESS VILLAS (SITE PLAN)

Summary

This is an application for Site Plan approval for a 0.31 net acre parcel of vacant land, generally located on east side of NW 90 Terrace, between NW 35 Place and NW 38 Street, as shown on the location map. The property is currently zoned RM-10 (Low Medium Multifamily Residential District) and designated Low-Medium (10) Residential (up to 10 units/acre) land use on the City's Future Land Use Map. The Site Plan requires City Commission approval per Section 16-31 of the Land Development Code (LDC).

General Information

The subject site is vacant. To the north and south there is vacant land zoned RM-10 (Low Medium Multifamily Residential District). To the west is a multi-family development zoned RM-10 (Low Medium Multifamily Residential District) and to the east is the City of Sunrise's Cypress Preserve Park zoned R/OS (Recreation/Open Space District).

Project Description

This Site Plan application consists of a two-family dwelling structure, whereby each dwelling unit will be owned by a separate owner. Each dwelling unit is 1,820 gross square feet with three (3) bedrooms, two (2) bathrooms and a one-car garage.

Subsection 16-144(a)(2) of the LDC requires a minimum of 2.5 parking spaces per unit, plus an additional ten (10) percent for guests. Therefore, the proposed development requires 6 parking spaces. Overall, the proposed Site Plan has one (1) garage space per unit, plus four (4) additional surface parking spaces, for a total of 6 parking spaces.

The access point into the property will be from NW 90 Terrace and will not be gated. The entry drive will include pavers and a perimeter wall with a landscape buffer.


The proposed two-family dwelling structure will have a separate entrance for both units, and share identical architecture. The building will include a pitched, Spanish-tile brown roof with beige stucco walls accented by banding, molding and garage doors in brown tones, as well as slate wall along the base of the entire front (east) elevation, as well as surrounding the top of the main entrances.

Staff Evaluation

Staff has reviewed the Site Plan and find it consistent with the Land Development Code.

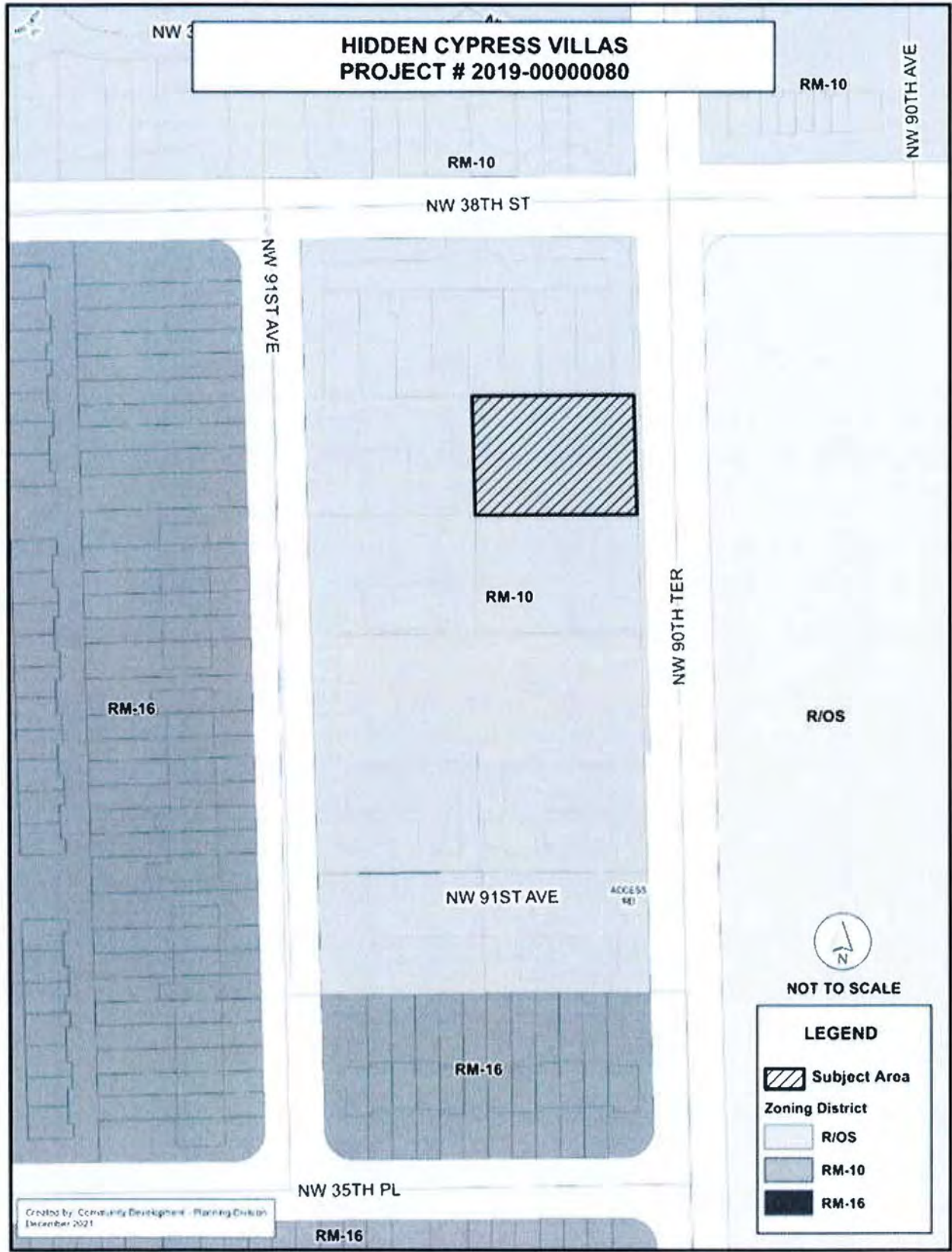
Staff Recommendation to the Planning and Zoning Board, February 3, 2022

This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval.

Planner: Matthue Goldstein 

File Number: 2019-00000080

Location Map



de la Hoz Developer Group LLC
8857 NW 178th St., Hialeah FL 33018
Email: luis@tadeosengineering.com
Phone: 305 903-8816

City of Sunrise
Community Development Department
DEC 01 2021
RECEIVED

October 20, 2021

Att. City of Sunrise

Ref.: "Hidden Cypress Villas", NW 90th Ter., Sunrise FL 33351.

PROJECT NARRATIVE

- a. **Project Location:** NW 90th Terrace, Sunrise FL 33351.
- b. **Current Zoning and Land Use Designation:** RM-10, vacant lot.
- c. **Existing use:** Vacant lot.
- d. **Proposed Zoning and Land Use Designation:** RM-10, Residential, two-family dwelling. Each unit shall be 1,819 sft, three (3) bedrooms and 2 bathrooms.
- e. **Parking garage:** One covered parking garage with automatic opener in each unit and two (2) parking garage on the driveway. Total six (6) parking spaces.
- f. **Lot size:** 13,502 sft (0.31 acres)
- g. **Site Characteristics:** Vacant lot in a RM-10 Use zoning designation, located two blocks from Oakland Park Boulevard.
- h. **Surrounding Property Information – Uses, Architectural Style and Size:** All surrounding properties are also RM-10, adjacent lots are vacant as well.
- i. **Justification of the Proposal:** The real Estate has been growing continuously for the last 5-7 years due to the deficit of living units. We are proposing a new duplex for rent toward a retire income.

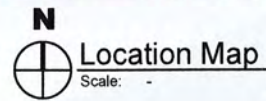
Sincerely,

Luis O. de la Hoz Olivera
Manager
de la Hoz Developer Group LLC





NW 90 Terrace,
Sunrise FL 33351

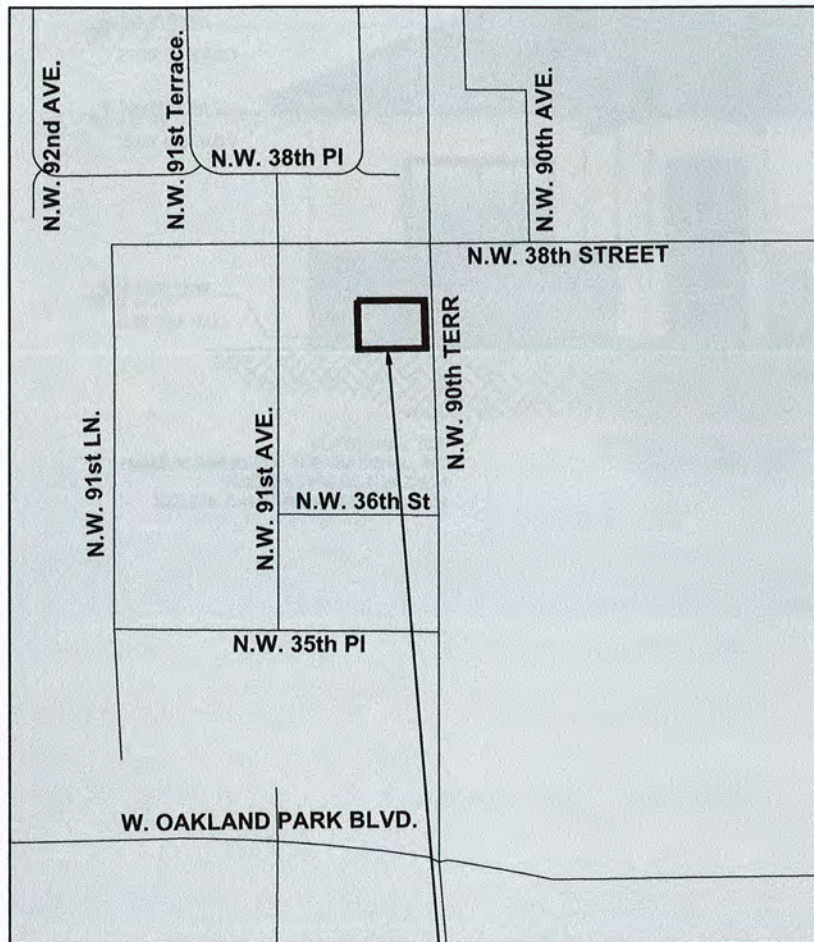


HIDDEN CYPRESS VILLAS NEW RESIDENTIAL DUPLEX

NW 90 TERRACE, SUNRISE FL 33351
PARCEL ID No. 4941 20 04 0086



Existing Condition



NW 90 Terrace,
Sunrise FL 33351



INDEX OF DRAWINGS

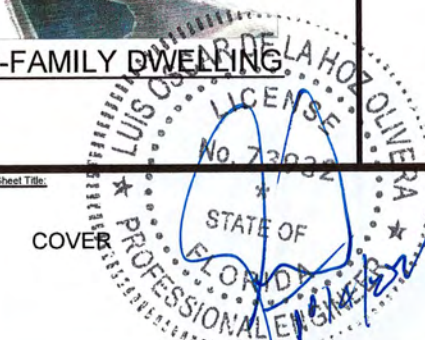
SHEET	DESCRIPTION
0.0	COVER
1.0	COLOR ELEVATIONS (EAST ELEVATION)
2.0	COLOR ELEVATIONS (NORTH ELEVATION)
3.0	COLOR ELEVATIONS (WEST ELEVATION)
4.0	COLOR ELEVATIONS (SOUTH ELEVATION)
5.0	RENDERINGS
6.0	MATERIALS

LEGAL DESCRIPTION

A parcel of land in Tract 10 of the southeast one-quarter (SE-1/4) of Section 20, Township 49 South Range 41 East of CAMBERS LAND COMPANY SUBDIVISION, according to the plat thereof, recorded in Plat Book 1, Page 5A of the Public Records of Broward County Florida. Said lands being more particularly described as follows: The North 99.99 feet of the South 101.29 feet (as measured at right angles) of said Tract 10 EXCEPTING THEREFROM the West 16.5 feet in the East 25 feet. Said Lands situated in the City of Sunrise, Broward County, Florida and containing 0.322 Acres, more or less, SUBJECT TO the Provisions of the Protective Covenants recorded in Official Records Book 3913, page 293; and the Provisions of the Additional Protective Covenants recorded in Official Records Book 3999, page 622 of the Public Records of Broward County, Florida and to all restrictions, reservation, limitations and easement of record and subject also to taxes for the current year and all subsequent years.



TWO-FAMILY DWELLING



HIDDEN CYPRESS VILLAS
NEW TWO-FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086

Sheet Title:

COVER



TADEOS ENGINEERING LLC.
C.A. # 31229
1420 NW 82nd Ave,
Miami Lakes, FL 33016
Phone: (305) 902-8816
email: luo@tadeosengineering.com

Scale:

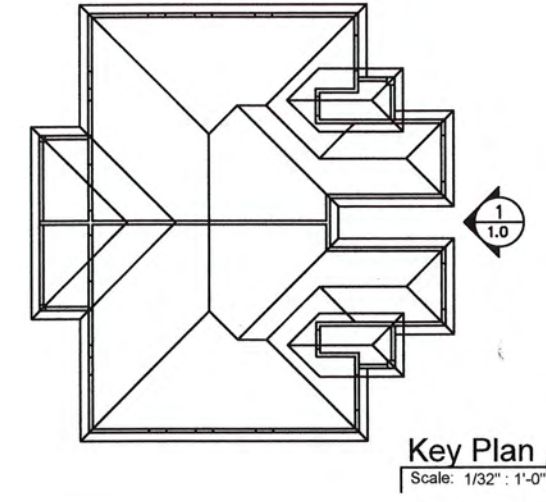
LUIS O. DE LA HOZ
P.E. # 73992

Date:

10-04-2021

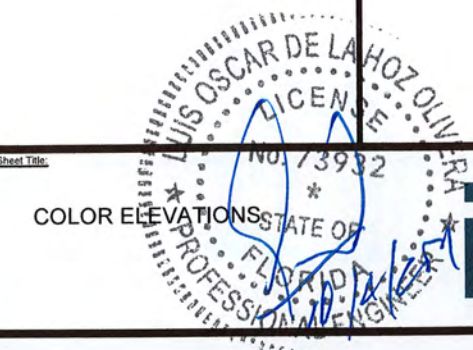
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1 East Elevation | Proposed
 Scale: 1/8" : 1'-0"

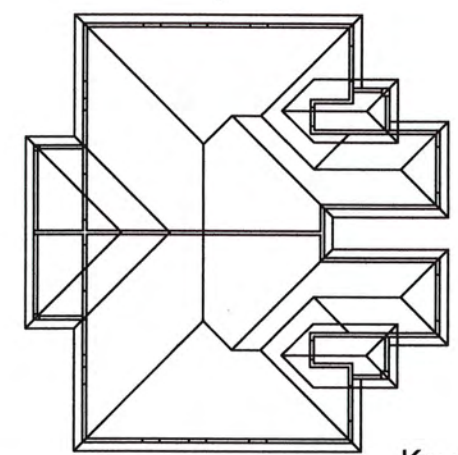
HIDDEN CYPRESS VILLAS
 NEW TWO-FAMILY DWELLING
 PARCEL ID No. 4941 20 04 0086



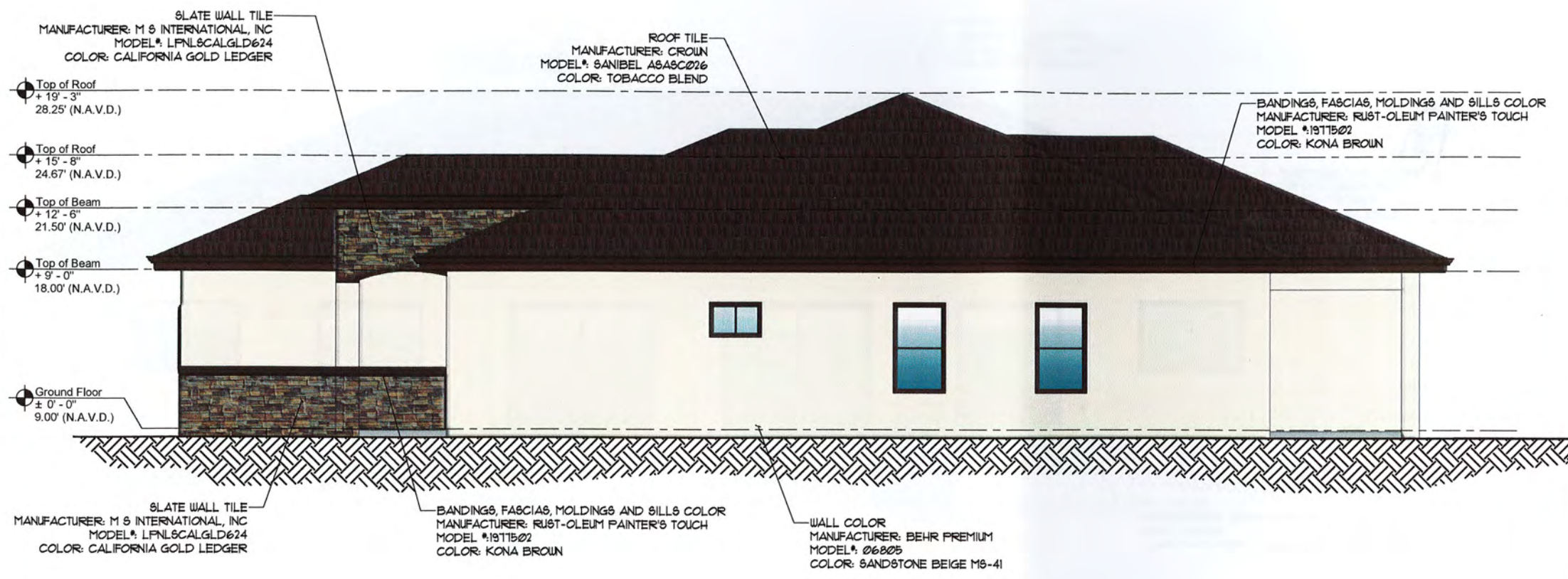
TAEOS ENGINEERING LLC.
 C.A. # 31229
 14330 NW 62nd Ave,
 Miami Lakes, FL 33016
 Phone: (305) 900-4816
 email: tin@taeosengineering.com

Seal	Date
LUIS O. DE LA HOZ P.E. # 73932	10-04-2021
Drawing No.	1.0

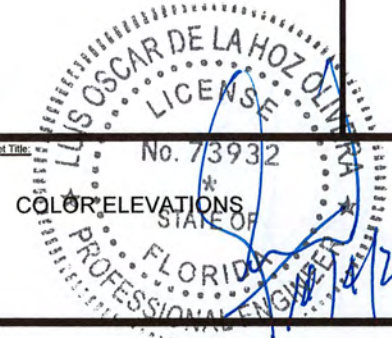
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Key Plan
Scale: 1/32" = 1'-0"



2 North Elevation | Proposed
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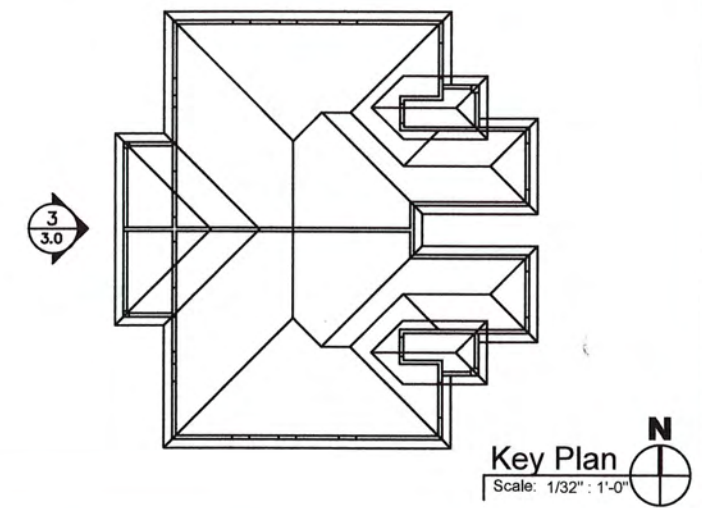
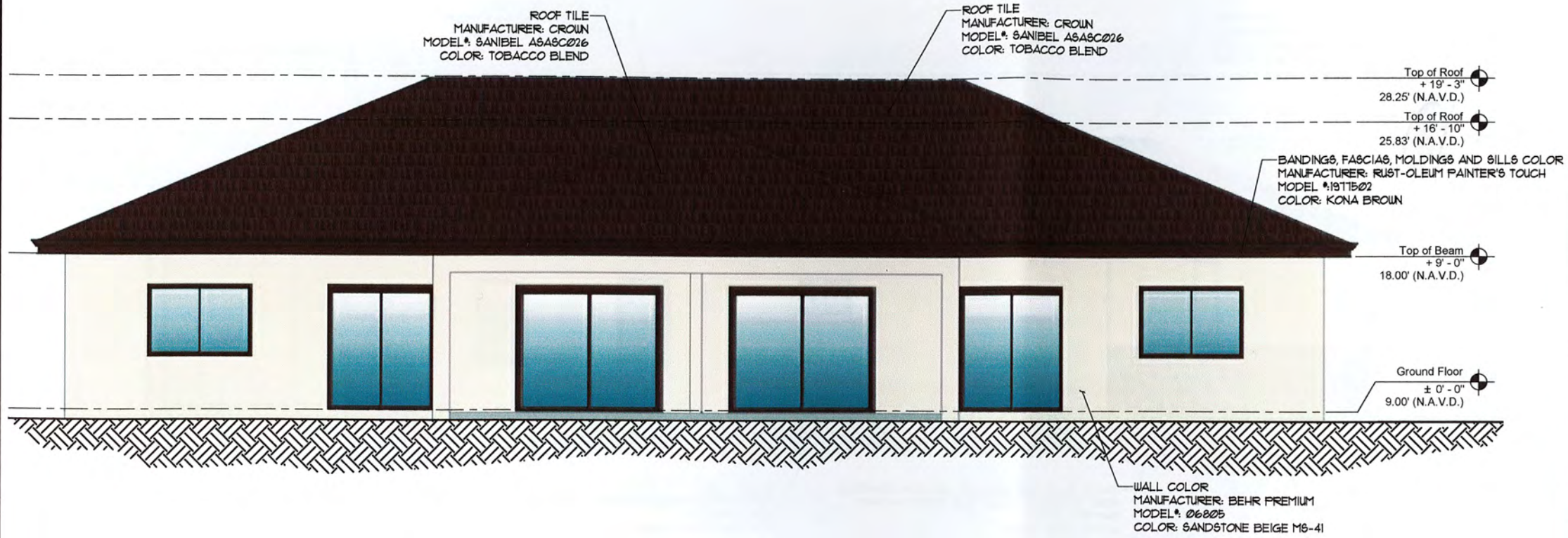


TADEOS ENGINEERING LLC.
C.A. # 31229
1433 101st Ave.
Miami Lakes, FL 33016
Phone: (305) 903-4816
email: ta@tadeosengineering.com

LUIS O. DE LA HOZ
P.E. # 73932

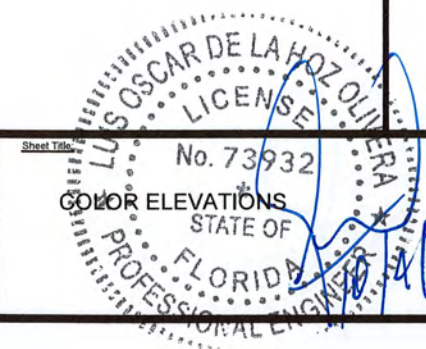
Date
10-04-2021
Drawing No.
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HIDDEN CYPRESS VILLAS
NEW TWO-FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086



3 West Elevation | Proposed
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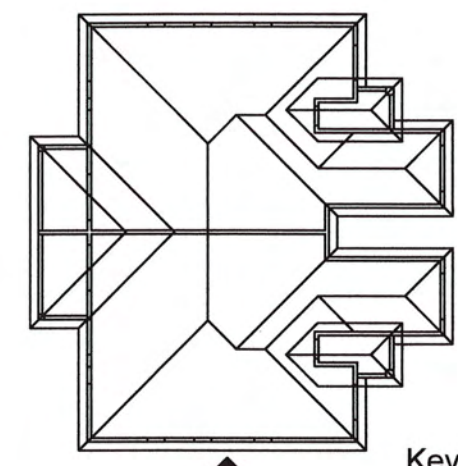
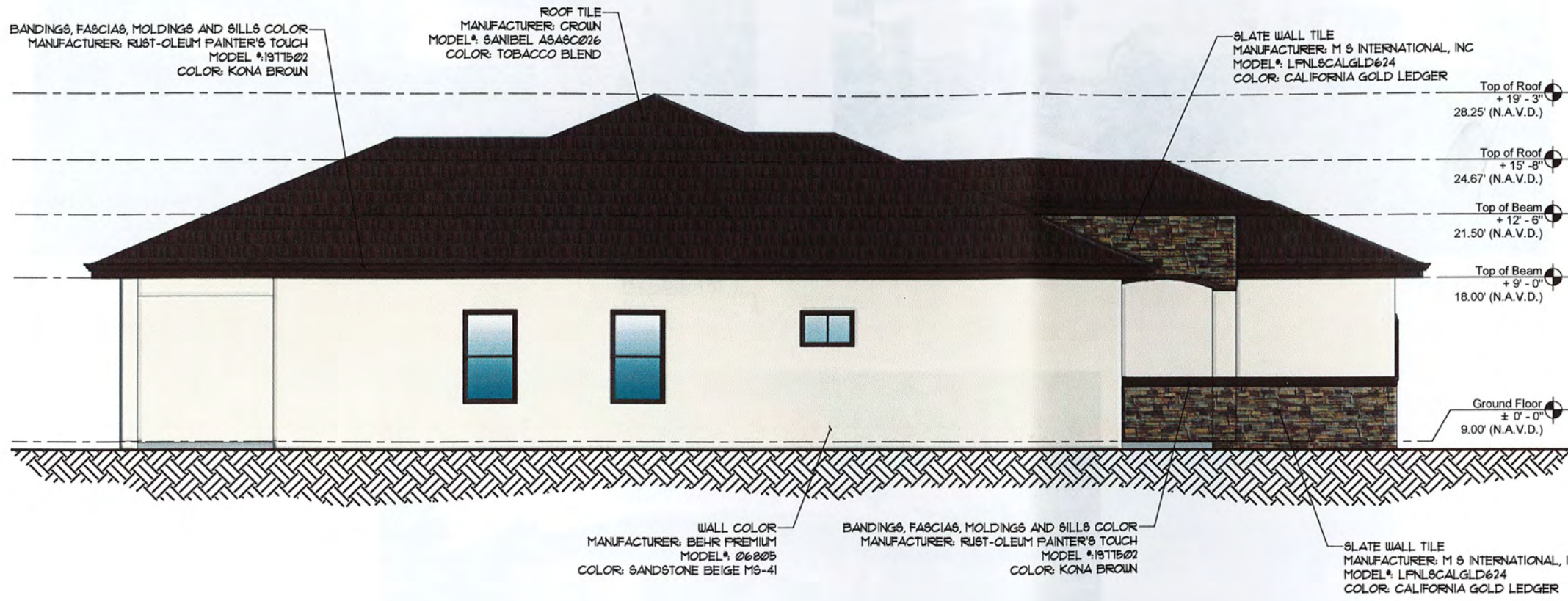
HIDDEN CYPRESS VILLAS
NEW TWO-FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086



TE
TAEOS ENGINEERING LLC.
C.A. # 31229
1400 N.W. 82nd Ave.
Miami Lakes, FL 33016
Phone: (305) 953-8816
email: lho@taeosengineering.com

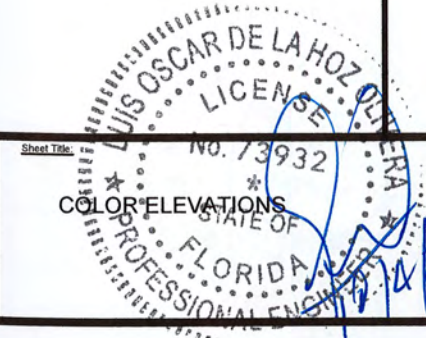
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P.E. #73932

Date: 10-04-2021
Drawing No.: 3.0



4 South Elevation | Proposed
Scale: 1/8" = 1'-0"

HIDDEN CYPRESS VILLAS
NEW TWO-FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086



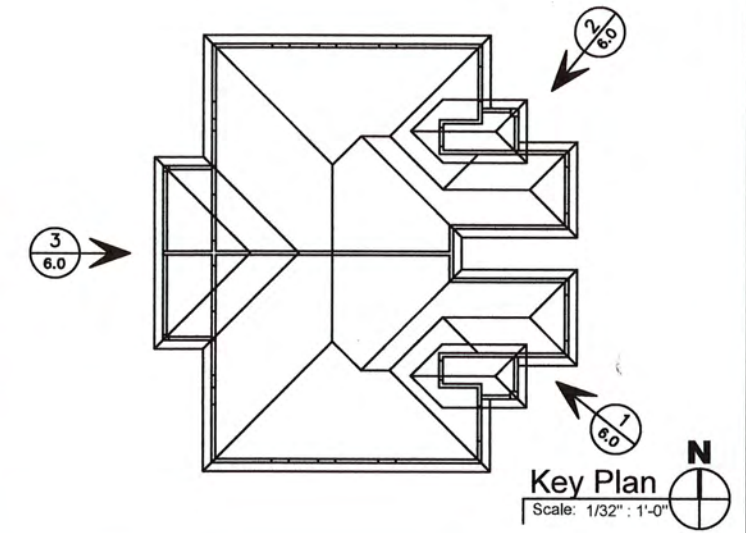
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LUIS O. DE LA HOZ P.E. #73932	10-04-2021
	Drawing No.
	4.0



Rendering 1



Rendering 2

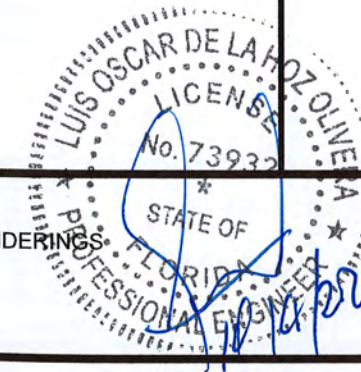


Rendering 3

HIDDEN CYPRESS VILLAS
 NEW TWO-FAMILY DWELLING
 PARCEL ID No. 4941 20 04 0086

Sheet Title

RENDERINGS



TADEOS ENGINEERING LLC
 C.A. # 31229
 14550 NW 62nd Ave.
 Miami Lakes, FL 33016
 Phone: (305) 950-8816
 email: luo@tadeosengineering.com

Seal

LUIS O. DE LA HOZ
 P.E. # 73932

Date

10-04-2021

Drawing No.

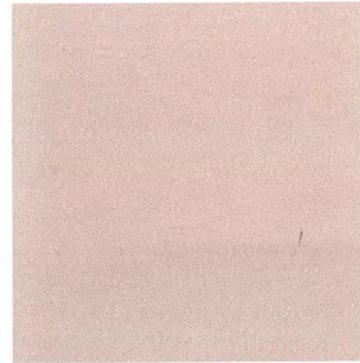
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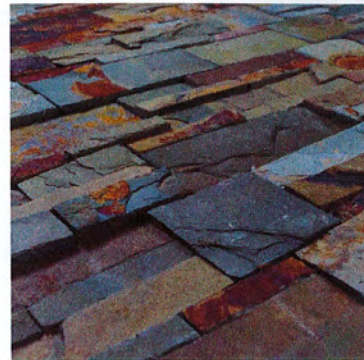
1. -ROOF TILE
 MANUFACTURER: CROWN
 MODEL: SANIBEL ASASC026
 COLOR: TOBACCO BLEND



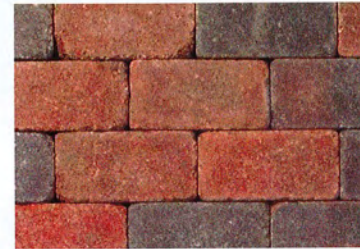
2. -WALL COLOR
 MANUFACTURER: BEHR PREMIUM
 MODEL # 06805
 COLOR: SANDSTONE BEIGE MS-41



3. -SLATE WALL TILE
 MANUFACTURER: M S INTERNATIONAL, INC.
 MODEL #LPNLSCALGD624
 COLOR: CALIFORNIA GOLD LEDGER



4. -CONCRETE PAVER
 MANUFACTURER: PAVESTONE
 MODEL # 21770
 COLOR: HOLLAND SAND/BROWN/CHARCOAL



5. -GARAGE DOOR COLOR
 MANUFACTURER: MODERN MASTERS
 MODEL #275263
 COLOR: SATIN GROUNDED BROWN WATER



6. -BANDINGS, FASCIAS, MOLDINGS AND SILLS COLOR
 MANUFACTURER: RUST-OLEUM PAINTER'S TOUCH
 MODEL #1977502
 COLOR: KONA BROWN

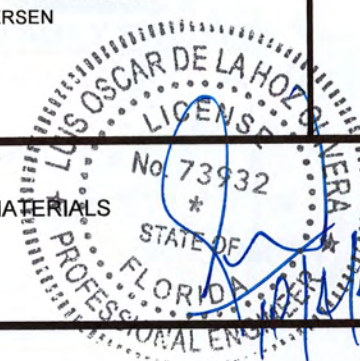


7. -SLIDING DOORS AND WINDOWS
 MANUFACTURER: ANDERSEN
 MODEL #9118769
 COLOR: DARK BRONZE

HIDDEN CYPRESS VILLAS
 NEW TWO-FAMILY DWELLING
 PARCEL ID No. 4941 20 04 0086

Sheet Title:

MATERIALS



TADEOS ENGINEERING LLC.
 C.A. # 31229
 14520 HWY 62nd Ave,
 Miami Lakes, FL 33016
 Phone: (305) 903-4816
 email: ta@tadeosengineering.com

Seal

LUIS O. DE LA HOZ
 P.E. # 73932

Date

10-04-2021

Drawings No.

6.0

HIDDEN CYPRESS VILLAS

NEW TWO - FAMILY DWELLING

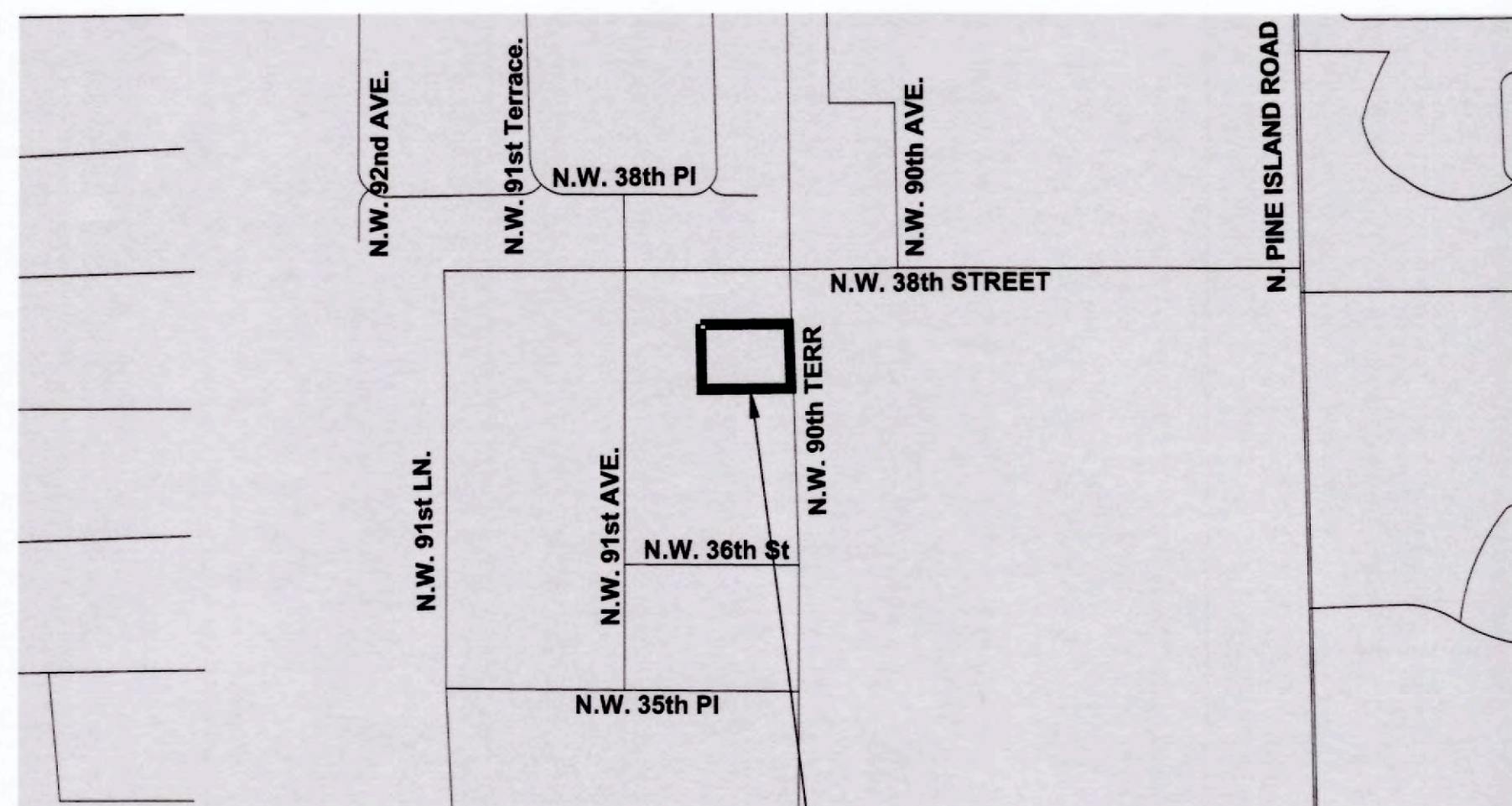
NW 90 TERRACE, SUNRISE FL 33351
 PARCEL ID No. 4941 20 04 0086



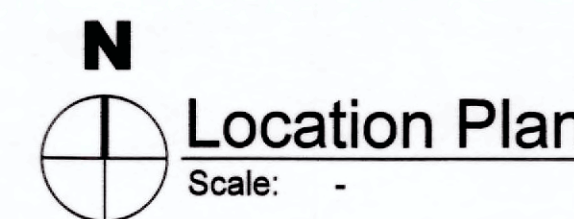
NW 90 Terrace,
 Sunrise FL 33351
 Township 49 South, Range 41 East of
 CAMBERS LAND COMPANY SUBDIVISION



Existing Condition



NW 90 Terrace,
 Sunrise FL 33351
 Township 49 South, Range 41 East of
 CAMBERS LAND COMPANY SUBDIVISION



TWO - FAMILY DWELLING

INDEX OF DRAWINGS

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9F03	SITE PLAN SECTIONS
-	SURVEY
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A02	ROOF PLAN
A03	ELEVATIONS AND FINISH & COLOR LEGEND
LANDSCAPE	
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L003	LANDSCAPE IMAGES
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IR01	IRRIGATION PLAN, NOTES & DETAILS
PHOTOMETRIC	
PH01	PHOTOMETRIC PLAN

NOTES

- Elevations are based on North American Vertical Datum (NAVD) of 1988, Broward County Benchmark 3160: Elevation: 9.214 Feet Benchmark 3161: Elevation: 9.348 Feet.
- Flood Zone: X+ Base Flood Elevation: None
- Construction and materials shall be in accordance with the City of Sunrise minimum design and construction standards.

LEGAL DESCRIPTION

A parcel of land in Tract 10 of the southeast one-quarter (SE-1/4) of Section 20, Township 49 South, Range 41 East of CAMBERS LAND COMPANY SUBDIVISION, according to the plat thereof, recorded in Plat Book 1, Page 5A of the Public Records of Broward County Florida, said lands being more particularly described as follows: The North 99.99 feet of the South 157.29 feet (as measured at right angles) of said Tract 10 EXCEPTING THEREFROM the West 165 feet on the East 25 feet. Said Lands situated in the City of Sunrise, Broward County, Florida and containing 0.322 Acres, more or less, SUBJECT TO the Provisions of the Protective Covenants recorded in Official Records Book 3973, page 293; and the Provisions of the Additional Protective Covenants recorded in Official Records Book 3989, page 622 of the Public Records of Broward County, Florida; and to all restrictions, reservation, limitations and easement of record and subject also to taxes for the current year and all subsequent years.

CONSULTANTS CONTACT INFORMATION

- Architect/Engineer:
 TADEOS ENGINEERING LLC - C.A. # 31229
 14230 NW 82nd Ave, Miami Lakes, FL 33016
 Phone: (305) 903-8816
 email: luis@tadeosengineering.com
 Luis Oscar de la Hoz - P.E. # 73932
- Surveyor:
 PULICE LAND SURVEYORS, INC.
 9391 Nob Hill Road, Sunrise, FL 33351
 Phone: (954) 512-1111
 Fax: (954) 512-1118
 email: surveys@pulicelandsurveyors.com
 Website: www.pulicelandsurveyors.com
 CERTIFICATE OF AUTHORIZATION LB95810
- Landscape Architect & Planner:
 VINCENT FILIGENZI DESIGN
 FL FLA LIC # 6667191
 9200 Biscayne Blvd, #403 Miami, FL 33132
 Phone: (786) 346-8909
 email: www.VincentFiligenziDesign.com
- Civil Engineering:
 ACE ENGINEERING SOLUTIONS
 1556 SW 141 Ave Miami, FL 33206
 Phone: (305) 871-9531
 email: lplanner@aol.com

Sheet Title:

COVER

HIDDEN CYPRESS VILLAS
 NEW TWO - FAMILY DWELLING
 PARCEL ID No. 4941 20 04 0086

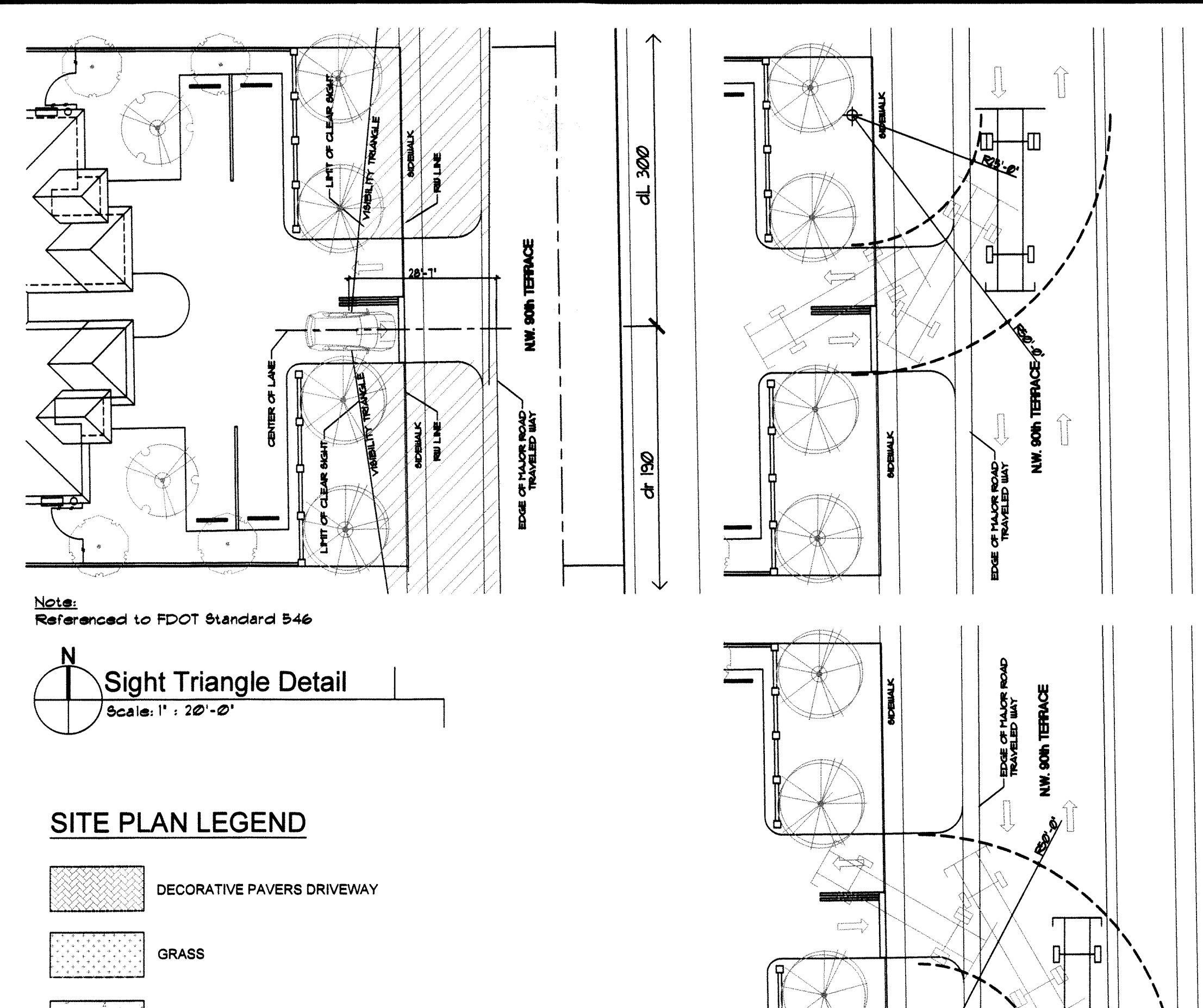
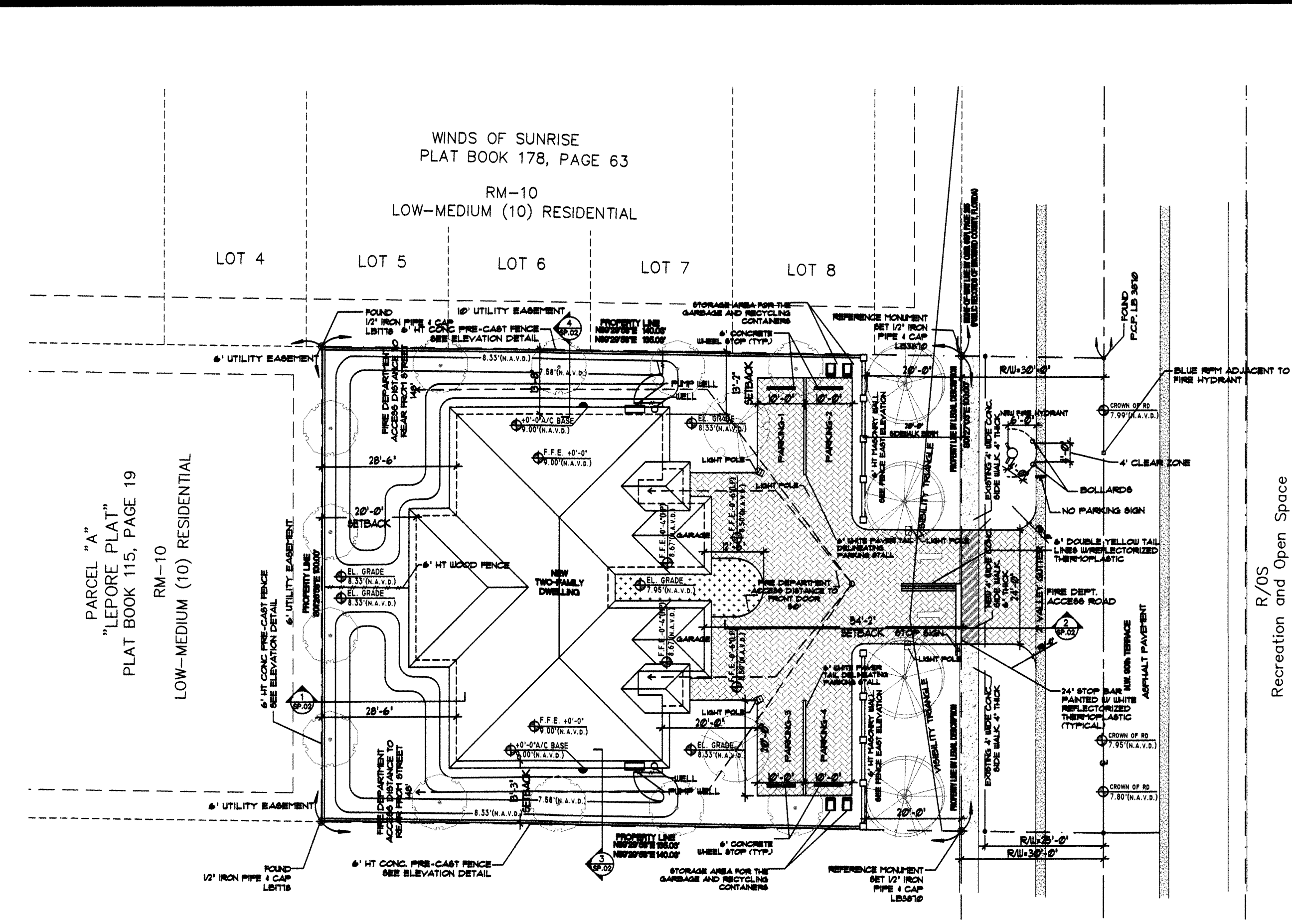


Date:

10-04-2021

Drawing No.

A.00



ZONING LEGEND		
A- SITE DATA		
1.- PROJECT NAME	NEW TWO-FAMILY DWELLING	
2.- PROPERTY ADDRESS	NW 90 Terrace, Sunrise FL 33351	
3.- ZONING DISTRICT	RM-10	
4.- NET LOT AREA	13,502 SQ.FT. (0.3100 ACRES)	
B- SITE COMPUTATION		
	REQUIRED	PROVIDED:
1.- LOT DIMENSION	MINIMUM 80 FT WIDTH	WIDTH 100 LF, DEPTH 135 LF
2.- LOT AREA	MINIMUM 8,000 SQ. FT.	13,502 SQ. FT.
3.- PERVIOUS (0.35x13,502 SQ. FT.)	MINIMUM 4,725.7 SQ. FT.	7,114 SQ. FT. 52.68 %
4.- IMPERVIOUS (0.65x13,502 SQ. FT.)	MINIMUM 8,776.3 SQ. FT.	6,388 SQ. FT. 47.32 %
5.- No. OF PATIOS (0.75 x UNIT)	MINIMUM-0.75 x 2 = 1.5	2
C- GROSS BLDG. AREA		
	REQUIRED	PROVIDED:
GROUND FLOOR AREA X UNIT	MINIMUM 1,375 SQ. FT.	1,819 SQ. FT.
TOTAL BLDG. AREA	MINIMUM 2,750 SQ. FT.	3,638 SQ. FT.
D- UNIT DIMENSION		
	REQUIRED	PROVIDED:
3 BEDROOM	1,375 SQ. FT. MIN	1,819 SQ. FT.
E- DENSITY		
	REQUIRED	PROVIDED:
ONE FAMILY DWELLING SAME FOLIO	10 UNITS / ACRE	2 UNIT / 0.31 ACRE 6.45 UNIT / ACRE
F- BUILDING HEIGHT		
	REQUIRED	PROVIDED:
	25'HT	19'-3'HT
G- SETBACKS		
	REQUIRED	PROVIDED:
1.- FRONT SETBACK	25'-0"	54'-2"
2.- REAR SETBACK	20'-0"	20'-0"
3.- RIGHT SIDE SETBACK	10'-0"	13'-2"
4.- LEFT SIDE INTERIOR SETBACK	10'-0"	13'-3"
H- PARKING		
	REQUIRED	PROVIDED:
1.- TWO 3-BEDROOM DWELLING UNITS	2.5 SPACE X EA 3-80 UNIT + 10 X = 6 SPACES	(5) FOR TWO 3-BD (1) GUEST TOTAL 6 SPACES
I- PATIOS		
	REQUIRED	PROVIDED:
1.- PATIOS	75% 80 SQ. FT. MIN	100% 127 SQ. FT.
WATER AND WASTEWATER PROVIDER-CITY OF SUNRISE		

Site Plan
Scale: 1" = 20'-0"

Sight Triangle Detail
Scale: 1" = 20'-0"

Turning Performance Analysis
Scale: 1" = 20'-0"

SITE PLAN LEGEND

- DECORATIVE PAVERS DRIVEWAY
- GRASS
- EXISTING 4' WIDE CONC. SIDEWALK, 4" THICK
- NEW 4' WIDE CONC. SIDEWALK, 6" THICK
- 2' CONC. VALLEY GUTTER

LEGAL DESCRIPTION

A parcel of land in Tract 10 of the southeast one-quarter (SE-1/4) of Section 20, Township 49 South, Range 41 East of CAMBERS LAND COMPANY SUBDIVISION, according to the plat thereof, recorded in Plat Book 1, Page 5A of the Public records of Broward County, Florida. Said lands being more particularly described as follows: The North 99.99 feet of the South 115.129 feet (as measured at right angles) of said Tract 10 EXCEPTING THEREFROM the West 165 feet and the East 25 feet. Said Lands situated in the City of Sunrise, Broward County, Florida and containing 0.322 Acres, more or less, SUBJECT TO the Provisions of the Protective Covenants recorded in Official Records Book 3913, page 233; and the Provisions of the Additional Protective Covenants recorded in Official Records Book 3909, page 672 of the Public Records of Broward County, Florida; and to all restrictions, reservation, limitations and easement of record and subject also to taxes for the current year and all subsequent years.

NOTES

- Elevations are based on North American Vertical Datum (NAVD) of 1988, Broward County Benchmark 3160± Elevation: 9214 Feet and Benchmark 3131± Elevation: 9348 Feet.
- Flood Zone: X± Base Flood Elevation: None
- Water and Wastewater Provider: City of Sunrise.

APPLICABLE CODES:
ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO, THE LATEST EDITIONS OF THE FOLLOWINGS:

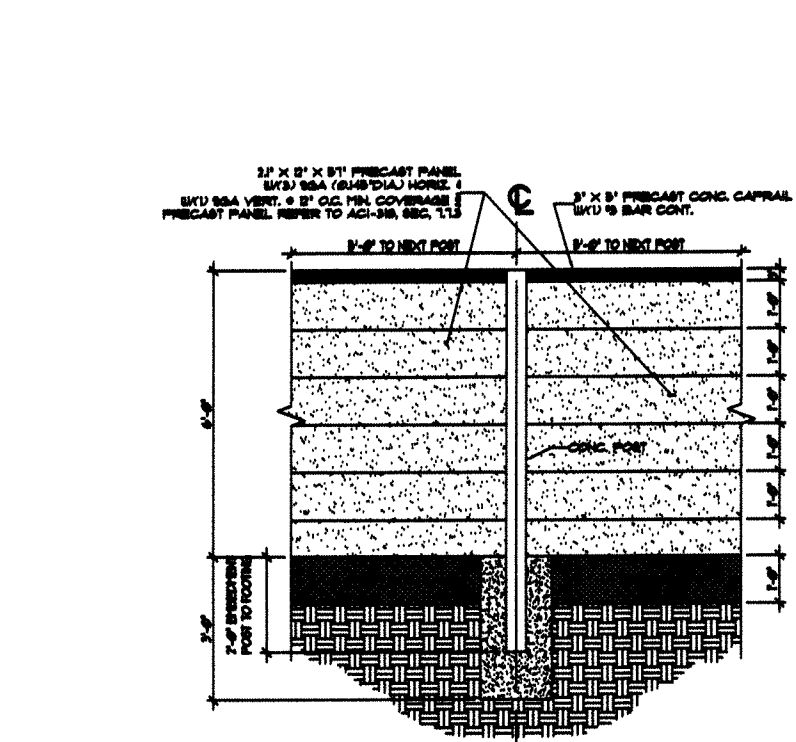
ACCESSIBLE: AMERICANS WITH DISABILITIES ACT CODE (ADA) - 2010 EDITION

BUILDING: FLORIDA BUILDING CODE (FBC) - 2011 EDITION

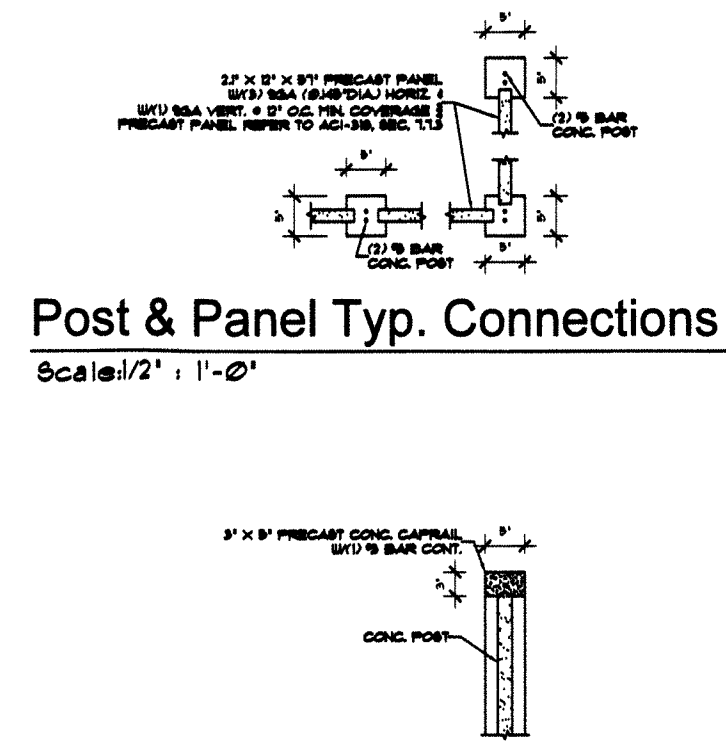
FIRE: FLORIDA FIRE PREVENTION CODE - 2011 EDITION 4 NFPA 101 2018 EDITION

WOOD FENCE NOTES:

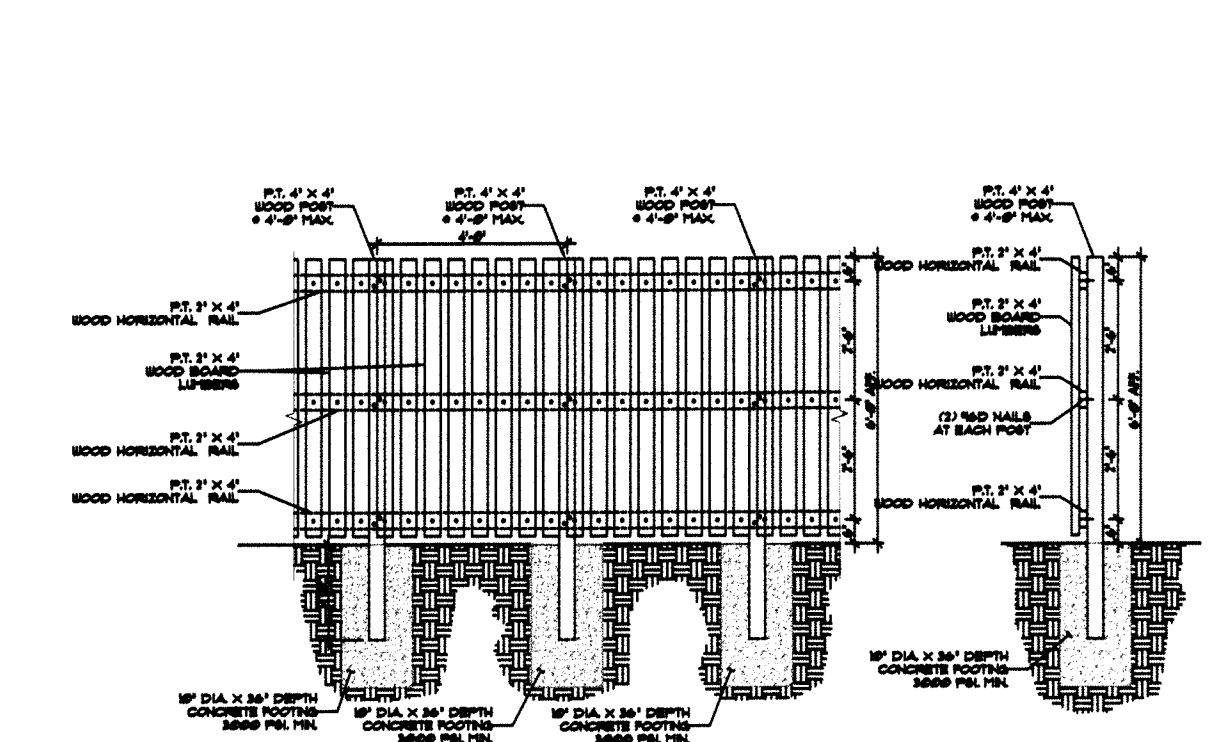
- ALL LUMBER SHALL BE A MINIMUM OF 2 GRADE BETTER
- ALL FASTENERS SHALL BE CORROSION RESISTANT.
- FENCE SHALL BE 25% OPEN
- GATE LATCH AT 54" ABOVE GRADE.
- FINISH SIDE OF FENCE MUST FACE OUT.



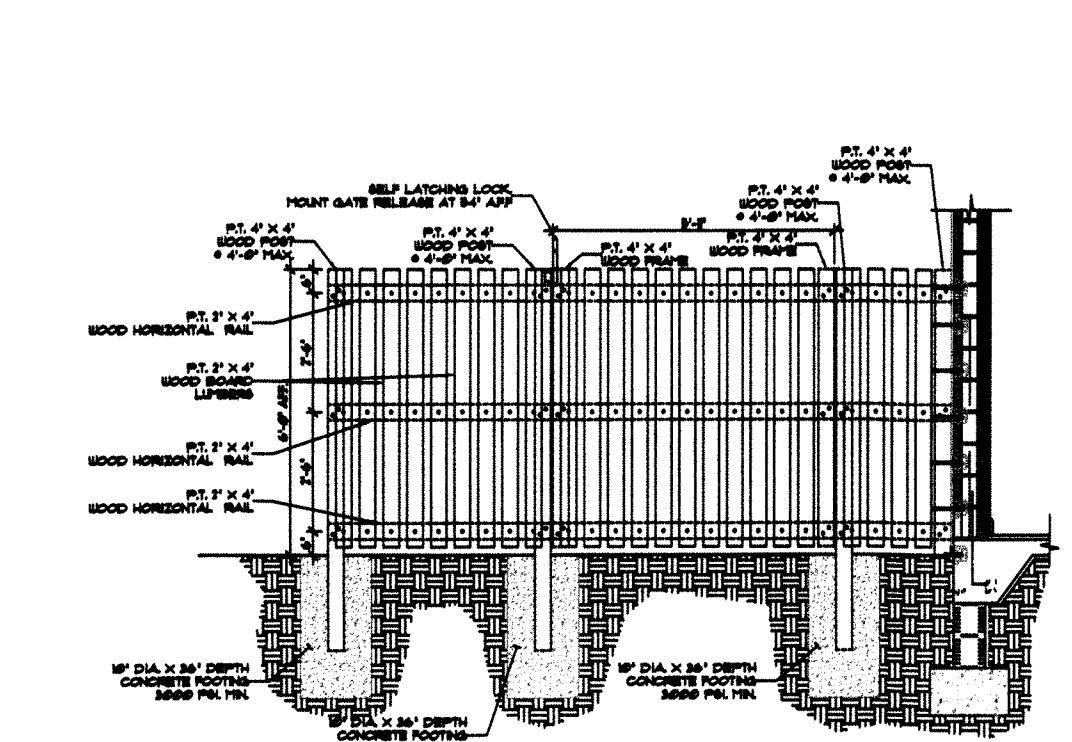
6' High Precast Fence Elevation Detail
Scale: 1/4" = 1'-0"



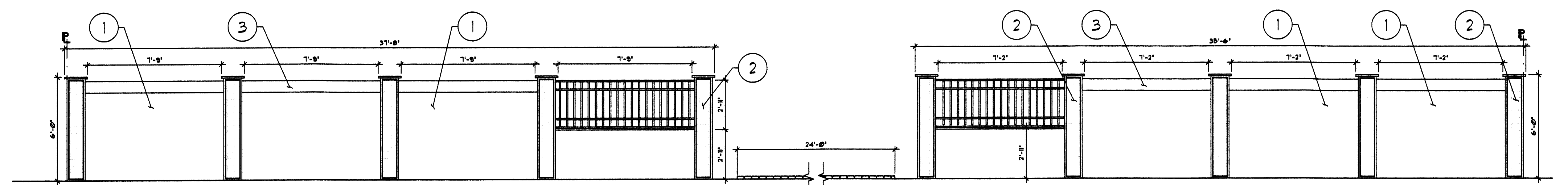
Precast Fence Section
Scale: 1/2" = 1'-0"



6' High Wood Fence Elevation Detail
Scale: 1/4" = 1'-0"



6' High Wood Gate Elevation Detail
Scale: 1/4" = 1'-0"



Masonry Wall Elevation
Scale: 1/4" = 1'-0"

FINISH & COLOR LEGEND

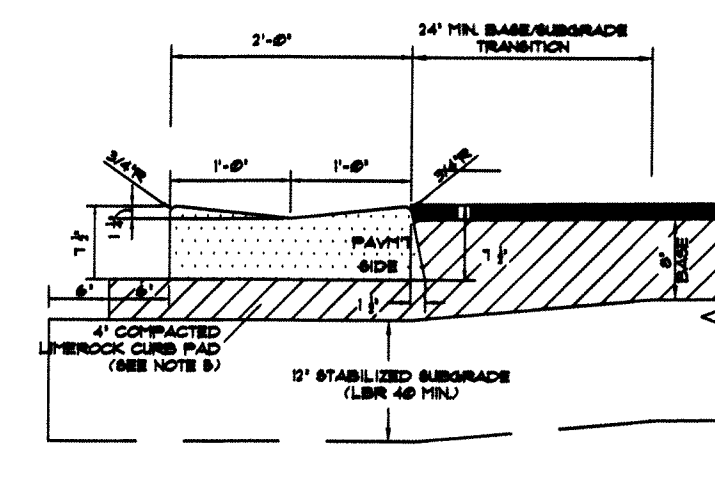
- 1.- STUCCO
WALL COLOR
MANUFACTURER: BEHR PREMIUM
MODEL # 06805
COLOR: SANDSTONE BEIGE MS-41
- 2.- SLATE WALL TILE
MANUFACTURER: M S INTERNATIONAL, INC.
MODEL # PNLSCALGLD24
COLOR: CALIFORNIA GOLD LEDGER
- 3.- STUCCO
BAND COLOR
MANUFACTURER: BEHR PREMIUM
MODEL # 06805
COLOR: SANDSTONE BEIGE MS-41

HIDDEN CYPRESS VILLAS
NEW TWO - FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086

Sheet Title:
SITE PLAN AND NOTES

TAEDES ENGINEERING LLC.
C.A. # 31229
14030 NW 82nd Ave.
Miami Lakes, FL 33018
Phone: (305) 903-8818
email: tued@tadedseengineering.com

Seal
Date
10-04-2021
Drawing No.
SP.01
LUIS O. DE LA HOZ
P.E. #79932



2' VALLEY GUTTER CURB (D-13)

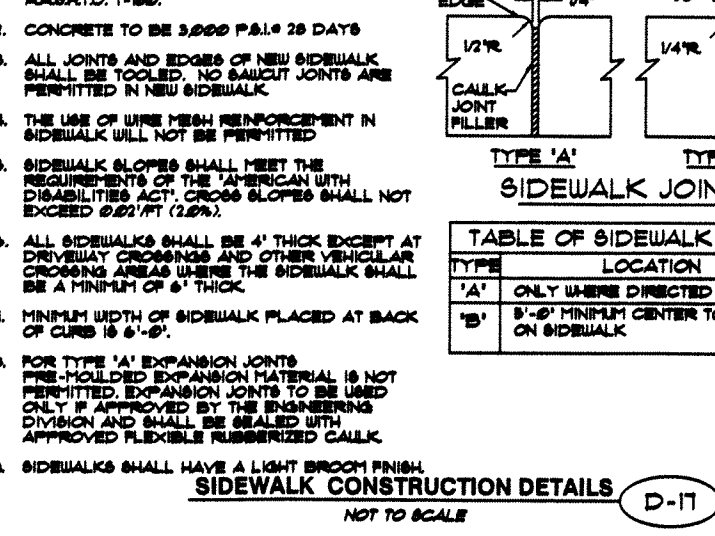
- NOTES:
1. PROVIDE 1/4" SIDE CONTRACTION JOINT A MINIMUM OF 1-1/2" DEEP AND AT 10' SPACING MAXIMUM FOR ALL CURBS.
 2. CONCRETE SHALL BE 3000 P.S.I. 28 DAYS.
 3. FOR COMPANY DEVELOPMENT DEPARTMENT CAPITAL PROJECT DIVISION PROJECTS CURB OF CURB PAD TO BE INCLUDED IN CURB OF CURB.
 4. SEE PAVEMENT FINISH PAVEMENT DESIGN SECTION FOR CONSTRUCTION REQUIREMENTS.
 5. COMPACT CURB PAD TO A DENSITY OF 98% OF AASHTO T-99 SPECIFICATION.



SIDEWALK JOINTS

- NOTES:
1. FOR NEW SIDEWALK LOCATIONS SUBGRADE SHALL BE 24" MIN. BASE/SUBGRADE COMPACTED TO 98% OF MAX DENSITY PER AASHTO T-99.
 2. CONCRETE TO BE 3000 P.S.I. 28 DAYS.
 3. ALL JOINTS AND EDGES OF NEW SIDEWALK SHALL BE TOoled EDGE TO MATCH EXISTING JOINTS AND PERMITTED IN NEW SIDEWALK.
 4. THE USE OF WIRE REINFORCEMENT IN SIDEWALK SHALL NOT BE PERMITTED.
 5. SIDEWALK SLOPE SHALL MEET THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT. CROSS SLOPE SHALL NOT EXCEED 1/4" PER FOOT.
 6. ALL SIDEWALKS SHALL BE 4" THICK EXCEPT AT CURB EDGES WHERE 6" THICKNESS IS REQUIRED. CURB EDGES SHALL BE 4" MINIMUM OF 4" THICK.
 7. JOINTS IN CURB SHALL BE PLACED AT BACK OF CURB.
 8. FOR TYPE 'A' EXPANSION JOINTS PRECAST EXPANSION MATERIAL IS NOT PERMITTED. EXPANSION JOINTS TO BE USED SHALL BE APPROVED BY THE CITY ENGINEERING DIVISION AND SHALL BE REPAIRED WITH APPROVED POLYURETHANE GROUT.
 9. SIDEWALKS SHALL HAVE A LIGHT BROOK FINISH.

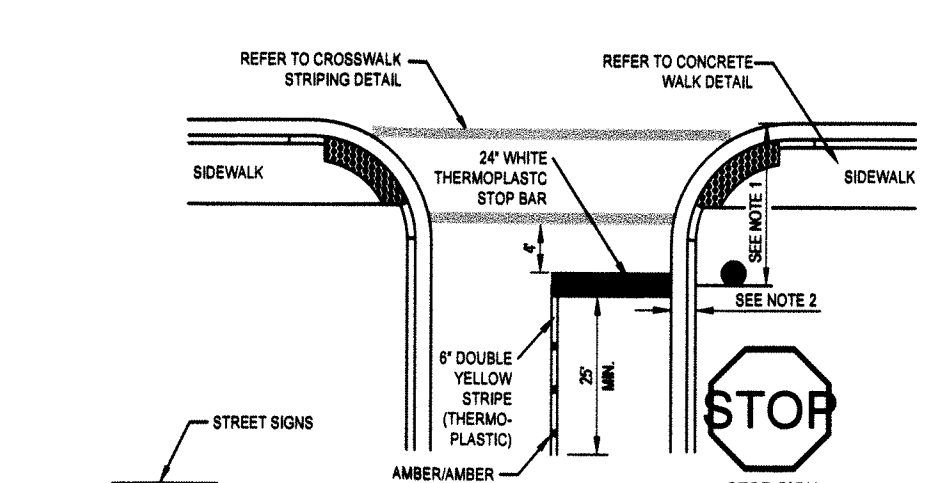
SIDEWALK CONSTRUCTION DETAILS (D-17)



BRICK PAVEMENT DETAIL (D-22)

- NOTES:
1. STABILIZED SUBGRADE SHALL HAVE A MINIMUM LIQUID LIMIT (LL) OF 40 AND IS REQUIRED FOR ALL NEW PAVEMENT CONSTRUCTION. ALL STABILIZED SUBGRADE SHALL BE STRONG LIME FOR GRADES AND PAWS. ALL REQUIRED DENSITY TESTING PRIOR TO PLACEMENT OF CONCRETE PAVEMENT. ALL AREAS TO BE STRENGTH TESTED SHALL BE CORRECTED AND REINSPECTED PRIOR TO PAVEMENT CONSTRUCTION.
 2. LIQUID LIMIT FOR ROADWAYS AND PARKING LOTS SHALL BE A MINIMUM OF 30% CARBONATES OF CALCIUM AND MAGNESIUM. BASE THICKNESS GREATER THAN 6" SHALL BE INSTALLED IN EQUAL LAYERS NOT EXCEEDING 4".
 3. BASE PREP COAT WILL NOT BE REQUIRED FOR BRICK PAVEMENT.
 4. SHOP DRAWINGS AND SUBMITTALS REQUIRED FOR THE PROPOSED PAVEMENT. PAVEMENT FINISH, LEVELS, BANDS AND JOINT SANDS SHALL BE PROVIDED. PAVEMENT SHALL BE LAID LEVEL TO ALL ADJACENT PAVEMENTS AND TO THE FINISH GRADE WITH A TOLERANCE OF 1/4".
 5. PAVEMENT SHALL BE PROTECTED FROM ALL TRAFFIC UNTIL COMPLETED AND APPROVED FOR USE BY THE CITY ENGINEERING DIVISION.
 6. USE OF BRICK PAVEMENT WILL REQUIRE APPROVAL BY THE CITY. APPROVAL SHALL INCLUDE LOCATION, COLOR AND PAVEMENT PATTERN.

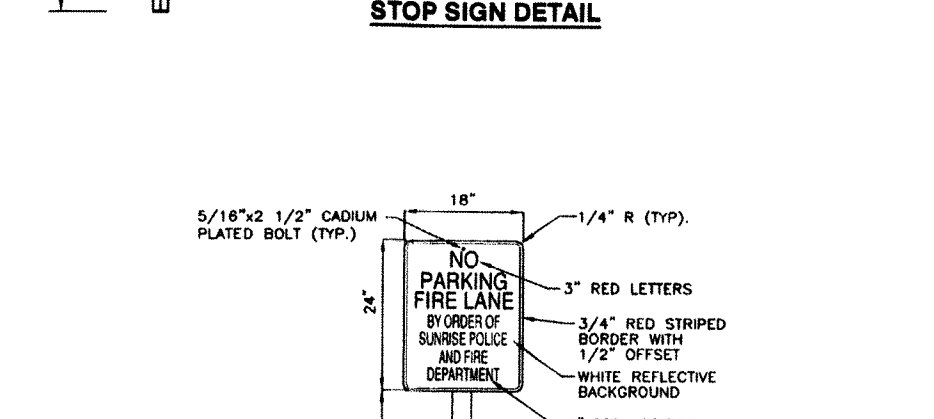
MINOR ROADWAYS AND PARKING LOTS (D-22)



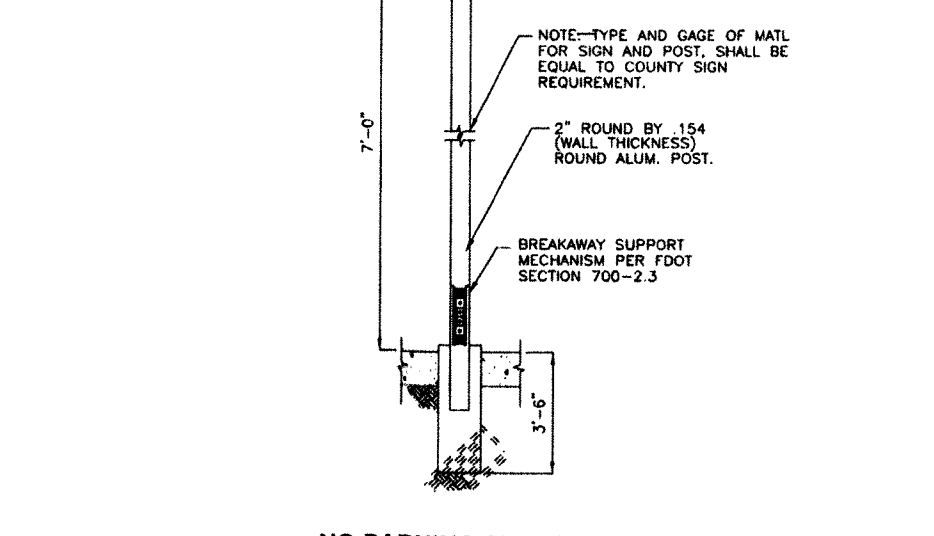
STOP SIGN DETAIL

- NOTES:
1. STOP SIGN PLACEMENT SHALL BE AT RADIUS, WHEN POSSIBLE. IF MINIMUM 30' MAXIMUM FROM THROUGHFARE.
 2. AT CURBED LOCATIONS SIGN SHALL BE 2' FROM EDGE OF SIGN TO FACE OF CURB. AT UNCURBED LOCATIONS SIGN SHALL BE 2' TO 12' FROM EDGE OF PAVEMENT. WHERE SIDEWALK ABUTS CURB, SIGN SHALL BE PLACED IN SIDEWALK AS SHOWN.
 3. STOP BAR AND STOP SIGN SHALL BE PLACED ADJACENT TO EACH OTHER, WHEN POSSIBLE. WHEN A CROSSWALK IS PRESENT, THE STOP BAR SHALL BE PLACED 4' CLEAR FROM CROSSWALK STRIPING.
 4. PLAT BLADE ALSO W/80% 5055-T9 ALLOY, ETCHED, DECREASED WITH W/80% ALUMINUM FINISH WITH H/87% GREEN HIGH INTENSITY BACKGROUND AND EQUAL DIMENSIONS - 1' x 12" MIN. 1/2" OR 3/4".
 5. LETTERS: NAME - 4" P SERIES 9 # 3070 HIGH INTENSITY (SILVER OR GOLD). SUFFIX - 4" SERIES 8 # 3070 AS ABOVE.
 6. 12" BLADES WITH 4" LETTERS FOR TWO LANE ROADS WITH A SPEED LIMIT UNDER 45 MPH.
 7. 12" BLADES WITH 4" LETTERS:
 - THROUGHFARE ROADS FOUR LANES OR WIDER.
 - TWO LANE ROADS WITH A POSTED SPEED LIMIT OF 45 MPH OR MORE.
 - ONLY ONE BLADE WILL BE USED INDICATING THE SIDE STREET NAME.

NO PARKING SIGN DETAIL



NO PARKING SIGN DETAIL



WHEELSTOP DETAIL (D-25)

- NOTES:
1. WHEELSTOP SIGNS MAY VARY DEPENDING ON MANUFACTURER.
 2. WHEELSTOP SHALL BE UNPAINTED OR PAINTED GRAY OR YELLOW EXCEPT AT HANDICAP SPACES WHICH SHALL IN ALL CASES BE UNPAINTED.
 3. ANCHOR RODS SHALL BE MINIMUM OF 1/4" REBAR 1' LONG WITH 1" MINIMUM EMBEDMENT.
 4. IN PAVEMENT AREAS THE ANCHOR RODS SHALL BE A MINIMUM OF 1/4" LONG. HOLES SHALL BE PRE-DRILLED.
 5. WHEELSTOPS ARE REQUIRED ON ALL PAVED PARKING SPACES (EXCEPT PARALLEL SPACES) AND ALL PARKING SPACES LESS THAN 20 FEET IN LENGTH.
 6. DISTANCE FROM END OF PARKING TO FACE OF WHEELSTOP SHALL BE THE SAME THROUGHOUT THE PROPOSED PROJECT.

WHEELSTOP DETAIL (D-25)

- FIRE NOTES:
1. Buildings and facilities shall be designed, constructed, and maintained to protect occupants who are not intimate with the fire development for the amount of time needed to evacuate, relocate, or defend in place.
 2. Buildings shall be designed and constructed to provide reasonable safety for fire fighters and emergency responders during search and rescue operations.
 3. Buildings shall be designed, located, and constructed to provide reasonable access to the building for emergency responders.
 4. Buildings shall be designed, located, and constructed to reasonably protect adjacent persons from injury or death as a result of fire.
 5. Buildings shall be designed and constructed to reduce the probability of death or injury of persons from falling during normal use of building.
 6. Buildings shall be designed and constructed to provide for reasonably safe crowd movement during emergency and non-emergency conditions.
 7. Building shall be designed and constructed to provide reasonable life safety for occupants and workers during construction and demolition.
 8. The AHJ shall have the authority to require fire department access be provided to gated subdivision or developments through the use of an approved device or system. Currently the only approved device is a two position Knox key system (two position toggle switch) (Knox key switch 3500 series), NFPAI (2015FLed) 18.2.2.
 9. Approved fire department access roads shall be provided for every facility, building, or portion of a building hereafter constructed or relocated.
 10. Fire lane stripping shall comply with NFPAI (2015FLed) and City of Sunrise Code of Ordinances (current edition).
 11. Fire department access road shall extend to within 50' of at least one exterior door that can be opened from the outside and that provides access to the interior building.
 12. Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150' from fire department access roads as measured by an approved route around the exterior of the building or facility, where building is protected throughout by an approved automatic sprinkler system that is installed in accordance with NFPA 13, 13D or 13R the distance shall be increased to 450'. NFPAI (2015FLed) section 18.2.3.2.
 13. Fire department access roads shall have an unobstructed width of not less than 20'. For gated communities indicate width of drive(s) at entrance and include height of any type of separation wall, guard house, trees or any other item that may cause the side mirrors on a fire unit to hit. Mirrors protrude approx. 2' from truck on each side.
 14. Fire department access roads shall be able to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface.
 15. Turning radius shall be as followed. Outside minimum of 50' and inside minimum of 25'. Dimensions of fire department's largest truck will be provided with this information. Provide auto turn drawings showing criteria meeting these standards.
 16. Fire department access roads in excess of 150' in length shall be provided with approval provisions for the fire apparatus to turn around.
 17. The angle of approach and departure for any means of fire department access road shall not exceed 1 ft drop in 20 ft.
 18. Buildings shall be designed and constructed to reasonable prevent structural failure under fire conditions for sufficient time to enable fire fighter and emergency responders to conduct search and rescue operations.
 19. Building address shall be visible from road and comply with City of Sunrise Ordinance 16-249 for number /letter height. Rear doors shall have address posted on them unless building has a single tenant.
 20. Knox box unit will be required for building with a fire alarm system or building with complex locking system.
 21. Include clearance height of all overhangs and canopies/awnings.
 22. Note: In building Public Safety Radio Enhancement System per NFPAI (2015FLed) 11.0, NFPA 12 (2015FLed) 24.5.2 will be enforced. Public safety radio signal analysis shall be performed to determine if this system is needed. Results will need to be forwarded to Fire Marshal's Office.
 23. Hazardous material storage to comply with applicable codes.
- Fire Hydrants:
1. Indicate all existing and required fire hydrants.
 2. All fire hydrants shall comply with the following installation criteria:
 - A. Fire hydrants shall be of the approved type and have not less than a 6" diameter connection with the main. A valve shall be installed in the fire hydrant connection within 20'.
 - B. Dead end mains shall be avoided. Laterals serving fire hydrants shall not exceed 50' in length and meet flow requirements.
 - C. Fire hydrants should be placed within 6' of pavement.
 - D. Where fire hydrants are subject to potential damage bollards shall be installed no closer than 4' from fire hydrant(s).
 - E. The 4 1/2 inch outlet shall face the roadway.
 - F. Minimum clearance of 16' in front and to the sides of the fire hydrant, with a 4' clearance rear. AHJ can authorize closer distance.
 - G. Fire service personnel shall have an unobstructed path to fire hydrant and shall not be obscured. Landscaping plans shall include fire hydrants showing clear zone around FH.
 - H. All fire hydrants shall be installed every 300' as the hose lays.
 - I. Fire hydrants shall be located no less than 40' from building or a to be protected. Locations closer than 40' shall be permitted to be used where approved by AHJ.
 - J. Provide blue reflector on pavement adjacent to fire hydrant.
 - K. Minimum fire hydrant height is 18' to center of steamer cap and max 36' to steamer cap.
 - L. Quantity 4 fire flow of fire hydrants shall comply with NFPAI (current state adopted edition) 18.4 4 Annex I.

NOTE:
All traffic signage and pavement markings to be provided on the site plan in conformance with BCTE and MUTCD Standards.

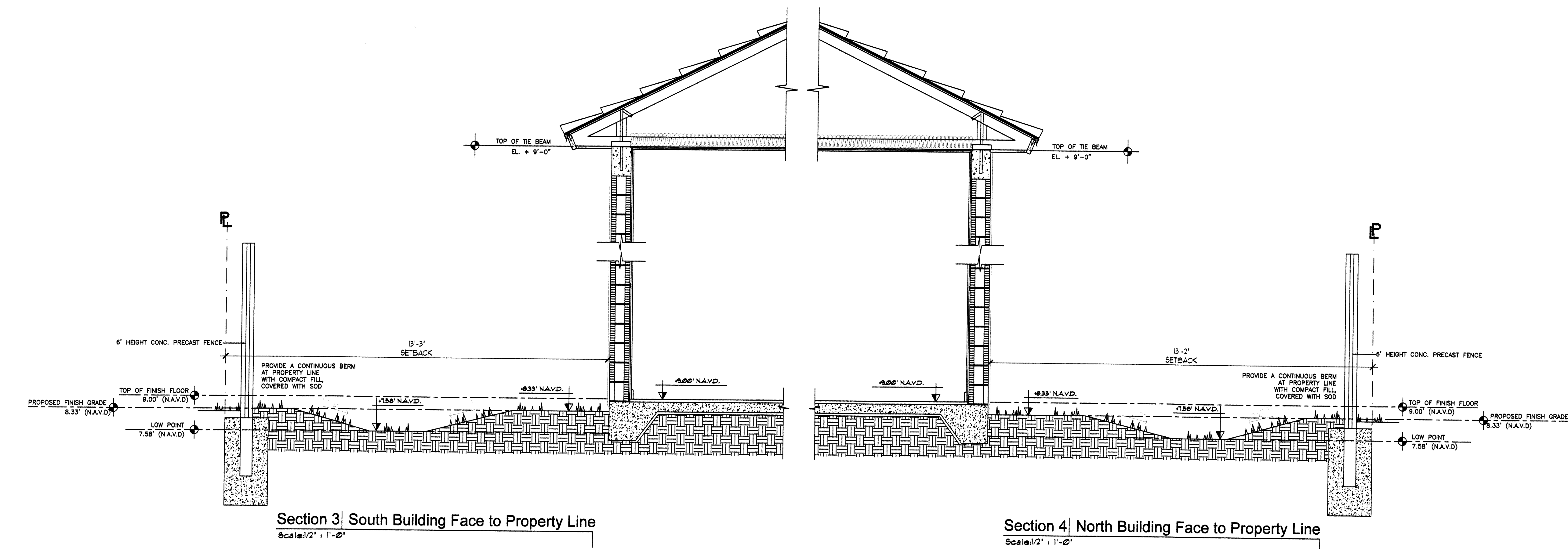
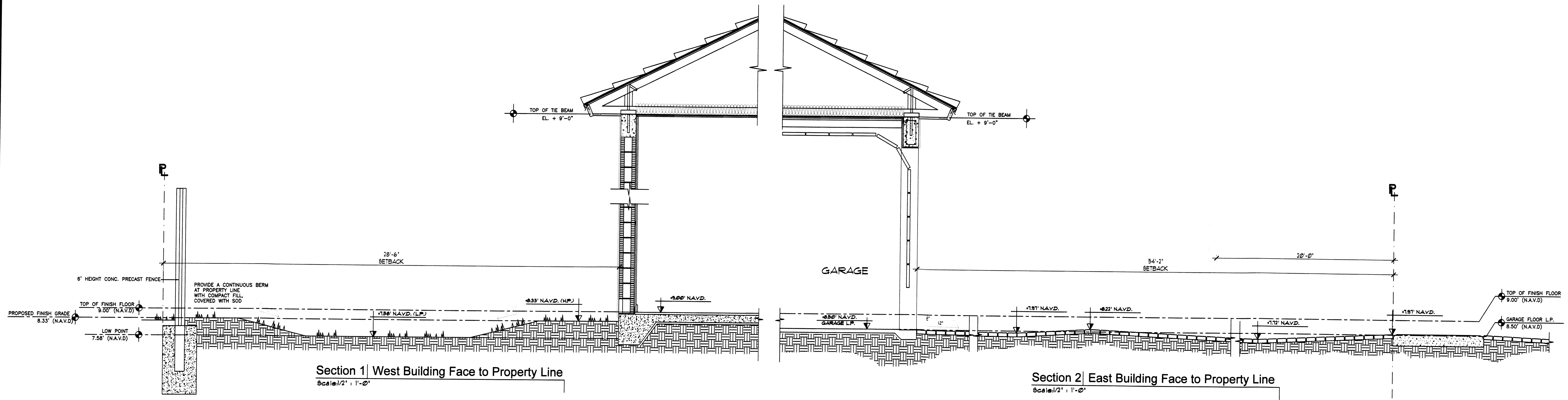
HIDDEN CYPRESS VILLAS
NEW TWO - FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086

Sheet Title:
SITE PLAN DETAILS AND NOTES

TADEOS ENGINEERING LLC.
C.A. # 31229
14030 NW 82nd Ave.
Miami Lakes, FL 33016
Phone: (305) 808-8818
email: luis@tadeosengineering.com

LUIS O. DE LA HOZ
P.E. #73932

Date
10-04-2021
Drawing No.
SP.02

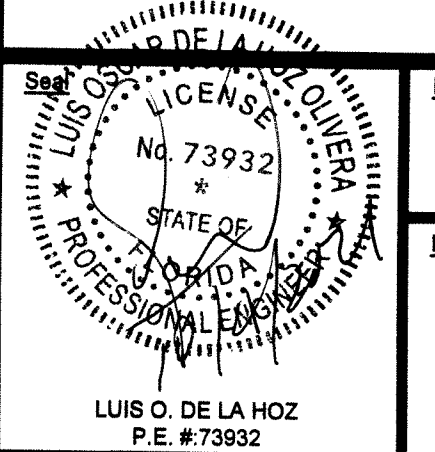


HIDDEN CYPRESS VILLAS
 NEW TWO - FAMILY DWELLING
 PARCEL ID No. 4941 20 04 0086

Sheet Title:
 SITE PLAN SECTIONS



TADEOS ENGINEERING LLC.
 C.A. # 31229
 14230 NW 82nd Ave.
 Miami Lakes, FL 33016
 Phone: (305) 903-8818
 email: luis@tadeosengineering.com



Date:
 10-04-2021

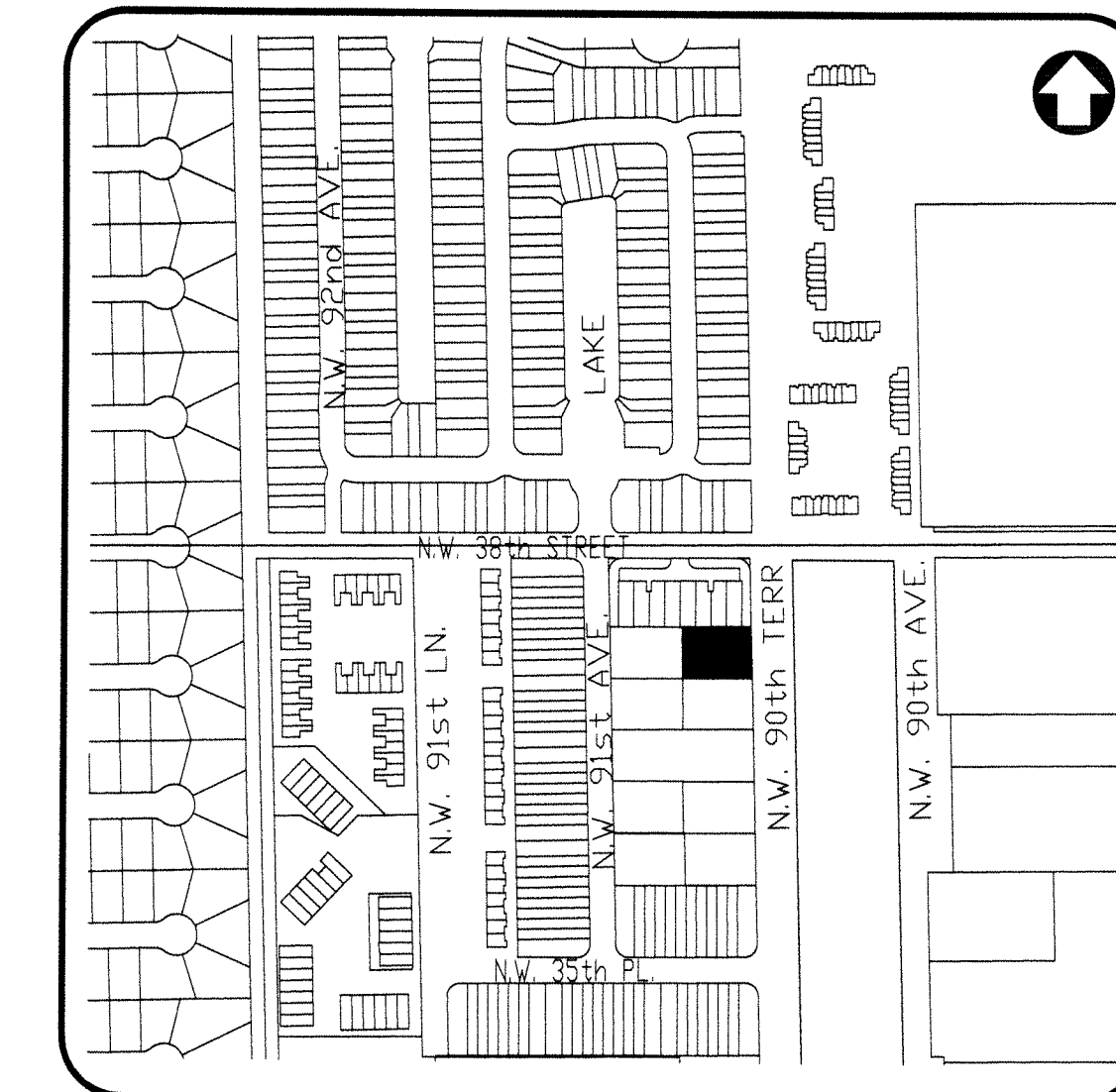
Drawing No.

SP.03

LUIS O. DE LA HOZ
 P.E. #73932

BOUNDARY SURVEY

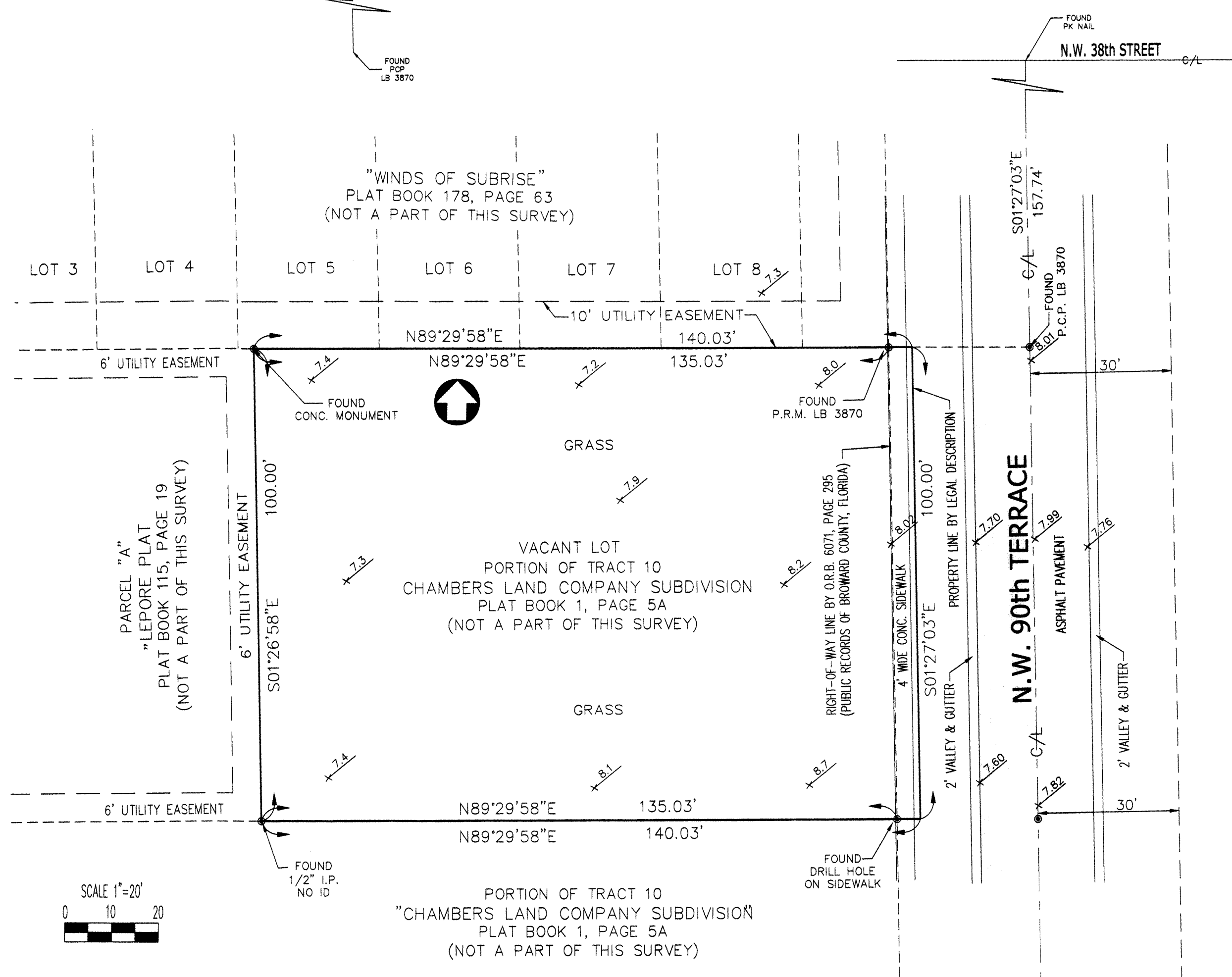
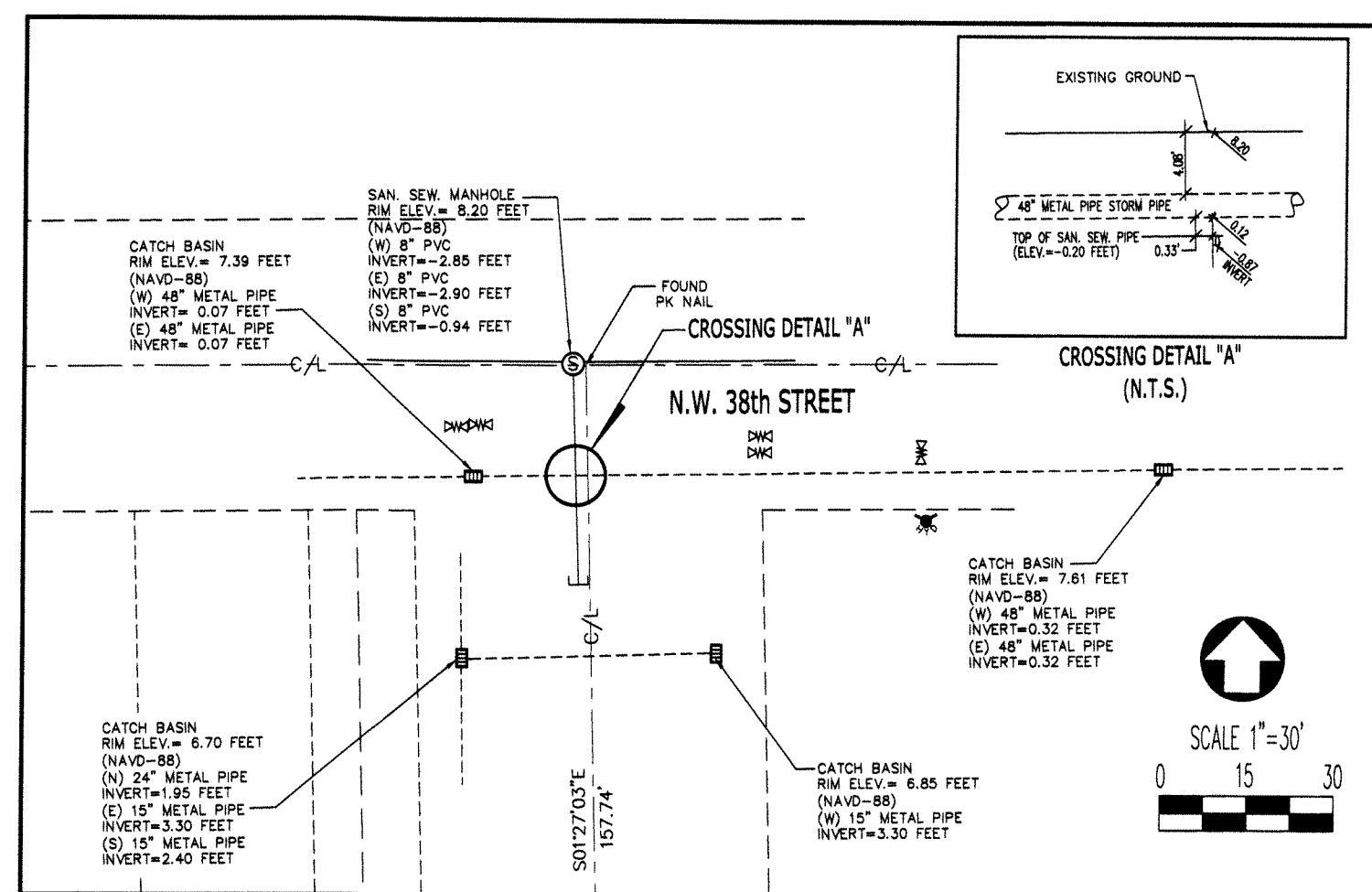
OF
VACANT LOT ALONG N.W. 90th TERRACE, SUNRISE FL.
PARCEL ID No. 4941 20 04 0086



LOCATION MAP
NOT TO SCALE
SECTION 20, TOWNSHIP 49 S., RANGE 41 E.

LEGEND & ABBREVIATIONS:

- | | | | |
|--|---|--|---|
| <ul style="list-style-type: none"> ○ CLEANOUT ○ CATCH BASIN ○ CONCRETE POWER POLE ○ GUARD RAIL ○ GAS TRAP ○ GAS VALVE ○ HANDICAP SIGN ○ LIGHT POLE ○ LIGHT BOLLARD ○ ELECTRIC BOX ○ ELECTRIC MANHOLE ○ FIRE HYDRANT ○ IRRIGATION CONTROL VALVE ○ METAL BUS STOP BENCH ○ MONITORING WELL ○ MAIL BOX | <ul style="list-style-type: none"> ○ SANITARY SEWER MANHOLE ○ STORM SEWER MANHOLE ○ TELEPHONE MANHOLE ○ UNKNOWN MANHOLE ○ WOOD POLE ○ PUBLIC TELEPHONE BOX ○ CONCRETE POLE ○ CHAIN LINK FENCE ○ W/F WOOD FENCE ○ WOOD FENCE ○ SIGN ○ SIGN | <ul style="list-style-type: none"> ○ SPOT ELEVATION ○ SEWER VALVE ○ UTILITY BOX ○ WATER VALVE ○ WATER METER ○ WOOD POLE ○ WOOD POLE WITH TRANSFORMER ○ GUY WIRE ○ STREET LIGHT ○ TRAFFIC SIGNAL BOX ○ PUBLIC TELEPHONE BOOTH ○ TRAFFIC CONTROL PANEL ○ TRASH CAN ○ FLAG POLE ○ PEDESTRIAN SIGNAL POLE ○ LIGHT POLE ○ TELEPHONE BOX ○ GAS METER | <ul style="list-style-type: none"> A/C AIR CONDITIONING PAD BLDG. BUILDING C/LF CHAIN LINK FENCE CBS CONCRETE BLOCK STRUCTURE (C) CALCULATED CB CATCH BASIN CH CHORD DISTANCE C/L CENTER LINE CONC. CONCRETE Δ DELTA E EAST ENC. ENCROACHMENT F.I.P. FOUND IRON PIPE F.I.R. FOUND REBAR F.F.E. FINISH FLOOR ELEVATION F.N. FOUND NAIL G.V. GAS VALVE L LENGTH N NORTH N.G.V.D. NATIONAL GEODETIC VERTICAL DATUM O.E. OVERHEAD ELECTRIC LINE O/L ON LINE (O.R.B.) OFFICIAL RECORD BOOK (MEAS.) MEASURED P.R.M. POINT REFERENCE MONUMENT (REC.) RECORD R RADIUS R/W RIGHT-OF-WAY S SOUTH SEC. SECTION T TANGENT U.L.E. UTILITY EASEMENT W WEST |
|--|---|--|---|



SURVEYOR'S NOTES

I- DATE OF COMPLETION:
05-10-2016 UPDATE 06-20-2021

II- LEGAL DESCRIPTION:

Legal Description:
A parcel of land in Tract 10 of the southeast one-quarter (SE-1/4) of Section 20, Township 49 South, Range 41 East of CHAMBERS LAND COMPANY SUBDIVISION, according to the plat thereof, recorded in Plat Book 1, Page 5A of the Public records of Broward County Florida. Said lands being more particularly described as follow: The North 99.99 feet of the South 1157.29 feet (as measured at right angles) of said Tract 10 EXCEPTING THEREFROM the west 165 feet and the East 25 feet. Said Lands situated in the City of Sunrise, Broward County, Florida and containing 0.322 Acres, more or less, SUBJECT TO the Provisions of the Protective Covenants recorded in Official Records Book 3973, page 293; and the Provisions of the Additional Protective Covenants recorded in Official records Book 3989, page 622 of the Public Records of Broward County, Florida; and to all restrictions, reservation, limitations and easement of record and subject also to taxes for the current year and all subsequent years.

III- ACCURACY:

This survey was predicated on the expected use of land, as classified in the Standards of practice for Land Surveying in the State of Florida, pursuant to Rule 5J-17 of the Florida Administrative Code is "Commercial/High Risk." The minimum relative distance accuracy for this type of Survey is 1 foot in 10000 feet. The accuracy obtained by measurement and calculation of closed geometric figures was found to exceed this requirement.

ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM 1988 AS PER N.G.S. BENCHMARK No. NGS DL2180 K 664 SAID BENCHMARK HAS AN ELEVATION OF 9.48 FEET (N.A.V.D.-88)

IV- SOURCES OF DATA:

North arrow direction is based on an assumed Meridian.

Bearings as shown hereon are based upon the Center Line of N.W. 90th Terrace, with an assumed bearing of N01°58'52"W, said line to be considered a well monumented line.

Subsurface soil conditions were not determined, as this falls outside the purview of this Survey. These conditions may include the determination of wetlands, filled-in areas, geological conditions or possible contamination by hazardous liquid or solid waste that may occur within, upon, across, abutting or adjacent to the Subject Property.

Well-identified features as depicted on the Survey Map were measured to an estimated horizontal positional accuracy of 1/10 foot.

V- EASEMENTS AND ENCUMBRANCES:

No information was provided as to the existence of any easements or encumbrances. This Boundary Survey was prepared as per information given by client and no title search has been performed prior to the execution of this survey.

VI- CLIENT INFORMATION:

This Boundary Survey was prepared at the insistence of and certified to:

De la Hoz Developer Group LLC
First American Title Insurance Company,
Town and Country Title Guaranty of Hollywood.

VII- SURVEYOR'S CERTIFICATE:

I hereby certify: That this "BOUNDARY SURVEY" and the Survey Map resulting therefrom was performed under my direction and is true and correct to the best of my knowledge and belief and further, that said "BOUNDARY SURVEY" meets the intent of the applicable provisions of the Standards of practice for Land Surveying in the State of Florida, pursuant to Rule (5J17.050 through 5J-17.052) of the Florida Administrative Code and its implementing law, Chapter 472.027 of the Florida Statutes.

3TCI, Inc., a Florida Corporation
Florida Certificate of Authorization Number LB7235

By: *[Signature]*
FELIX E. SUAREZ JR.
Registered Surveyor and Mapper LS7235
State of Florida

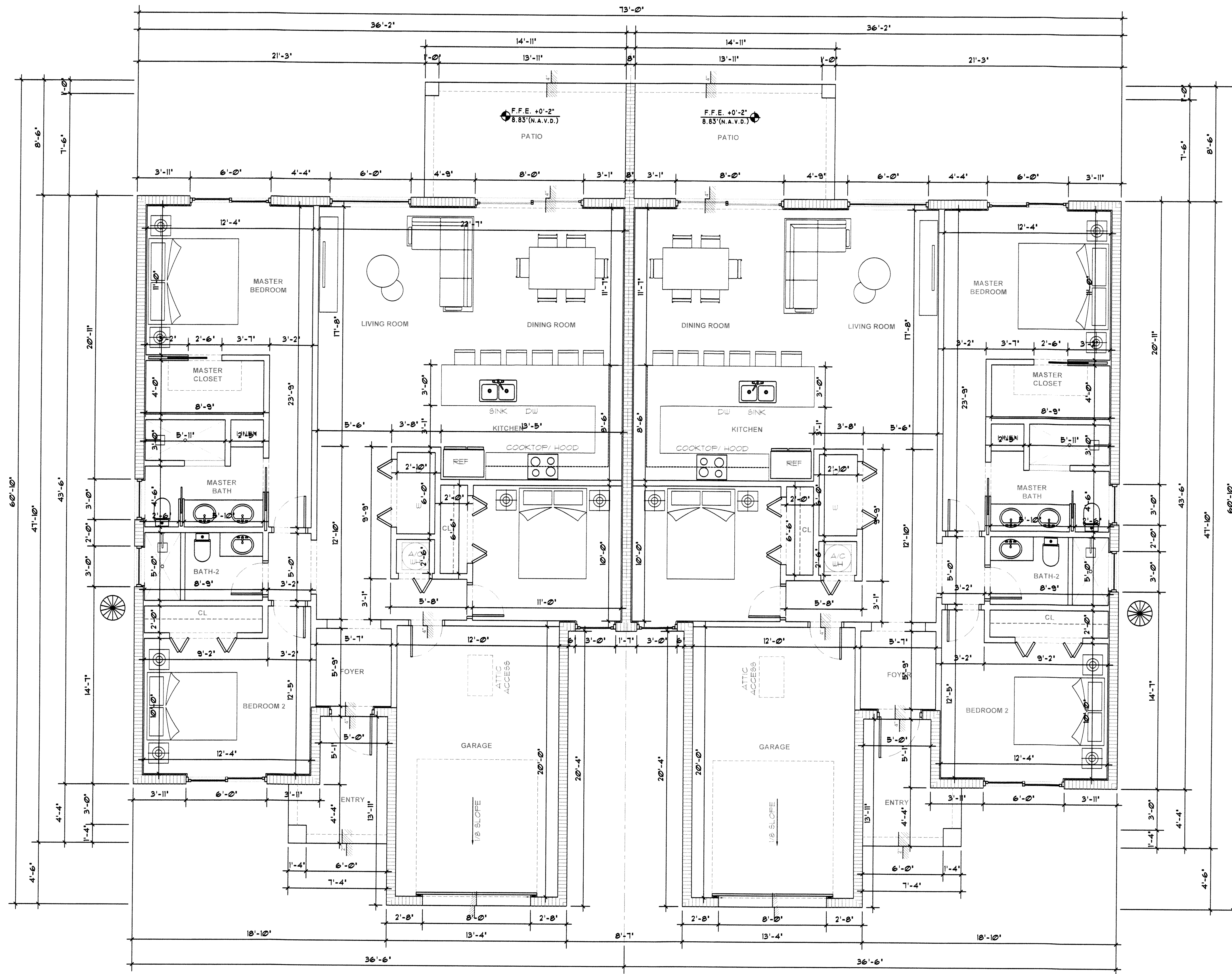
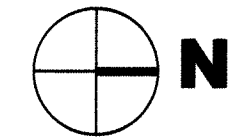
NOTICE: Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to Survey Maps by other than the signing party are prohibited without the written consent of the signing party.



3TCI, Inc. LB7799
PROFESSIONAL LAND SURVEYORS AND MAPPERS
12211 SW 129th CT. MIAMI FL 33186
tel: 305-378-1662 fax: 305-378-1662 www.3tci.com

SKETCH OF SURVEY

DRAFTER:	CHECKED:	FIELD BOOK:	JOB NUMBER:	SCALE:	SHEET:
FES	RO	2016-53	16-1128	AS SHOWN	1 OF 1



AREA TABLE	
ONE UNIT	
GROUND FLOOR A/C	1,360 S.F.
TOTAL A/C	1,360 S.F.
GARAGE	272 S.F.
ENTRY	57 S.F.
PATIO	127 S.F.
GROSS AREA	
GROSS BLDG. AREA PER UNIT	1,819 S.F.
GROSS TOTAL BLDG. AREA	3,638 S.F.

WALL LEGEND	
	New C.M.U. wall
	Proposed interior partition

Floor Plan
Scale: 1/4" = 1'-0"

HIDDEN CYPRESS VILLAS
NEW TWO - FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086

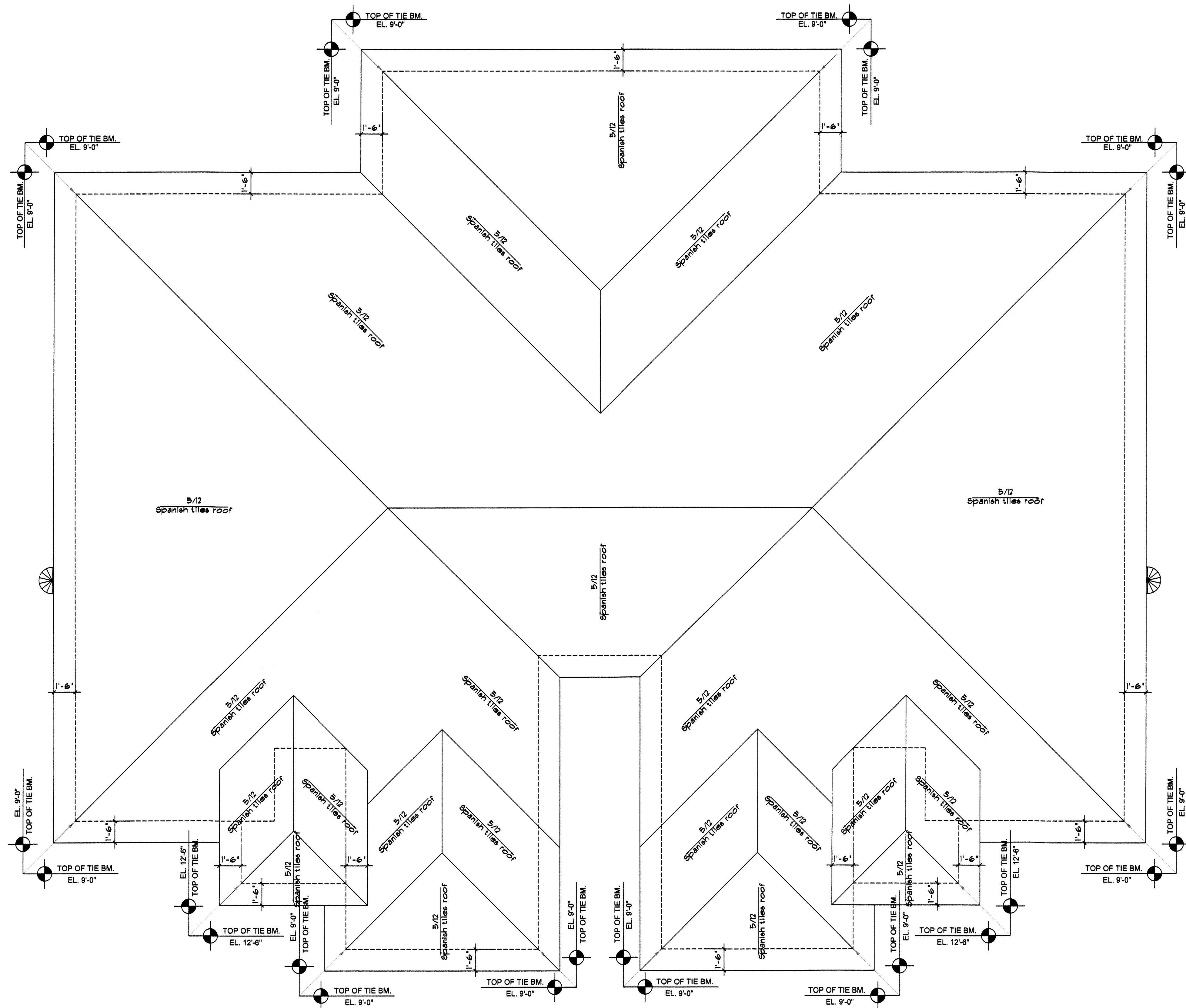
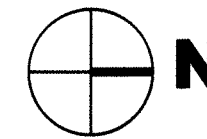
Sheet Title:
FLOOR PLAN

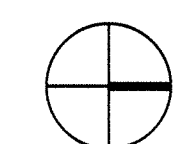
TADEOS ENGINEERING LLC.
C.A. # 31229
14030 NW 62nd Ave.
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email: luis@tadeosengineering.com

LUIS O. DE LA HOZ
P.E. # 73932

Date:
10-04-2021

Drawing No.
A.01

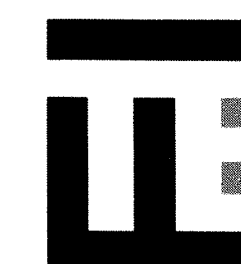


 **Roof Plan**
Scale: 1/4" = 1'-0"

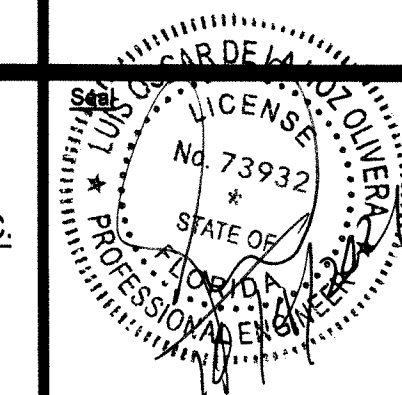
HIDDEN CYPRESS VILLAS
NEW TWO - FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086

Sheet Title

ROOF PLAN



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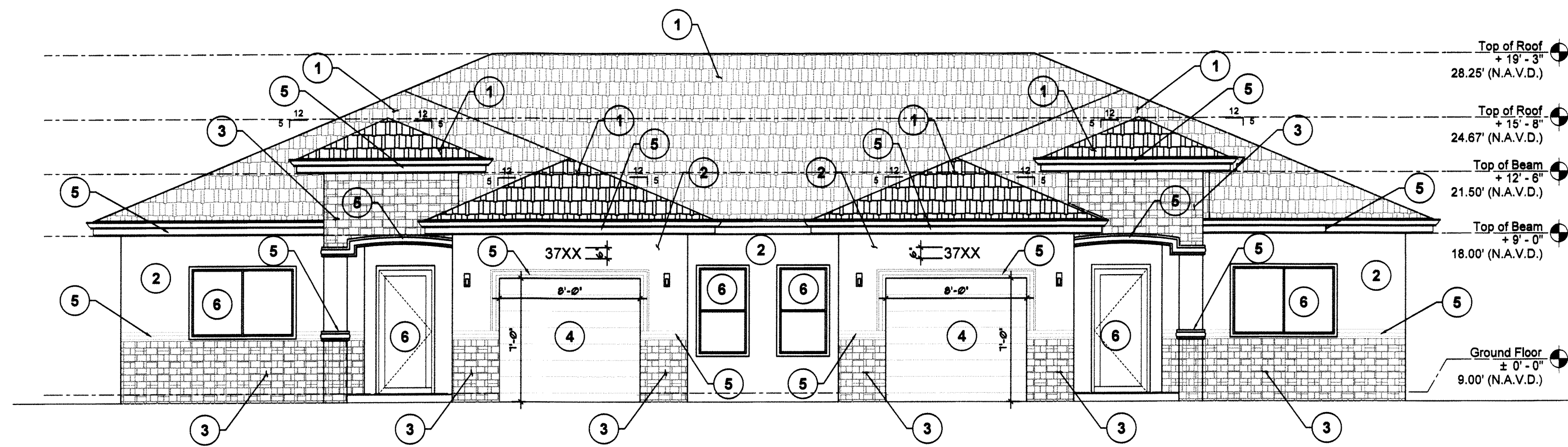


LUIS O. DE LA HOZ
P.E. # 73932

Date
10-04-2021

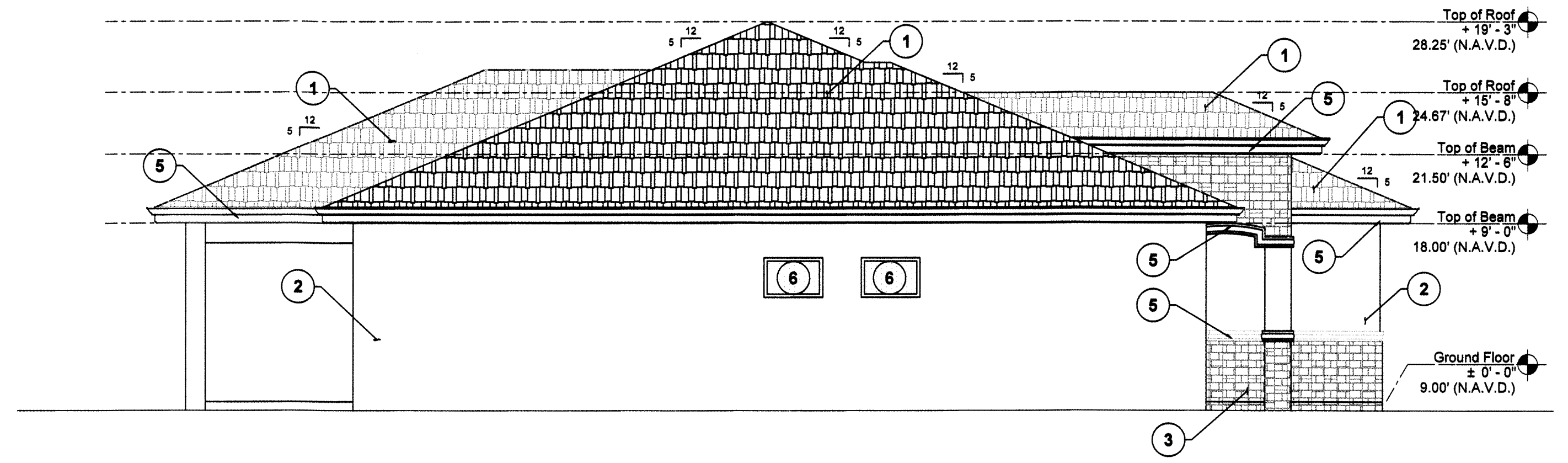
Drawing No.

A.02



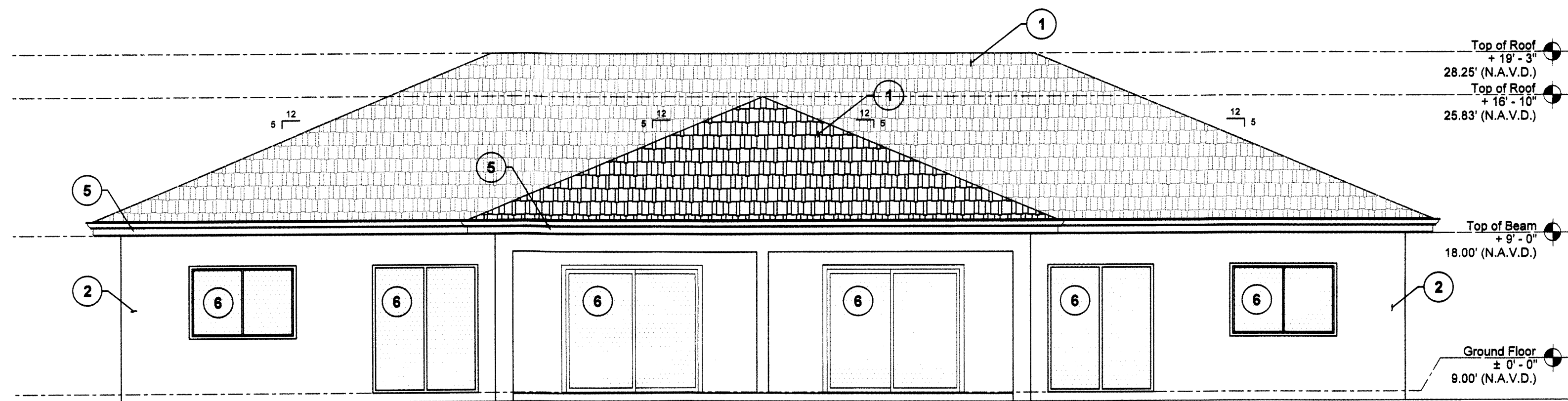
East Elevation

Scale: 3/16" : 1'-0"



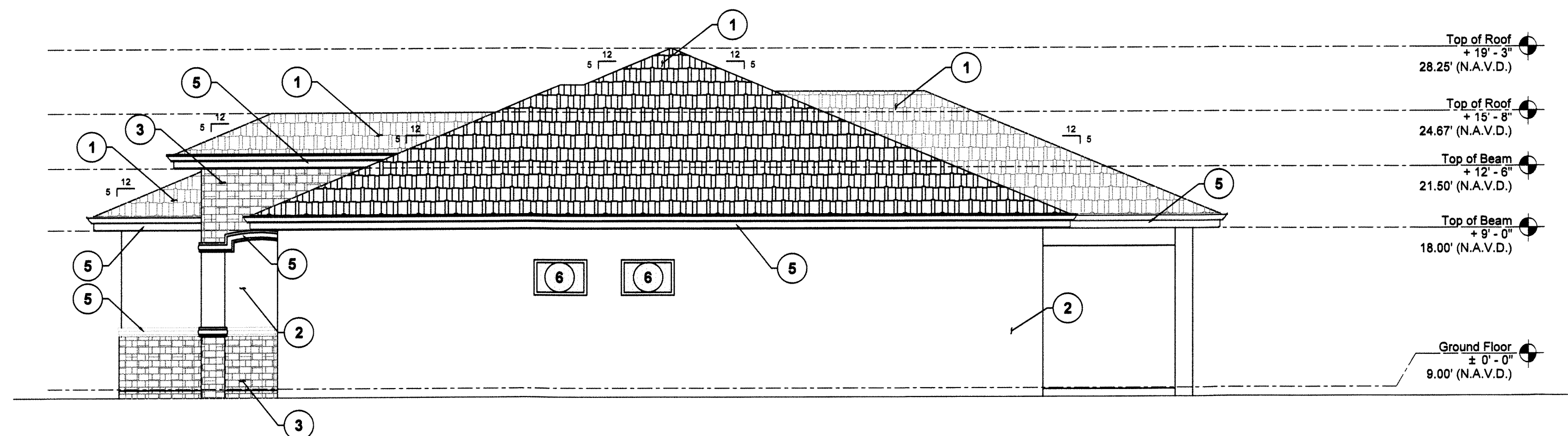
South Elevation

Scale: 3/16" : 1'-0"



West Elevation







Scale: 3/16" : 1'-0"



North Elevation

Scale: 3/16" : 1'-0"

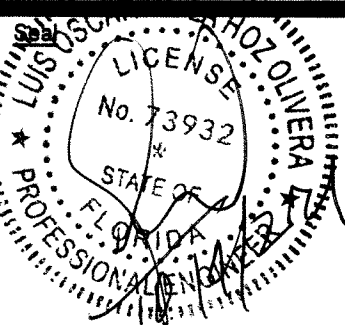
FINISH & COLOR LEGEND

MANUFACTURER	COMMON COLOR NAME	COLOR	TEXTURE
 <p>1. -ROOF TILE MANUFACTURER: CROWN MODEL: SANIBEL ASASC028 COLOR: TOBACCO BLEND</p>	(BROWN)		
 <p>2. -WALL COLOR MANUFACTURER: BEHR PREMIUM MODEL # 06805 COLOR: SANDSTONE BEIGE MS-41</p>	(BEIGE)	X	(STUCCO)
 <p>3. -SLATE WALL TILE MANUFACTURER: M S INTERNATIONAL, INC. MODEL #LPNLSICALGLD24 COLOR: CALIFORNIA GOLD LEDGER</p>	(GOLDEN)	X	(WALL COVERING)
 <p>4. -GARAGE DOOR COLOR MANUFACTURER: MODERN MASTERS MODEL #275283 COLOR: SATIN GROUNDED BROWN WATER</p>	(BROWN)	X	
 <p>5. -BANDINGS, FASCIAS, MOLDINGS AND SILLS COLOR MANUFACTURER: RUST-OLEUM PAINTER'S TOUCH MODEL #1977602 COLOR: KONA BROWN</p>	(BROWN)		
 <p>6. -DOORS AND WINDOWS MANUFACTURER: ANDERSEN MODEL #9118789 COLOR: DARK BRONZE</p>	(BRONZE)	X	

HIDDEN CYPRESS VILLAS
NEW TWO - FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086

Sheet Title:
ELEVATIONS

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P.E. # 73932

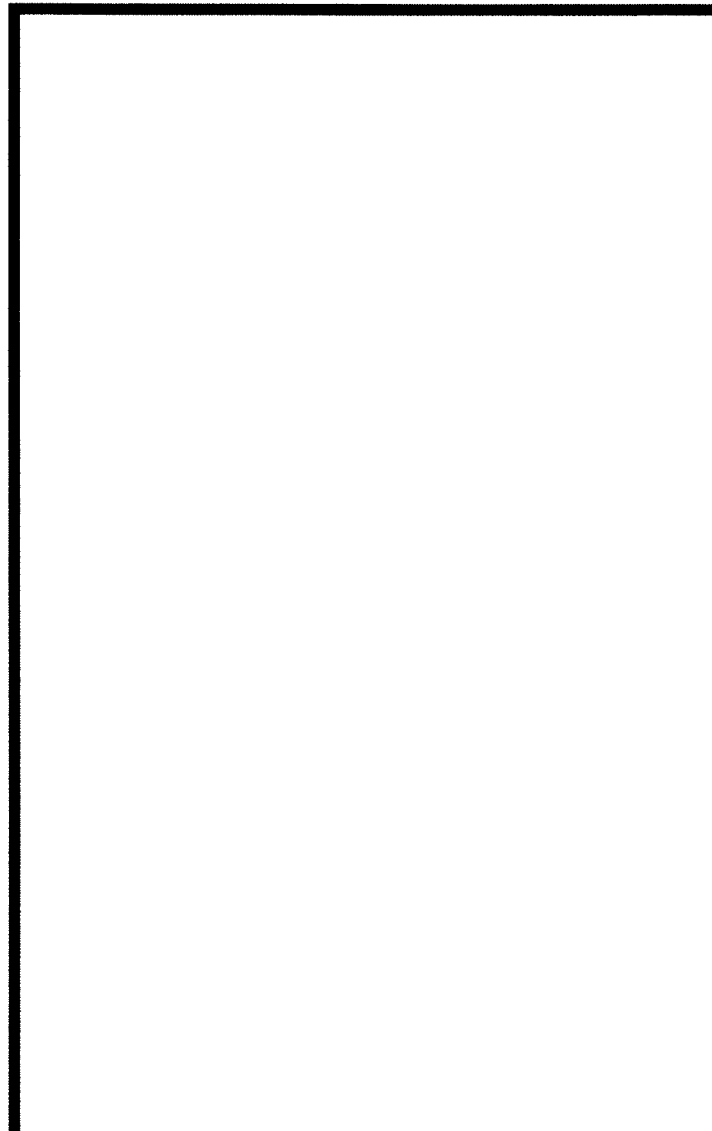
Date
10-04-2021
Drawing No.
A.03

HIDDEN CYPRESS VILLAS

SUNRISE, FL 33351

LANDSCAPE DRC SET 10/04/2021

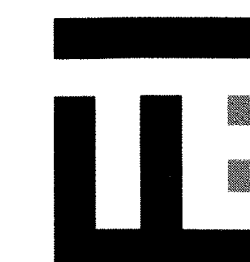
INDEX OF DRAWINGS		
DESCRIPTION (LANDSCAPE DRC SET)		
1	L0-00	LANDSCAPE INDEX
2	L0-01	LANDSCAPE NOTES
3	L0-02	LANDSCAPE CALCULATIONS
4	L0-03	LANDSCAPE IMAGES
5	L1-10	LANDSCAPE PLAN
6	L3-10	LANDSCAPE SECTION
7	L4-10	ENLARGEMENT PLAN
8	L5-10	PLANTING DETAILS



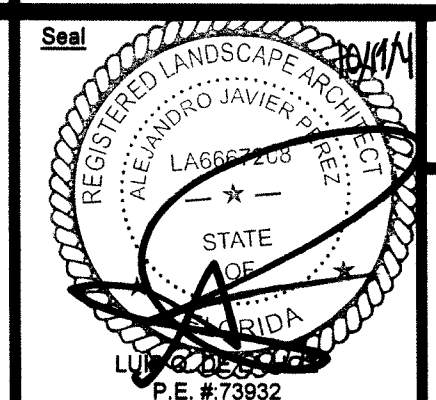
HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086

Sheet Title:

LANDSCAPE INDEX



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email: tae@tadeosengineering.com



Date
10-04-2021

Drawing No.
L0-00

GENERAL NOTES

1. These plans reflect the scope of the Landscape Architect external services. For Architectural, Civil, Lighting please refer to the appropriate consultant documents.
2. The locations of all site amenities are approximate and may be adjusted in the field with owner and/or their representatives approval. See plans for locations of fixed amenities.
3. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with safety criteria, to avoid creating unsafe sight conditions, or as otherwise directed by or approved by the landscape architect or owner's representative.
4. Construction shall comply with all local building codes.
5. All dimensions shall be verified in the field prior to construction. Written dimensions shall take precedence over scaled drawings.
6. If a discrepancy should arise between layout geometry and design intent, design intent shall take precedence.
7. A Tree Protection Plan shall be provided prior to the issuance of a building permit.
8. A Tree Care & Watering plan shall be submitted prior to the issuance of a building permit.
9. All existing and proposed utilities will be verified prior to the issuance of a building permit, and will be adequately screened from sight by landscape materials.

GENERAL GRADING NOTES

1. All grading information outside the below grade parking decks provided is intended for aesthetic purposes and to show relationships only. For detailed grading information see Civil Engineers drawings.
2. Rough grading and site preparation shall be completed for review by Landscape Architect / or owners representative prior to final grading.
3. Roadway grading and transition areas to be reviewed and approved by Civil / Traffic Engineer.
4. Grading and calculations for retention areas to be provided by Civil Engineers.
5. Contractor shall not substantially modify grading plan without the approval of designer. All site aesthetic grading is subject to review and approval of the landscape architect or owner's representative.
6. Contours for earth mounds shall be smooth, continuous arcs. Side slopes shall be smooth and even in transition and void of depressions. Careful attention should be given to the grading plans concerning the shapes and formations of proposed slopes.
7. All graded areas shall be dragged with a drag mat or hand radeel to blend in small imperfections and round off any sharp lines that may have been constructed by equipment. All areas to be planted shall have no water holding pockets.

IRRIGATION NOTES

1. All landscaped areas within the property shall be irrigated with automatic irrigation system which shall utilize well and/or domestic water supply.
2. Irrigation system shall be equipped with rain sensor.
3. Irrigation system shall provide 100% coverage. Plans will be submitted prior to the issuance of a building permit.

GENERAL LANDSCAPE NOTES

1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owners Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing documents.
2. The contractor is responsible to ensure proper watering and maintenance of new and relocated plant materials during the one year warranty period.
3. Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
4. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
5. The location of the landscape holding area will be identified by the Owner or Owner's Representative. The Contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others. Contractor is responsible for the maintenance of all plant materials, including temporary irrigation and fertilization if necessary during construction, while being held in landscape holding areas.
6. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for soil treatment in the construction area.
7. Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to initiating installation for the review and approval of the Owner's representative and/or Landscape Architect. **Note: No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of irrigation lines.**
8. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/ or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with Owner's Representative and the Landscape Architect.
9. Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin. All plant materials will not include any plants considered to be invasive by the City of Sunrise.
10. Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
11. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
12. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
13. Landscape Contractor shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing or new plant material disturbed or damaged by plant removal, relocation, and/or installation work.
14. Site distance concerns must be maintained for clear site visibility from thirty (30) inches to seventy-two (72) inches, tree trunks are excluded as specified in appropriate municipal codes.
15. Guying / staking practices shall not permit nails, screws, wires, etc., to penetrate outer surface of any tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
16. Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball.
17. Trees grown in grow bags or grow bag type material are not allowed.
18. All planting materials shall meet or exceed local requirements as specified by local plant standards.
19. All landscape installations shall meet or exceed the minimum requirements as shown in appropriate municipal codes.
20. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
21. Plant size specifications take precedence over container size.
22. Contractor to verify quantities and report any discrepancies to Owners representative and/or Landscape Architect.
23. All plant material shall be graded Florida #1 or better.

SOIL PREPARATION AND SOIL MIX

1. All plants noted for removal shall be relocated as shown on plans or removed and properly disposed of offsite at contractors expense unless otherwise noted.
2. Before finishing top soil grading, scarify & rake subsoil clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material to a depth of 6".
3. Plant holes should be dug and the sides and bottom of the hole should be stable, regardless of depth. Soil scarification is necessary if sides of the hole are compacted.
4. Contractor to apply approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Contractors to provide manufacturer's specifications for approval.
5. Planting soil mix for planters, trees, shrubs, and ground cover & grasses shall be determined by soil analysis prior to planting landscape.

The planting soil mix should be what comes out of the hole so the plant adapts to the surrounding/existing soil and grows into it. This is why the sides and the bottom of the planting hole should never be compacted with the digging implements. Never fertilize newly planted plants and trees. Please note that peat moss will eventually decompose and clog soil pores thereby inhibiting the plants water and oxygen consumption.

6. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil, it shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous material. Top soil brought in should match as well as possible the existing soil texture and Ph. Planted material should never be "mounded" or raised; the soil will eventually wash away exposing the roots and it will be difficult to establish the plant material due to drought and excessive soil transpiration. All plant/tree material should be installed with the root collar exposed (approximately 1/2" to 1"). Landscape contractor should find the uppermost lateral root and plant that just below the soil surface.

7. Smooth topsoil without compaction to two inches (2") below finish grade in areas to be sodded without compaction.

8. Finish grade all topsoil areas to a smooth non-compacted, even surface assuring positive drainage away from the structures and eliminate any low areas except in retention areas where water may collect.

9. Contractor to remove debris and excess material immediately from job site while keeping in mind that heavy equipment will compact soil to the detriment of water drainage and the health of the newly installed plants. All planting areas with compacted soil will have surfaces scarified to a min. of 6" in depth.

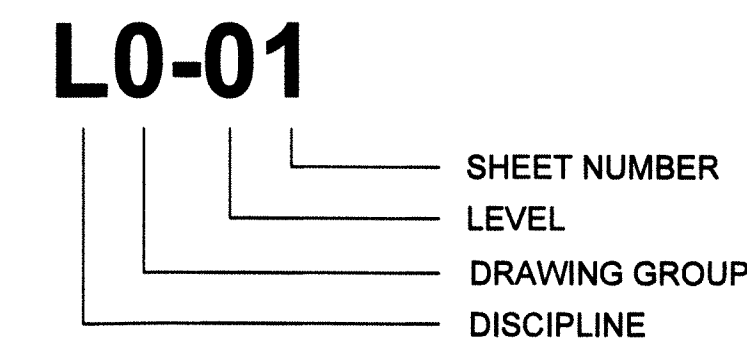
PLANTING SPECIFICATIONS

1. The contractor is responsible for maintaining, in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) Until the job is accepted, in full, by the owner, its representative and Landscape Architect.
2. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention. Plant/tree material shall conform to Florida # 1 as described in Florida grades & standards, the latest issue.
3. All trees must be guyed or staked as shown in details.
4. When plant material is delivered onsite, it shall not be laid down for more than two hours. Plant material when stored onsite shall be placed and maintained in good condition in a vertical position. All plants held onsite shall be kept watered regularly in sufficient amounts to permit continuous and vigorous growth.
5. Installation of all plant material shall be installed in a sound, workmanlike manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
6. There shall be no chains or cables used directly on trees or palms, handle with 2" minimum width nylon straps or equal.
7. Contractor shall assure drainage and percolation of all planting pits. Prior to installation of plant material, contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions. Plant/tree material that has bark scraped off due to shipping, handling, and installation issues may be rejected upon inspection by the L.A.
8. Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, its representative, and landscape architect shall declare the project substantially complete.
9. Substantial completion constitutes the beginning of guarantee period.
10. Contractor to replace rejected plant within two (2) weeks of notice.
11. Crown pruning of any trees or palms is generally not approved by the national arborist association standards. When it is approved, it must be done in writing.
12. Xeriscaping principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance.

DRAWING ORGANIZATION

1. DRAWING NUMBERING SYSTEM

THE DRAWING NUMBER FOR EACH SHEET CONSISTS OF THE FOLLOWING:



2. DRAWING GROUP

LANDSCAPE DRAWINGS ARE ORGANIZED INTO THE FOLLOWING GROUPS:

- L0 = GENERAL
- L1 = PLANS
- L2 = ELEVATIONS
- L3 = SECTIONS
- L4 = ENLARGEMENTS
- L5 = DETAILS
- L6 = SCHEDULES

3. SHEET NUMBER

EACH DRAWING SHEET WITHIN EACH GROUP/MULTIPLE SHALL BE NUMBERED SEQUENTIALLY FROM 01 TO 99.

4. DRAWING NUMBER EXAMPLES:

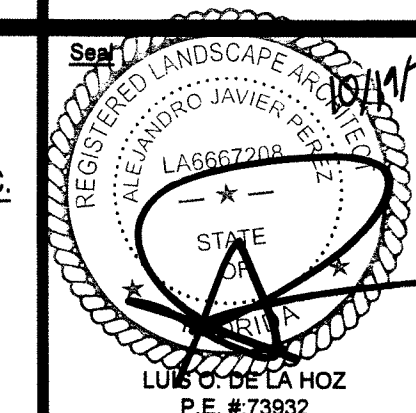
L0-001 LANDSCAPE INDEX

**HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086**

LANDSCAPE NOTES



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Date: 10-04-2021

Drawing No. L0-01

Sheet Title:

Landscaping Checklist for DRC Review

The following is a list of regulations pertaining to establishment of functional landscaping for DRC Review. This list is compiled from Article VIII, Functional Landscaping of the City of Sunrise Code. This list is not all-inclusive. It is the responsibility of the applicant to ensure all parts of the Landscape requirements of the City are fulfilled.

- General**
- A Registered Landscape Architect must seal landscape plans. A raised seal of the L.A. and contact information must be present.
 - Prior to beginning any landscape installation or tree preparation a permit from Planning and Development must be issued.
 - All plant material must be Florida #1 or better.

- Existing Trees**
- A survey of existing vegetation to be preserved in place, relocated or removed is required. This survey should identify the tree by common and botanical name. The height and spread of each tree along with a condition rating and disposition should be included in the survey chart.
 - Include a chart showing mitigation for each tree proposed to be relocated or removed or any tree missing from a previously approved landscape plan.

- Irrigation**
- Include a layout of the irrigation system, including identification of all water sources. Irrigation must provide 100% coverage, 50% overlap from a rust-free source with a rain sensor cut off control.

- Installation Heights**
- Sizes of trees at the time of installation must conform to approved City of Sunrise plant list, except that 25% of new trees must be specimen trees. Specimen trees are one-third larger at the time of planting.
 - Shrubs used for mid-level planting must be 24" x 24" at planting.
 - Plants used for upper-level landscape should be 30" tall at the time of planting.
 - Low-level material should be 18" or less at planting.

Perimeter

- In all Residential multifamily and all Business, Industrial and Community Facilities a landscaped berm is required adjacent to the street rights-of-way.
- A berm and wall is required where residential developments abut a street right-of-way or designated open space.

Parking

- Head-to-head parking spaces must be separated by an 8 feet wide green space (not including curbing) and a tree is required every 25 feet.
- Soil within finger islands or abutting vehicular use areas must be excavated to a depth of 30 inches.
- No more than 8 parking spaces in a row are allowed. A minimum 8-ft landscaped island (not including curbing) shall be provided separating rows of parking.
- A finger island containing a tree is required to divide parking spaces in groups of eight.
- Wheelstops are required 18" from the edge of landscaped areas.

Pedestrian Zone & Foundation Planting Area

- Pedestrian Zone is a setback from any building facing parking, drive or residential district.
- The Foundation Planting Area is part of the Pedestrian Zone (typically closes to the building). The Foundation Planting Area may not be less than 8' in width.
- The Pedestrian Zone may not be less than 10' in width.
- The overall minimum size of the Pedestrian zone is covered in Section 16-169 (d).
- Pedestrian Zone requires one tree per 30' and the size at installation is covered in section 16-169(d)(3).

Entry Feature

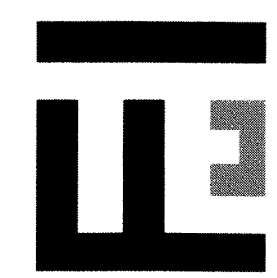
- Entry Feature Landscaping should consist of Trees and Upper, Mid & Low level landscape.
- The length of an Entry Feature along a roadway should be equal to the width of the abutting Right-of-Way.
- An Entry Feature extends into the property to an intersecting drive or parking spaces of a parking lot.

Single Family Homes

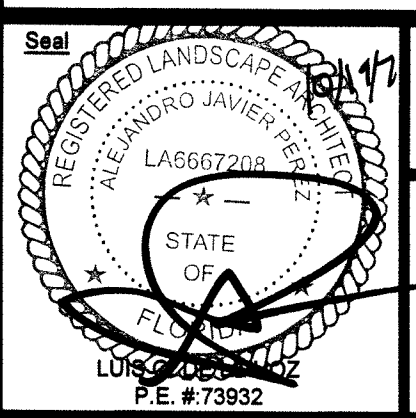
- *In general.* A minimum of 4 trees should be planted per lot except in RS-7 where only 3 trees per lot are required.
- A minimum of 15 shrubs is required.
- Entire lot should be covered with St. Augustine grass.

HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
 PARCEL ID No. 4941 20 04 0086

LANDSCAPE CALCULATIONS



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Date: 10-04-2021

Drawing No.: L0-02



STREET TREE - 16' HEIGHT
TAXODIUM DISTICHUM
BALD CYPRESS



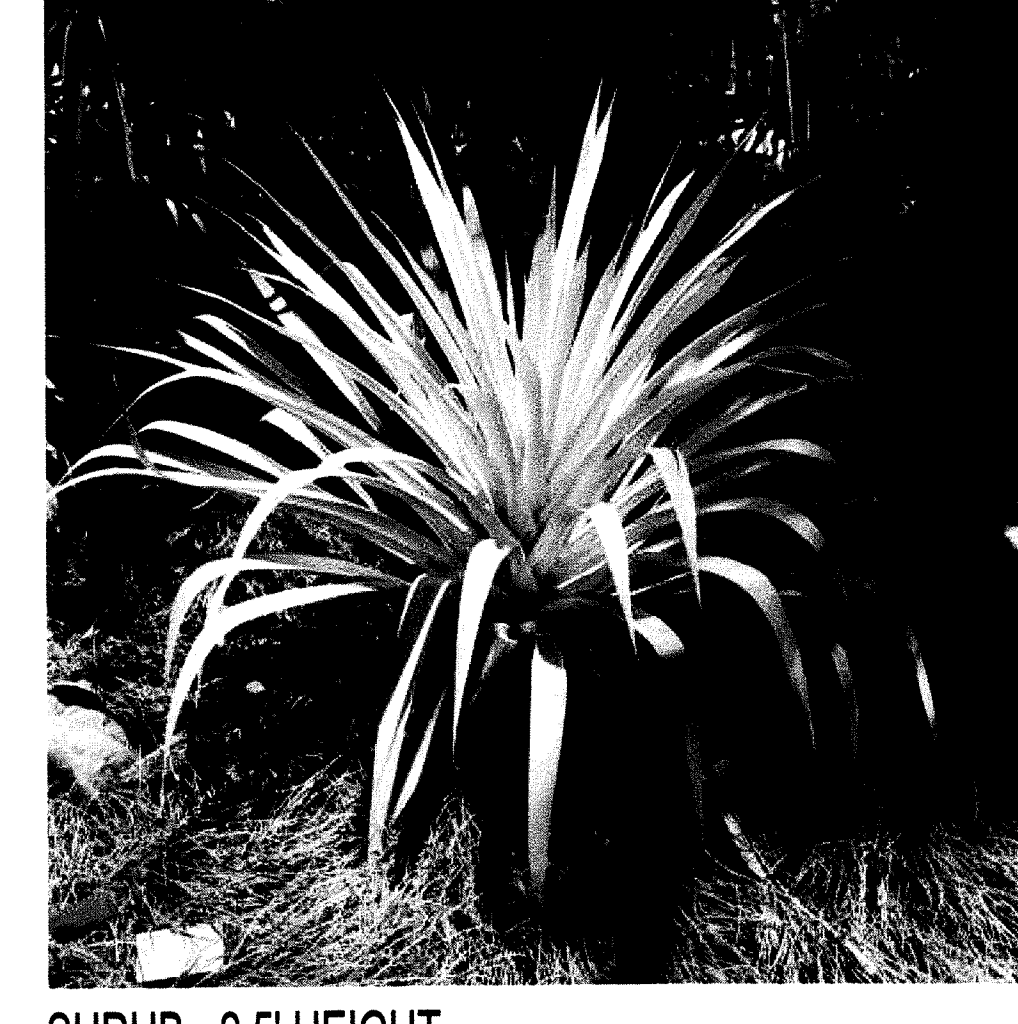
TREE - 12' HEIGHT
ANNONA GLABRA
POND APPLE



TREE - 12' HEIGHT
ILEX CASSINE
DAHOON HOLLY



TREE - 14' HEIGHT
TAXODIUM ASCENDENS
POND CYPRESS



SHRUB - 2.5' HEIGHT
ALCANTAREA ODORATA
SILVER BROMELIAD



SHRUB - 4' HEIGHT
MYRICA CERIFERA
WAX MYRTLE



SHRUB - 1.5' HEIGHT
NEPHROLEPIS BISERRATA
SWORD FERN



SHRUB - 2' HEIGHT
PSYCHOTRIA NERVOSA
WILD COFFEE



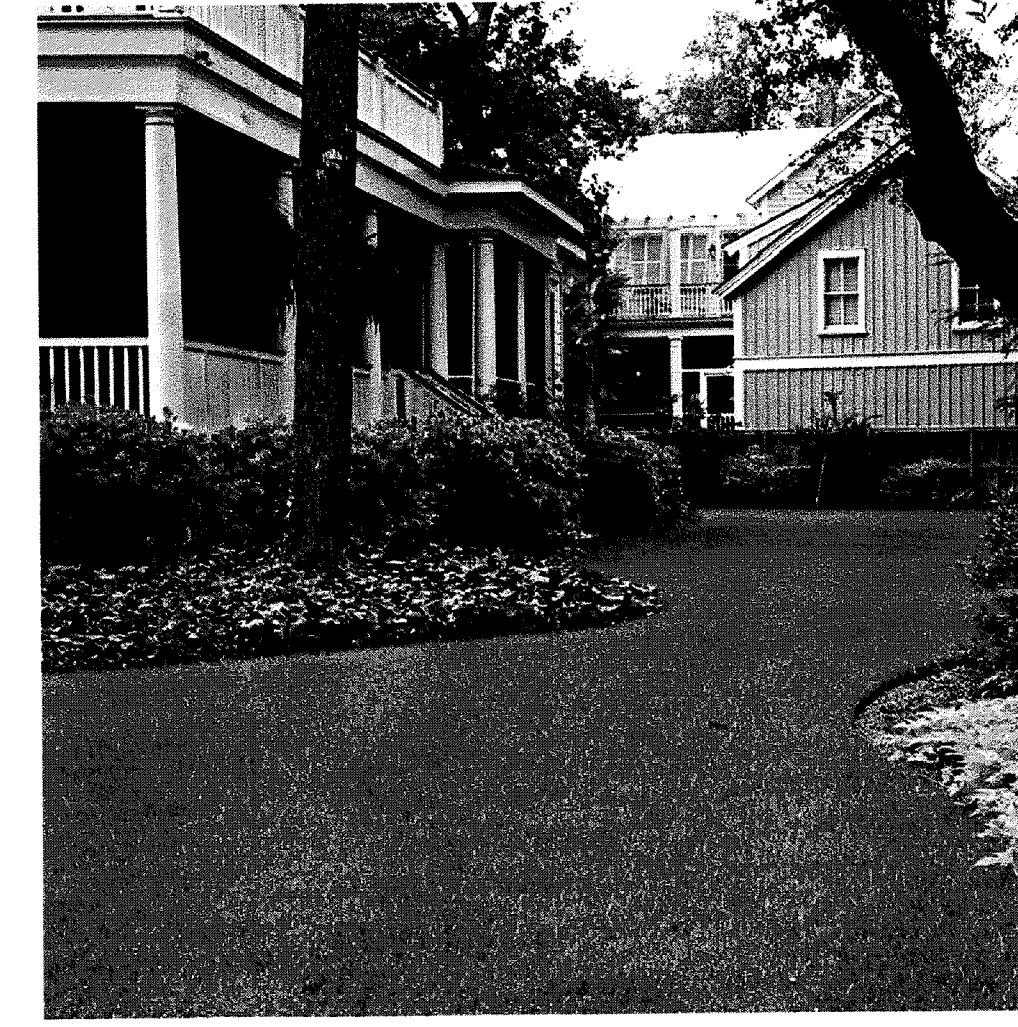
SHRUB - 2.5' HEIGHT
SERENOA REPENS 'CINEREA'
SILVER SAW PALMETTO



GROUNDCOVER - 1' HEIGHT
NEPHROLEPIS EXALTATA
BOSTON FERN



GROUNDCOVER - 1' HEIGHT
PEPEROMIA OBTUSIFOLIA
BABY RUBBER PLANT



SOD
STENOTAPHRUM SECUNDATUM 'FLORITAM'
ST. AUGUSTINE FLORITAM

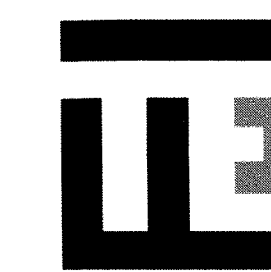


MULCH
TYPE: MINI PINE BARK
COLOR: NATURAL

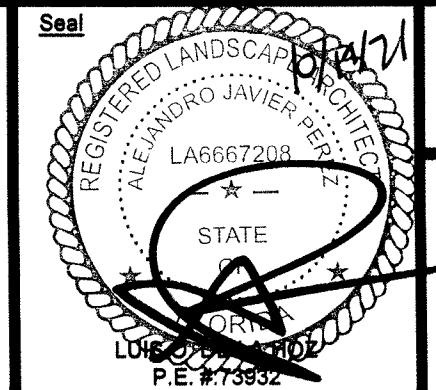
HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086

Sheet Title:

LANDSCAPE IMAGES

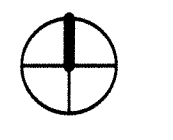


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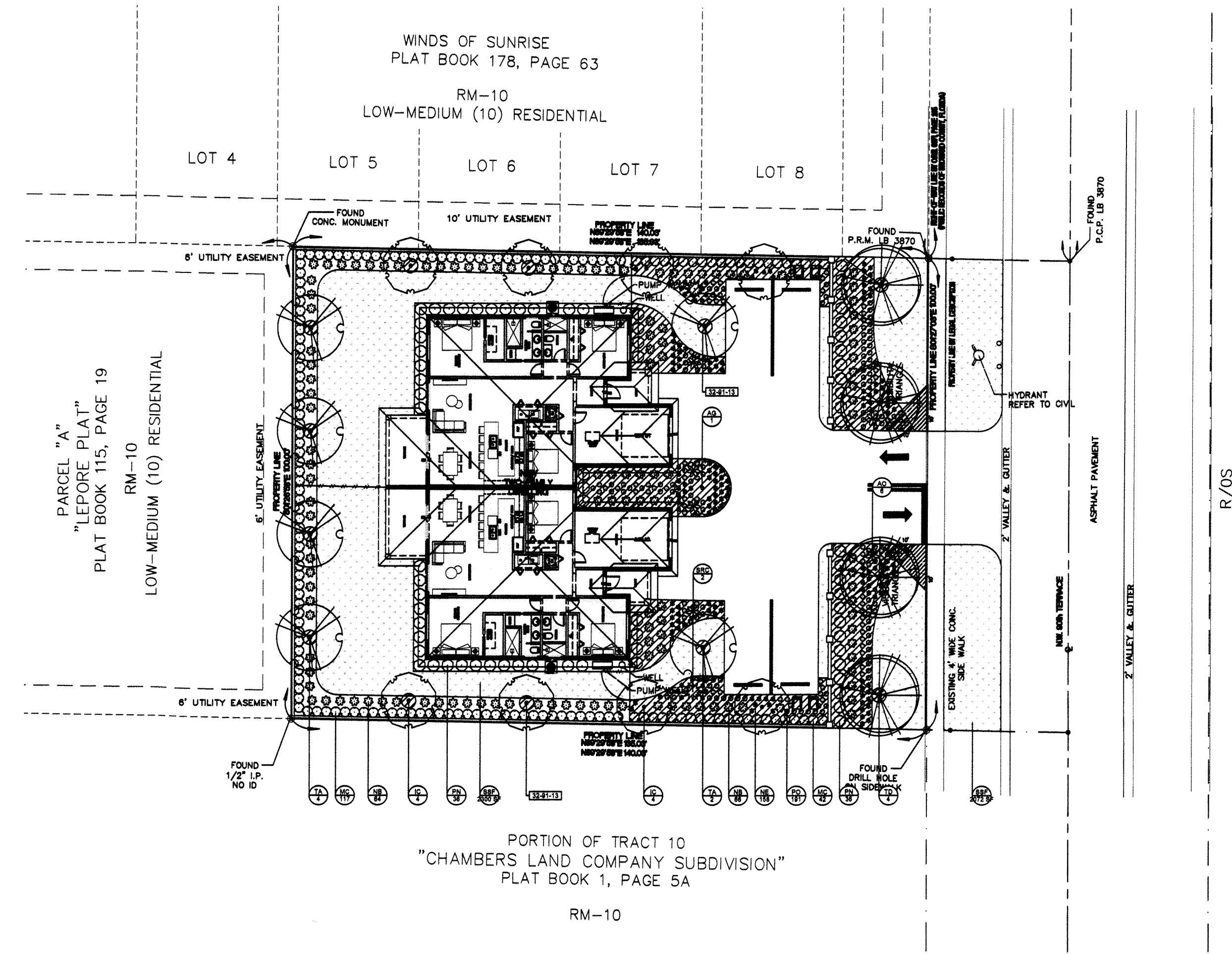


Date
10-04-2021

Drawing No.
L0-03



LANDSCAPE SCHEDULE			
SYMBOL	CODE	DESCRIPTION	QTY
	32-91-13	32 EXTERIOR IMPROVEMENTS ITEM: Mulching APPLICATION: Planting beds TYPE: Mini Pine Bark Nuggets	2,090 sf



TREE SCHEDULE										
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT
	TD	4	Taxodium distichum	Bald Cypress	16'	8'	4"	5'	Yes	Yes
	AG	1	Annona glabra	Pond Apple	12'	6'	2"	M1	Yes	Yes
	IC	8	Ilex cassine	Dahoon Holly	12'	6'	2"	3'	Yes	Yes
	TA	6	Taxodium ascendens	Pond Cypress	14'	7'	3"	4'	Yes	Yes

SHRUB & GROUNDCOVER SCHEDULE										
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	AO	6	Alcantarea odorata	Silver Bromeliad	2.5'	3'	15G	No	Yes	
	MC	150	Myrica centera	Wax Myrtle	4'	2'	7G	Yes	Yes	
	NB	130	Nephrolepis bisserata	Sword Fern	1.5'	2'	3G	Yes	Yes	
	PN	72	Psychotria nervosa	Wild Coffee	2'	2'	3G	Yes	Yes	
	SRC	2	Serenoa repens var. cinerea	Silver Saw Palmetto	2.5'	3'	15G	Yes	Yes	
GROUNDCOVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	NE	158	Nephrolepis exaltata	Boston Fern	1'	1'	1G	Yes	Yes	
	PO	191	Peperomia obtusifolia	Baby Rubber Plant	1'	1'	1G	Yes	Yes	
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	SSF	4,288 sf	Stenotaphrum secundatum 'Floriam'	St. Augustine Floriam	Flat			No	Yes	

NOTE: BUFFERING SHRUBS SHALL BE PLANTED AT A MAXIMUM AVERAGE SPACING OF TWENTY FOUR (24) INCHES ON CENTER.

NOTE:
WHERE DISCREPANCIES EXIST, THE CITY OF SUNRISE LAND DEVELOPMENT CODE ARTICLE VIII SHALL GOVERN.
ARTICLE VIII PROVIDES FUNCTIONAL LANDSCAPING REQUIREMENTS AND DESIGN STANDARDS FOR RESIDENTIAL AND NON-RESIDENTIAL DEVELOPMENTS, INCLUDING PLAN APPROVAL PROCEDURES (SEC. 16-162), MAINTENANCE REQUIREMENTS OF PLANTED MATERIALS (SEC. 16-164), PLANT MATERIAL REQUIREMENTS (SEC. 16-165), STREET TREES STANDARDS (SEC. 16-166), MINIMUM LANDSCAPE REQUIREMENTS IN RM-10, RM-16, RM-25, B-1, B-2, B-3, B-3A, B-4, B-5, B-6, I-1 AND CF ZONING DISTRICTS (SEC. 16-169), MINIMUM LANDSCAPING REQUIREMENTS IN RS-3, RS-5 AND RS-7 ZONING DISTRICTS (SEC. 16-170), AND TREE PRESERVATION REQUIREMENTS FOR PROPOSED REMOVAL OF TREES (SEC. 16-172).

ADDITIONAL PLANTING NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA NO. 1 OR BETTER
- THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO ANY EXCAVATION
- PLANTING SOIL SHALL BE 70% SAND 30% MUCK PULVERIZED
- ALL PLANT BEDS SHALL BE EXCAVATED TO A DEPTH OF (24) TWENTY FOUR INCHES AND BACKFILLED WITH PLANTING SOIL
- ALL SHRUBS, TREES AND GROUNDCOVER SHALL RECEIVE (2") TWO INCHES DEPTH OF MINI PINE BARK NUGGET MULCH UPON COMPLETION.
- GENERAL FERTILIZER SHRUBS, TREES AND GROUNDCOVER, LESCO 8-10-10 OR EQUAL SHALL BE APPLIED AT TIME OF PLANTING.
- ALL TREES TO BE GUARANTEED FOR (1) ONE YEAR, SHRUBS FOR (6) SIX MONTHS.
- IRRIGATION SYSTEM SHALL BE PROVIDED.

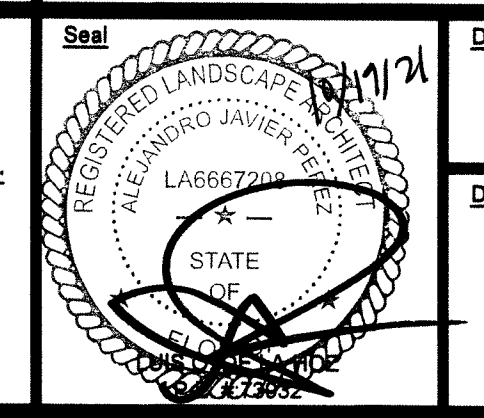
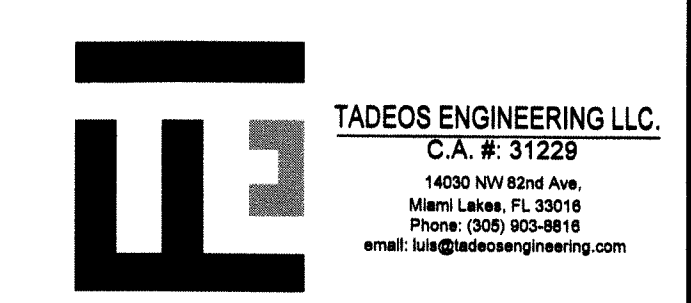
LANDSCAPE SET NOTE:

- REFER TO SHEET L0-00 FOR LANDSCAPE INDEX, L0-01 FOR LANDSCAPE NOTES, L0-02 FOR LANDSCAPE CALCULATIONS, L0-03 FOR LANDSCAPE IMAGES, L3-10 FOR LANDSCAPE SECTION, L4-10 FOR ENLARGEMENT PLAN, AND L5-10 FOR PLANTING DETAILS

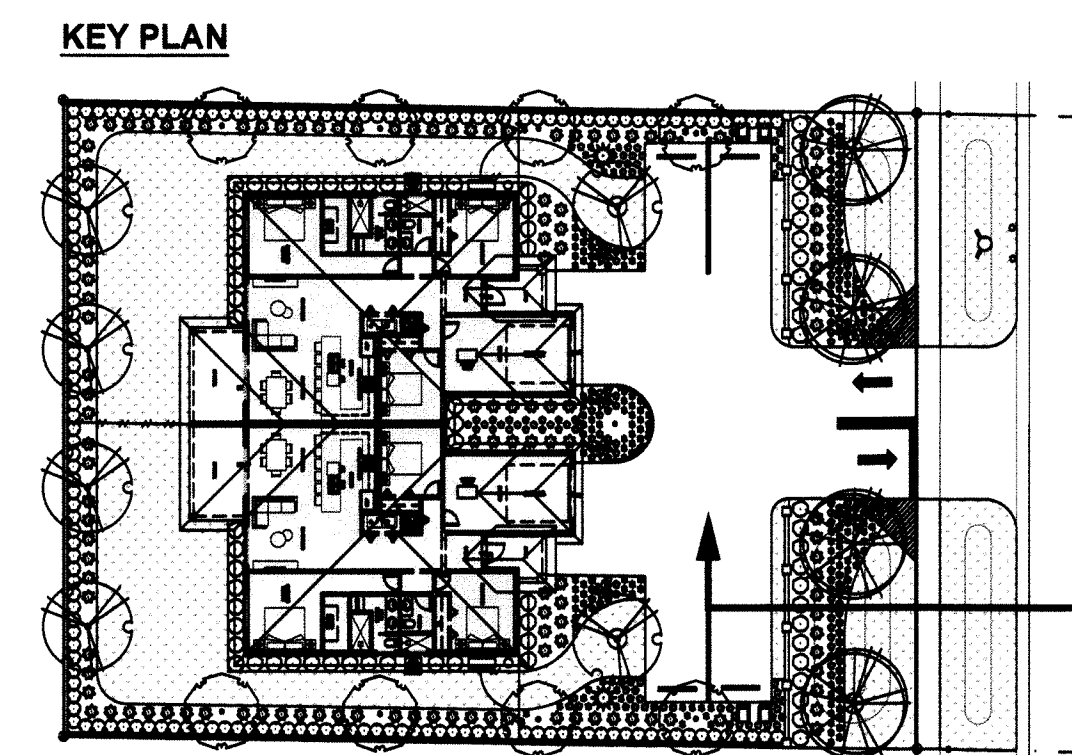
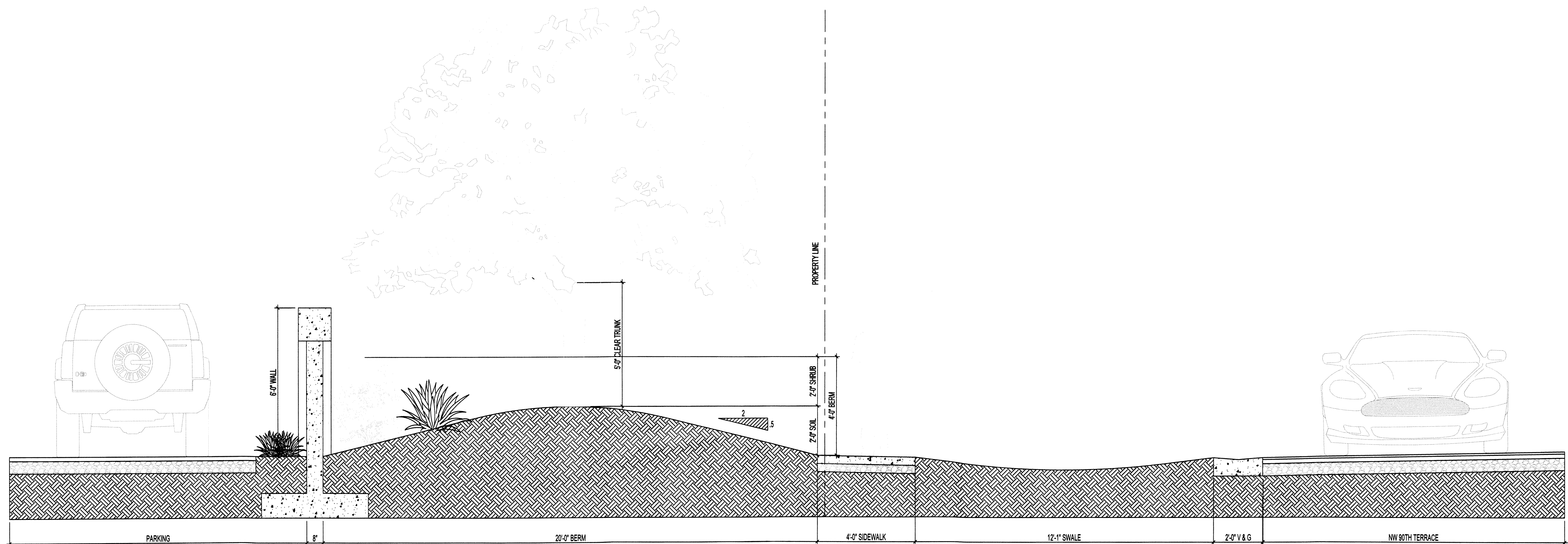
1 LANDSCAPE PLAN
SCALE: 1" = 20'-0"

HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086

LANDSCAPE PLAN



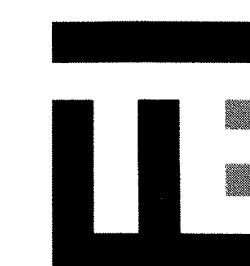
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Drawing No.: L1-10



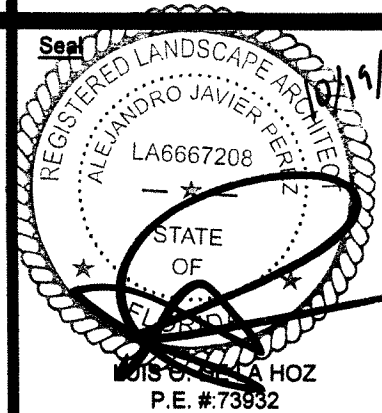
1 LANDSCAPE SECTION
SCALE: 1/2" = 1'-0"

HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086

LANDSCAPE SECTION



TADEOS ENGINEERING LLC.
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email: lis@tadeosengineering.com

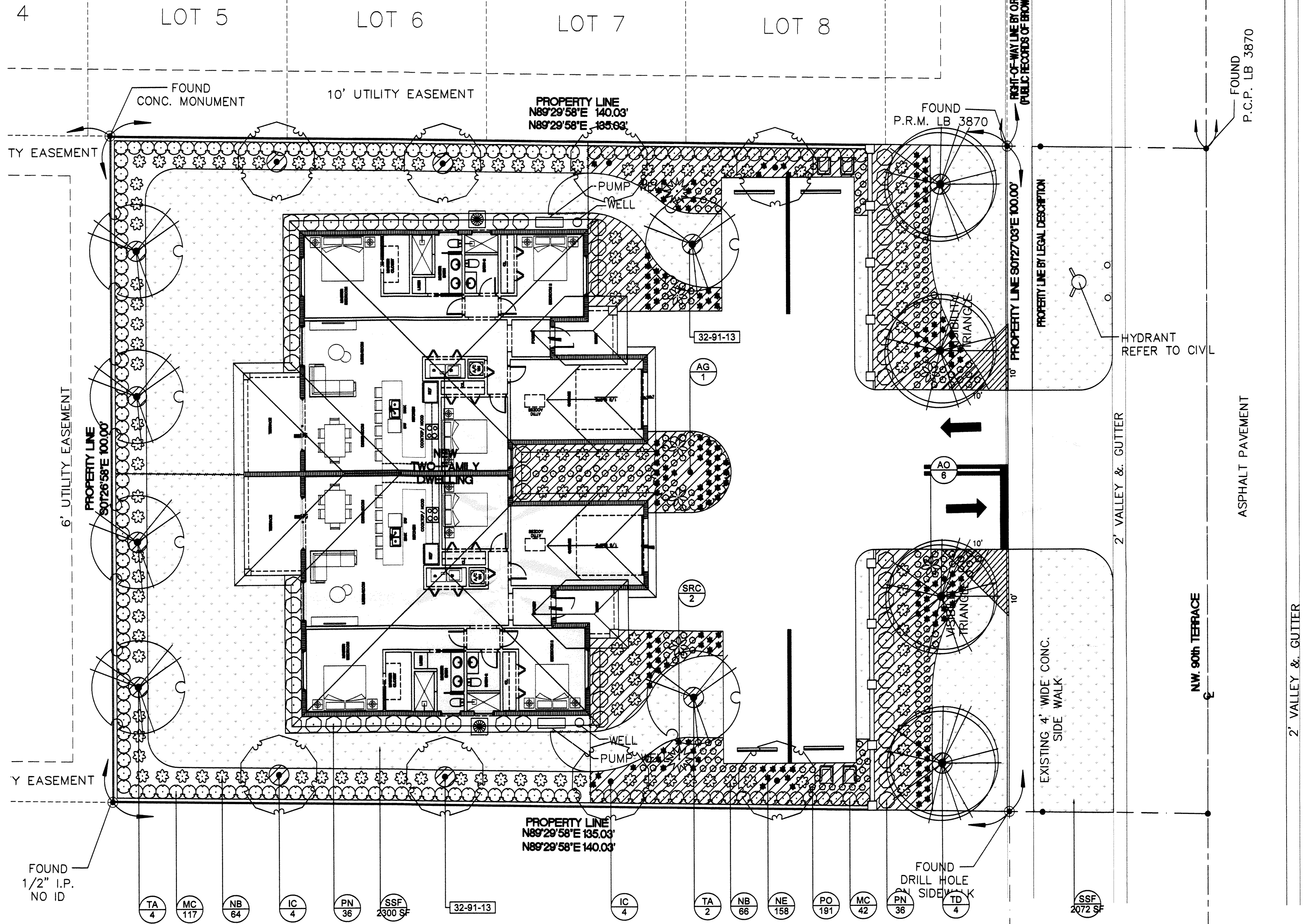


Date
10-04-2021

Drawing No.
L3-10

WINDS OF SUNRISE
PLAT BOOK 178, PAGE 63

RM-10
LOW-MEDIUM (10) RESIDENTIAL



PORTION OF TRACT 10
"CHAMBERS LAND COMPANY SUBDIVISION"
PLAT BOOK 1, PAGE 5A

LANDSCAPE SCHEDULE			
SYMBOL	CODE	DESCRIPTION	QTY
32 EXTERIOR IMPROVEMENTS			
	32-91-13	ITEM: Mulching APPLICATION: Planting beds TYPE: Mini Pine Bark Nuggets	2,090 SF

TREE SCHEDULE										
STREET TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT
	TD	4	Taxodium distichum	Bald Cypress	18'	8'	4"	5'	Yes	Yes
SITE TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT
	AG	1	Annona glabra	Pond Apple	12'	8'	2"	MIT	Yes	Yes
	IC	8	Ilex cassine	Dahoon Holly	12'	6'	2"	3'	Yes	Yes
	TA	5	Taxodium ascendens	Pond Cypress	14'	7'	3"	4'	Yes	Yes

SHRUB & GROUNDCOVER SCHEDULE										
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	AO	8	Acanthaceae odorata	Silver Bromeliad	2.5'	3'	15G	No	Yes	
	MC	159	Myrica caribaea	Wax Myrtle	4'	2'	7G	Yes	Yes	
	NB	130	Nephrolepis bisserata	Sword Fern	1.5'	2'	3G	Yes	Yes	
	PN	72	Psychotria nervosa	Wild Coffee	2'	2'	3G	Yes	Yes	
	SRC	2	Serenoa repens var. cinerea	Silver Saw Palmetto	2.5'	3'	15G	Yes	Yes	
GROUNDCOVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	NE	158	Nephrolepis exaltata	Boston Fern	1'	1'	1G	Yes	Yes	
	PO	191	Peperomia obtusifolia	Baby Rubber Plant	1'	1'	1G	Yes	Yes	
SOD	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	GAL	NATIVE	DROUGHT	
	SSF	4,288 SF	Stenotaphrum secundatum 'Floritam'	St. Augustine Floritam	Flat			No	Yes	

NOTE: BUFFERING SHRUBS SHALL BE PLANTED AT A MAXIMUM AVERAGE SPACING OF TWENTY FOUR (24) INCHES ON CENTER.

R/O'S
(Recreation and Open Space)

1 ENLARGEMENT PLAN
SCALE: 1" = 10'-0"

HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086

ENLARGEMENT PLAN



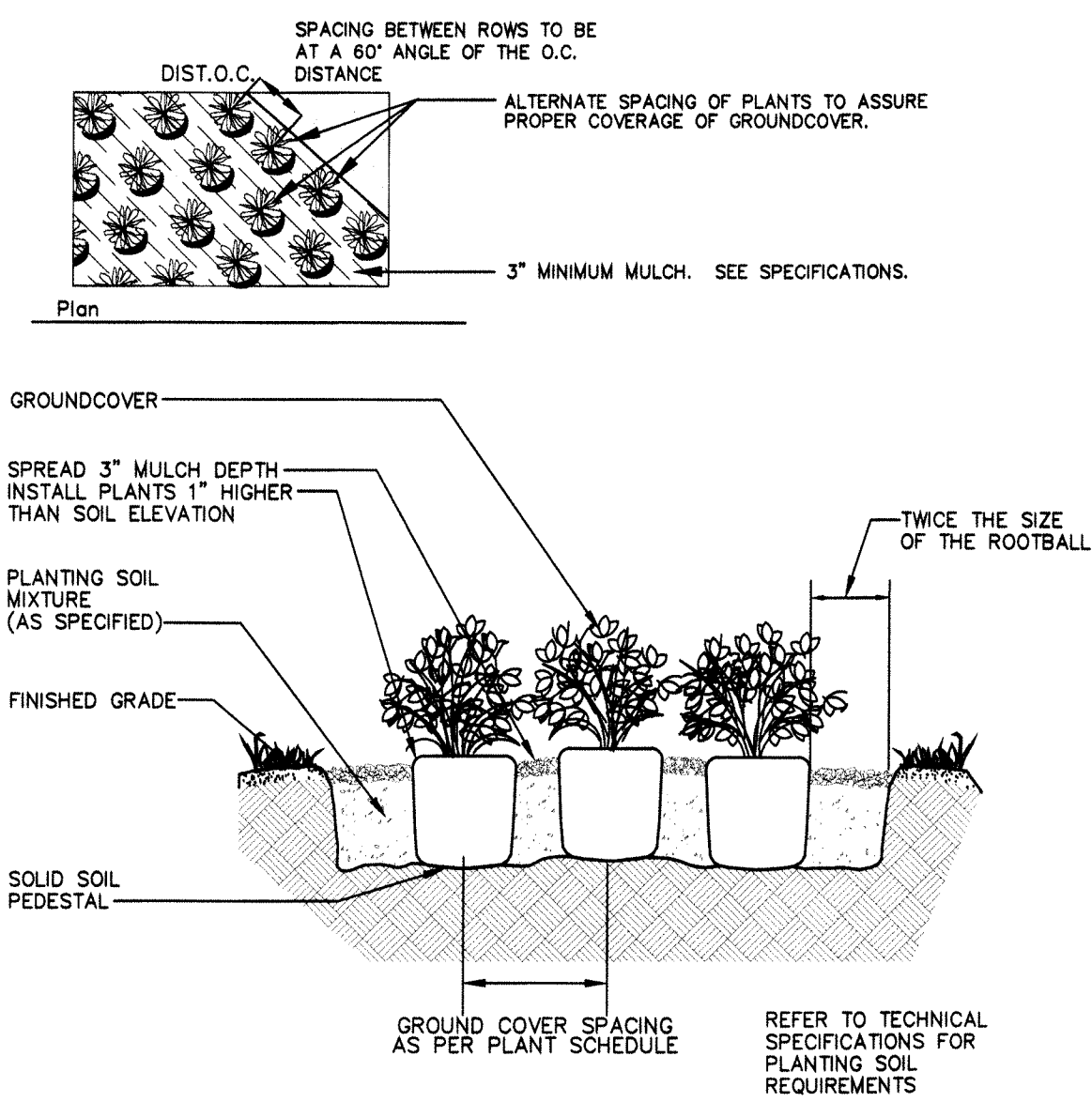
TADEOS ENGINEERING LLC.
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email: Lra@tadeosengineering.com



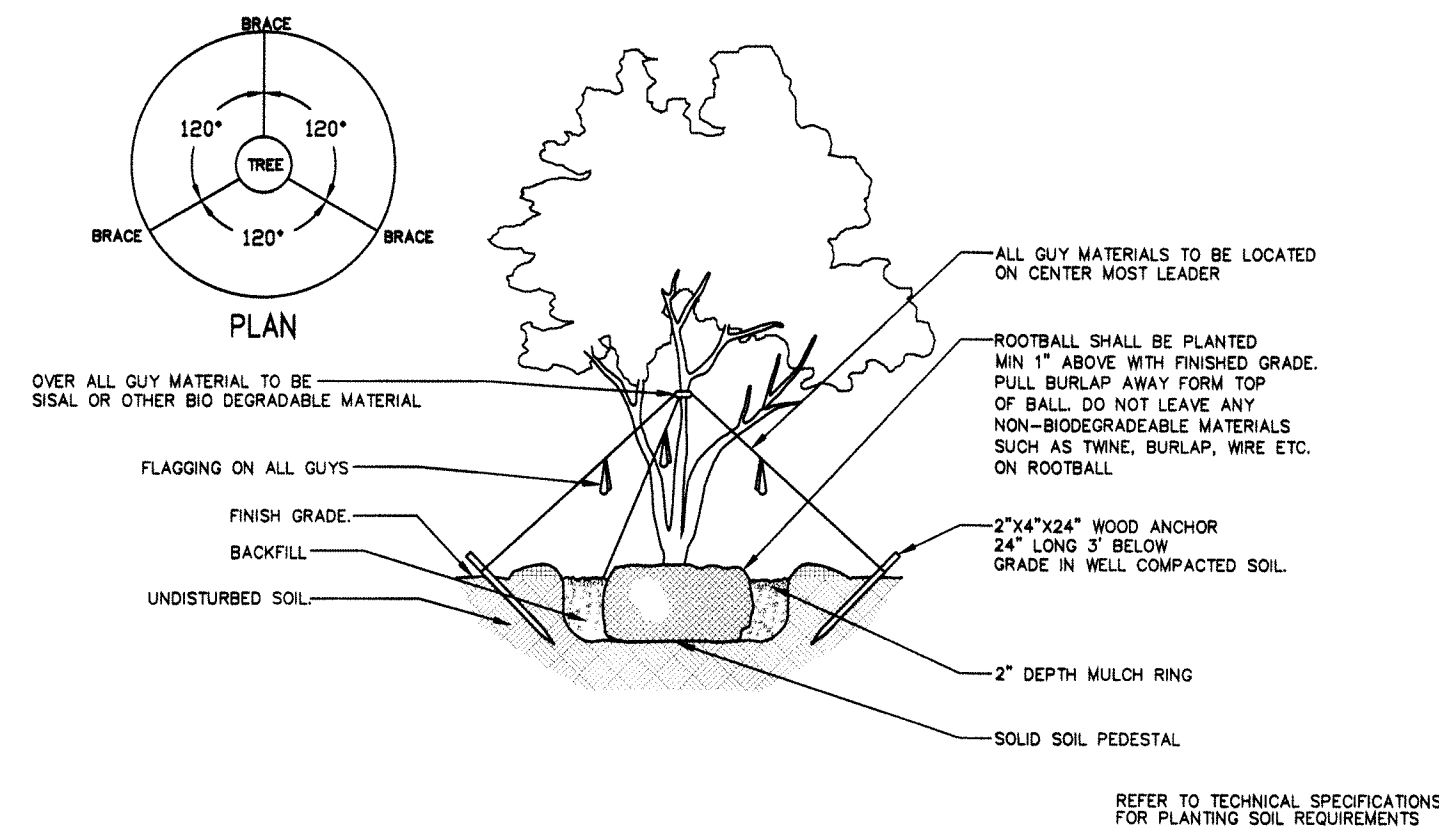
Date
10-04-2021

Drawing No.
L4-10

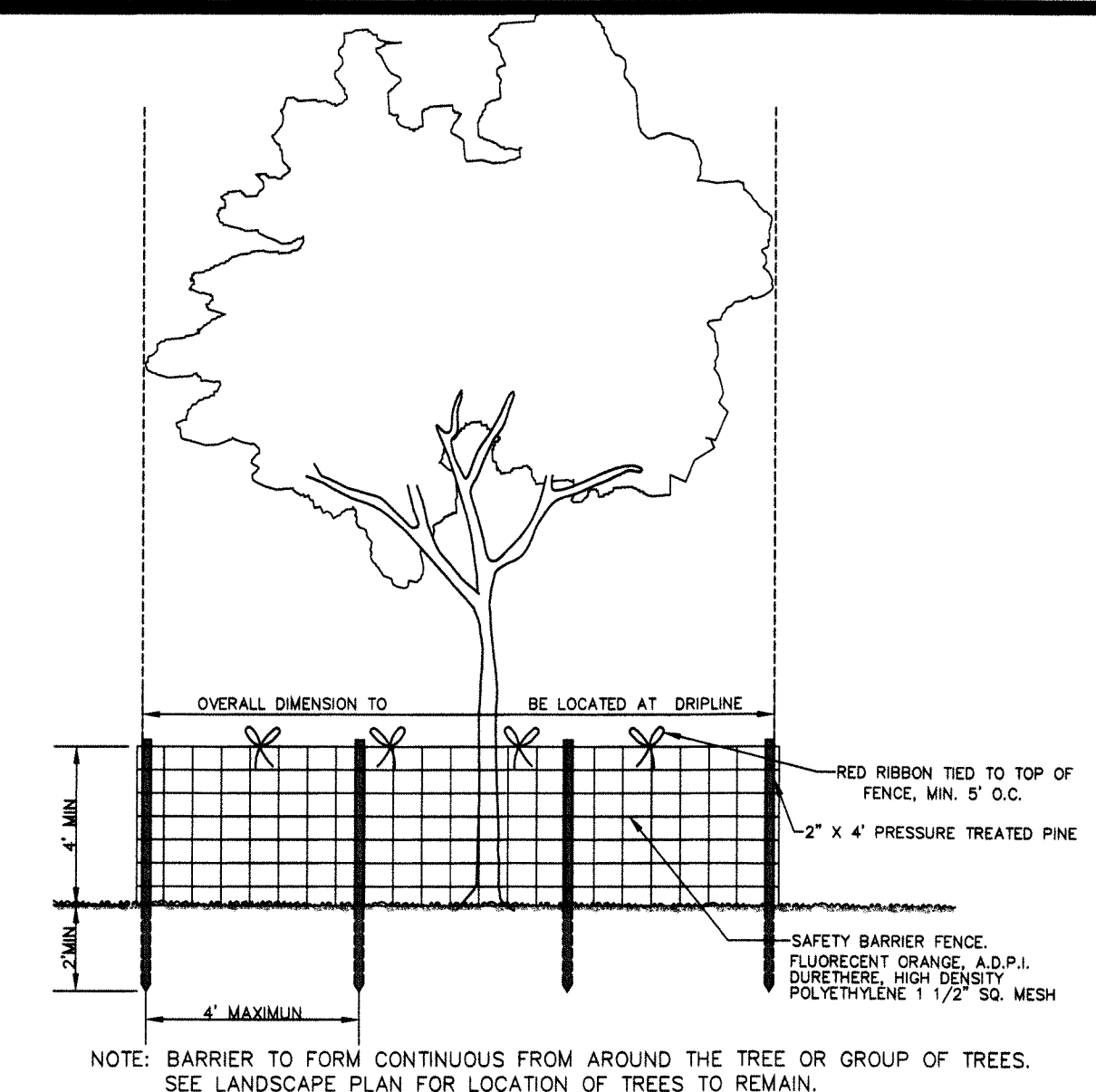
3/16" = 1'-0"



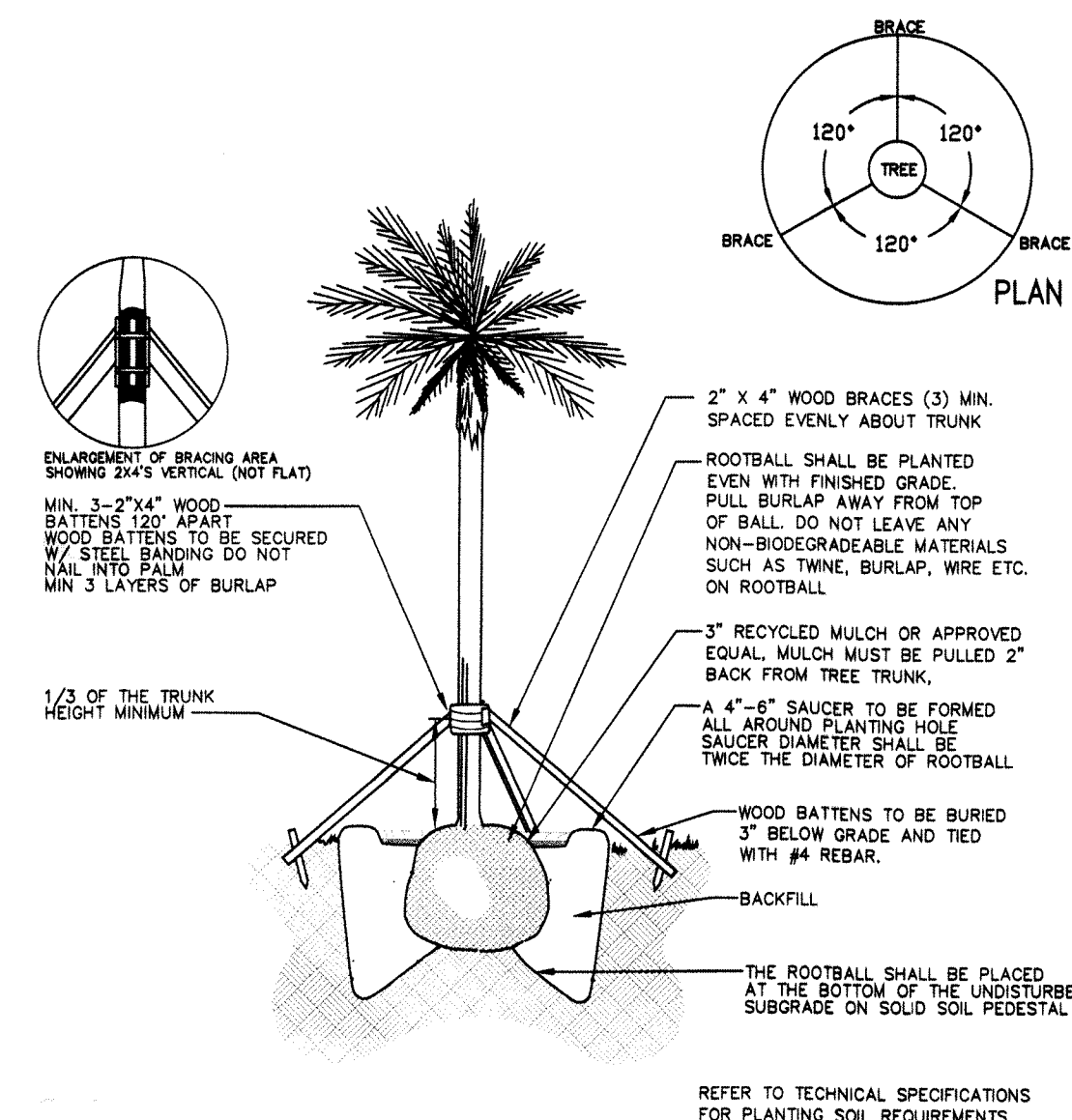
7 GROUNDCOVER PLANTING
SCALE: NTS



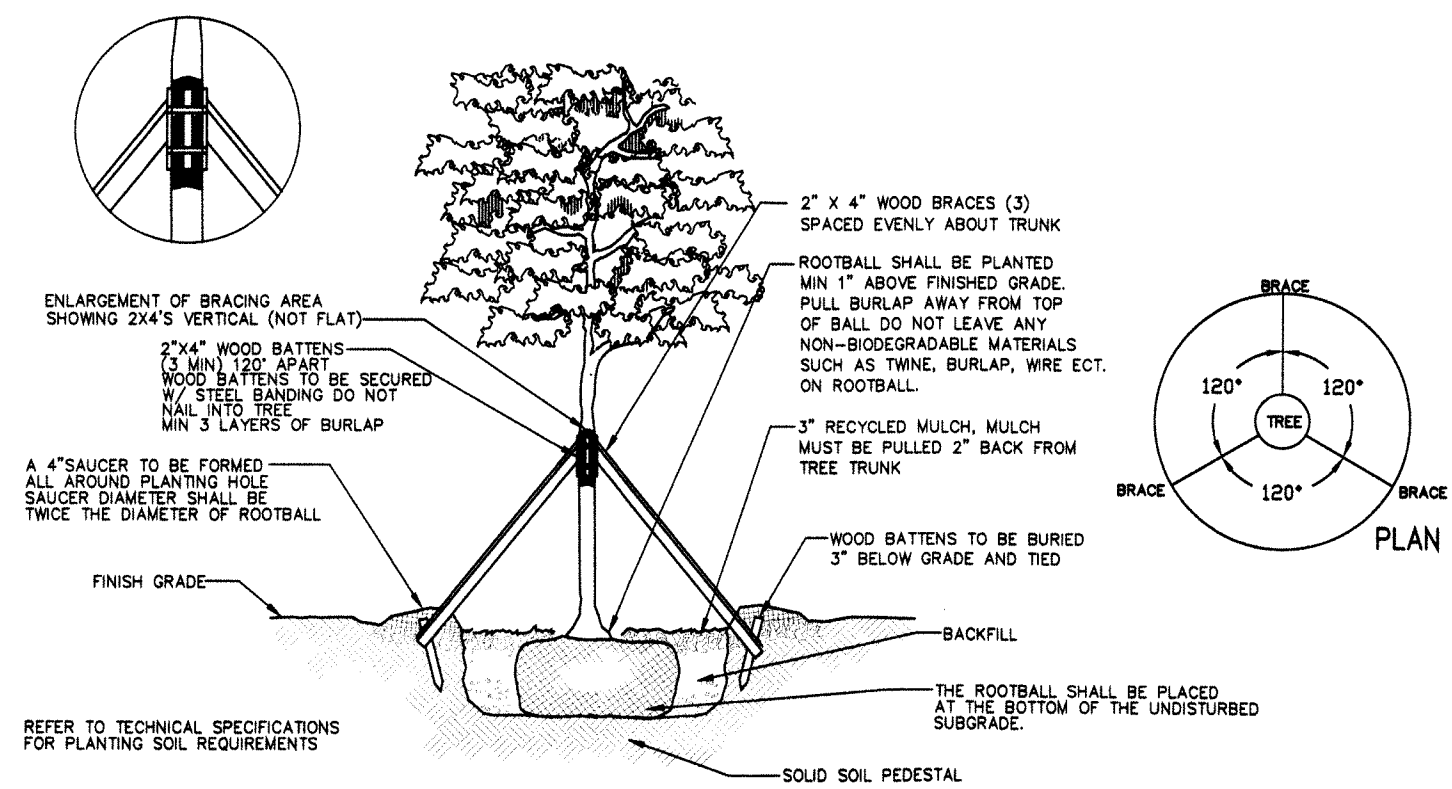
4 MULTI-TRUNK TREE PLANTING
SCALE: NTS



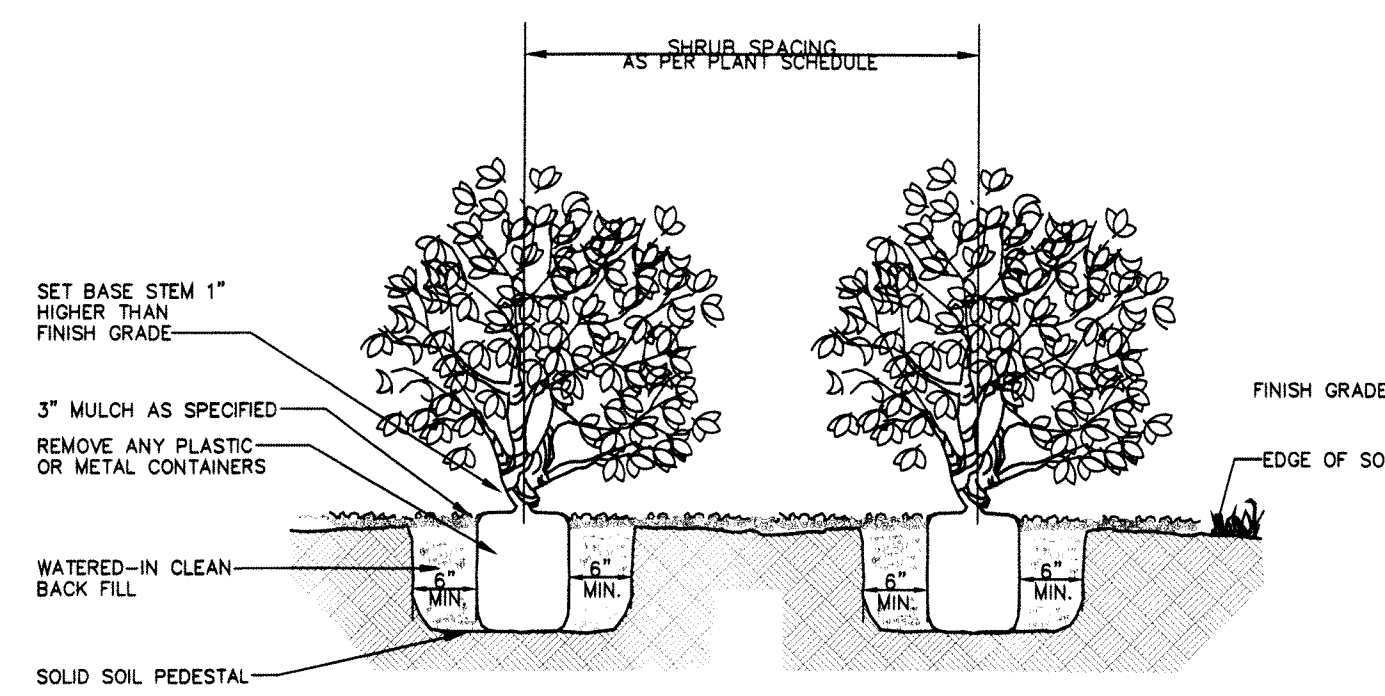
1 TREE PROTECTION
SCALE: NTS



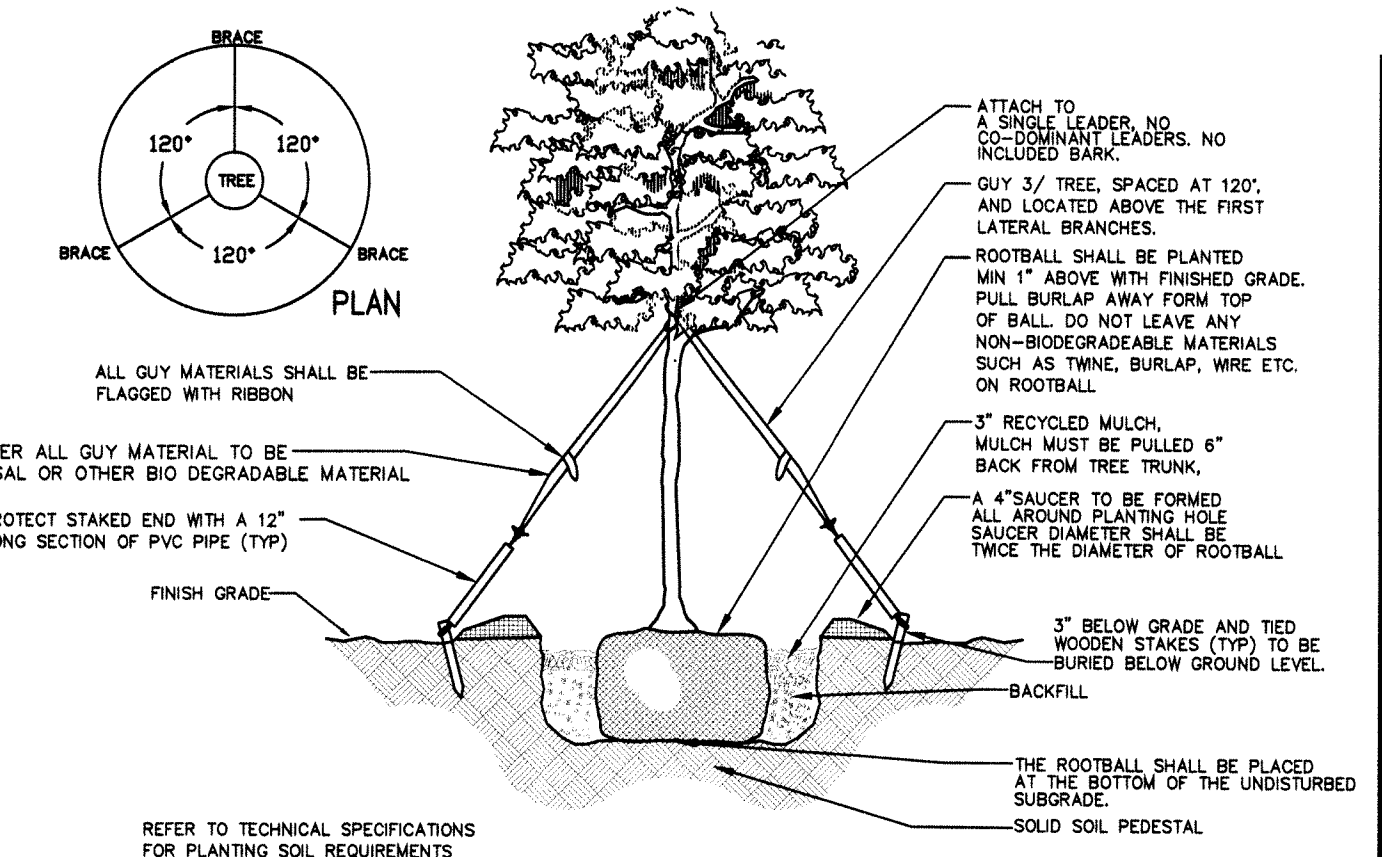
5 PALM PLANTING
SCALE: NTS



2 LARGE TREE PLANTING
SCALE: NTS



6 SHRUB PLANTING
SCALE: NTS



3 SMALL TREE PLANTING
SCALE: NTS

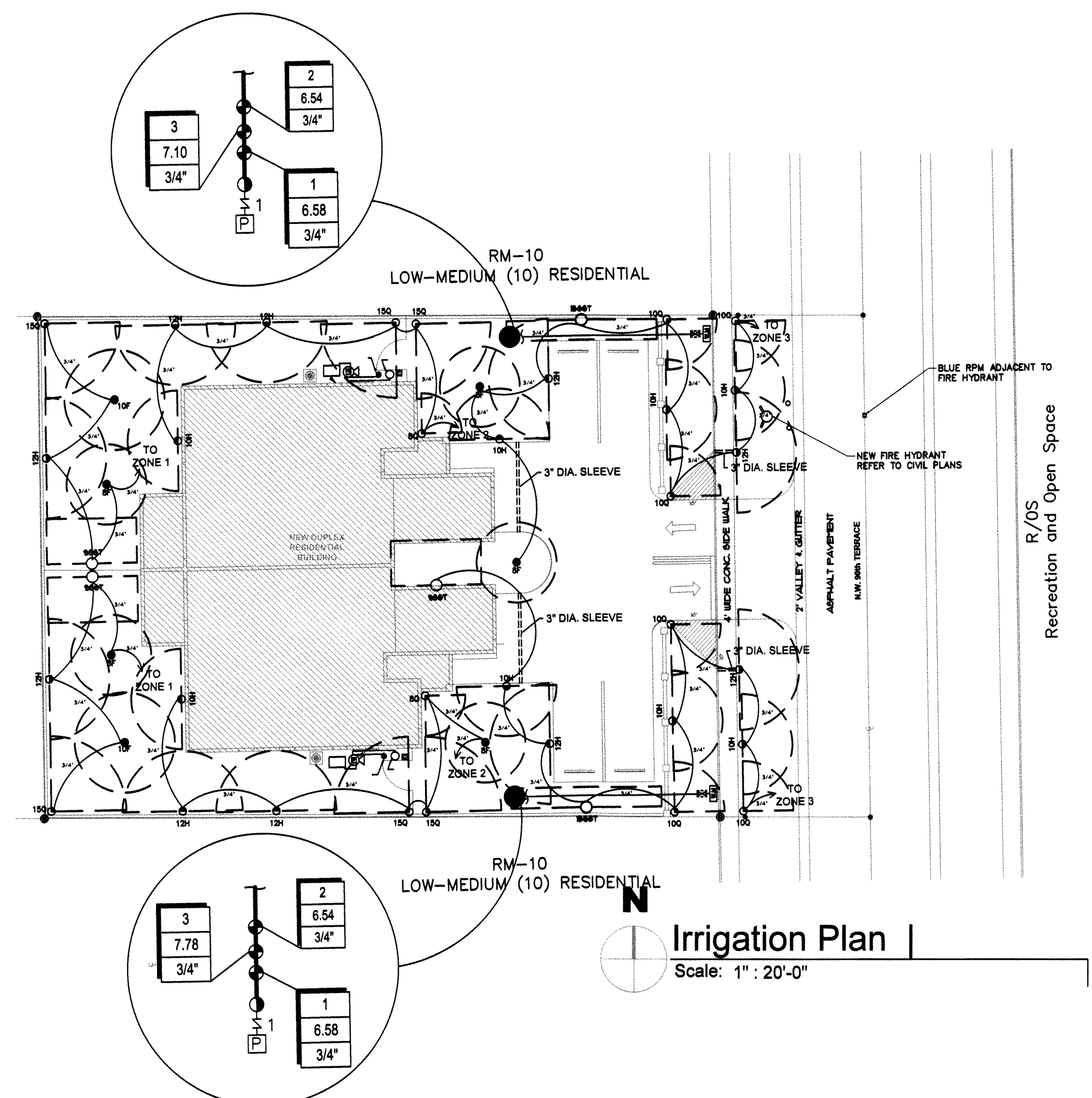
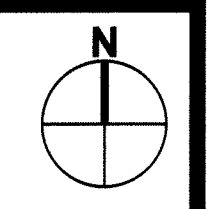
HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086

LANDSCAPE DETAILS

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Seal
REGISTERED LANDSCAPE ARCHITECT
ALEXANDRO JAVIER
LA6661008
STATE
P.E. # 73932

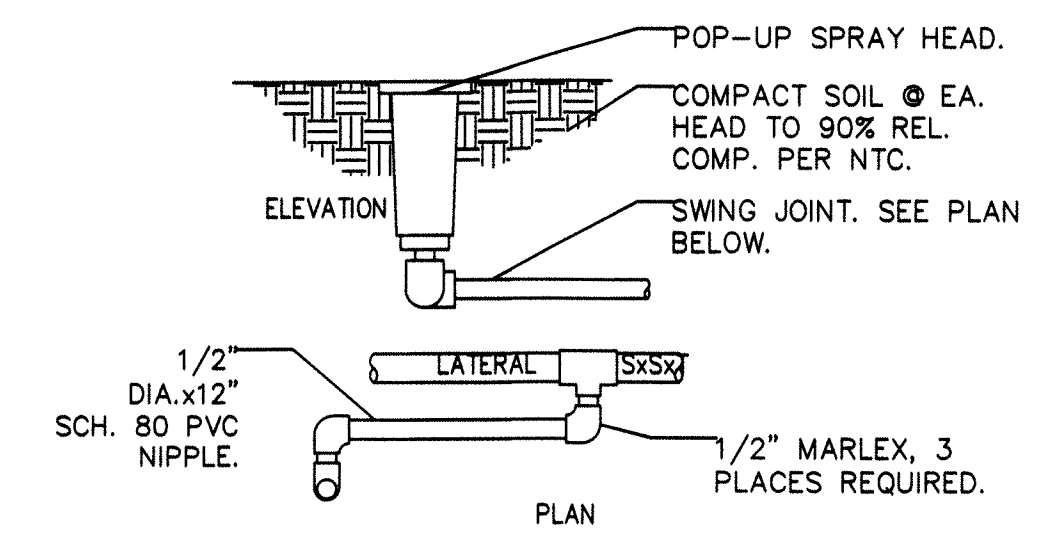
Date
10-04-2021
Drawing No.
L5-10



IRRIGATION NOTES

- IRRIGATION SYSTEM LAYOUT IS DIAGRAMMATIC. THE IRRIGATION CONTRACTOR WILL ADJUST THE FINAL SYSTEM INSTALLATION AND LAYOUT TO ACCOMMODATE SITE CONDITIONS AND PROVIDE OPTIMAL COVERAGE FOR LANDSCAPE PLANTS WITHIN THE PROJECT SITE LIMITS.
- POINT OF CONNECTION---IRRIGATION CONTRACTOR TO CONNECT TO NEW IRRIGATION METER FROM REUSED WATER SERVICE FEED. CONTRACTOR SHALL PROVIDE NEW BACKFLOW PREVENTION DEVICE AND 1" BRASS GATE VALVE AS SPECIFIED IN SCHEDULE DOWNSTREAM FROM METER AND BRASS GATE VALVE UPSTREAM FROM METER BETWEEN METER AND POINT OF CONNECTION TO REUSED WATER SERVICE FEED. ALL VALVES SHALL BE INSTALLED IN FIBERGLASS OR EQUAL IN GROUND BOX SPECIFICALLY DESIGNED FOR IRRIGATION USE. SEE CIVIL UTILITY DRAWINGS FOR METER AND EXISTING LINE DETAILS AND SPECIFICATIONS.
- SIZE ALL PIPES, VALVES, AND NOZZLES/NOZZLE TYPES PER PLAN. FROM ZONE VALVES STEP DOWN LATERAL PIPE SIZES AS REQUIRED TO COMPENSATE FOR DOWNSTREAM FLOW.
- ALL MAIN LINES SHALL BE SCHEDULE 40 PVC AND OF PURPLE PIPE. PROVIDE SCHEDULE 80 SLEEVES UNDER ALL PAVEMENT CROSSINGS MINIMUM TWICE DIAMETER OF PIPE IT IS SLEEVING AND AS NOTED ON PLAN. ALL SLEEVES SHALL BE BURIED A MIN. 24" DEEP TO TOP OF PIPE UNLESS OTHERWISE STATED. ALL ZONE VALVE WIRES SHALL BE PLACED INSIDE GREY UL RATED CONDUIT WHEN CROSSING PAVEMENTS AND HARDSCAPE SURFACES.
- IRRIGATION SYSTEM SHALL BE CAPABLE OF PRODUCING A MINIMUM OF 30 P.S.I. MIN. AT THE BASE OF EACH IRRIGATION HEAD SIMULTANEOUSLY WITHIN EACH ZONE, AND ALL HEADS SHALL HAVE AN INTERNAL PRESSURE REGULATING DEVICE AS SPECIFIED IN RAINBIRD S.A.M. MODEL NUMBERS ON IRRIGATION SCHEDULE.
- IRRIGATION CONTRACTOR WILL BE RESPONSIBLE FOR ALL EQUIPMENT AND MATERIALS NECESSARY FOR A COMPLETE AND OPERABLE IRRIGATION SYSTEM.
- INSTALLATION IS TO INCLUDE COMPLIANCE WITH ALL APPLICABLE CODES, PRESSURE TESTING OF COMPLETE MAINLINE NETWORK, AND ALL HARDWARE AND CONNECTIONS NECESSARY INCLUDING WATER AND ELECTRICAL.
- THE INTENDED LOCATION FOR THE IRRIGATION CONTROLLER IS OUTSIDE THE BUILDING'S AREA AND COORDINATION OF LOCATION AND ELECTRICAL SUPPLY/CONNECTION SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED OUTSIDE IN AN INCONSPICUOUS LOCATION TO OVERRIDE CONTROLLER DURING RAIN EVENTS. THE RAIN SENSOR WILL BE LOCATED AND MOUNTED TO THE ROOF OF BUILDING OR IN AN ALTERNATE LOCATION OUT OF VIEW FROM PASSERSBY. RAIN SENSOR MUST BE FREE OF CANOPY COVER IN ORDER TO WORK PROPERLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UTILITY AGENCIES TO VERIFY UTILITY LOCATIONS ON THE PROPERTY SITE. THE CONTRACTOR SHOULD VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. THE IRRIGATION SYSTEM HAS BEEN DESIGNED TO COMPLY WITH XERISCAPE PRINCIPLES AS SPECIFIED BY THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT. THE IRRIGATION CONTRACTOR WILL GET APPROVAL FROM THE LANDSCAPE ARCHITECT FOR ANY CHANGES TO THE SYSTEM LAYOUT OR DESIGN THAT MAY AFFECT THE INITIAL DESIGN REQUIREMENTS OR OVERALL PERFORMANCE OF THE SYSTEM.
- ALL VALVES, MANUAL AND AUTOMATIC, SHALL BE INSTALLED IN A FIBERGLASS BOX MANUFACTURED FOR IRRIGATION PRODUCTS AND SHALL BE ARRANGED FOR EASY ADJUSTMENT AND REMOVAL. TYPICALLY, ELECTRONIC ZONE VALVES WILL BE INSTALLED IN 12"X18" BOXES, MANUAL VALVES IN 8" CIRCULAR BOXES. VALVE BOXES SHALL BE FLUSH WITH SURROUNDING GRADES. THE FLOW ADJUSTMENT FEATURE OF EACH VALVE SHALL BE UTILIZED TO BALANCE OPERATING PRESSURES THROUGHOUT THE SYSTEM.
- WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURE'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- ALL RECYCLED/REUSED WATER IRRIGATION SYSTEM COMPONENTS, I.E. REMOTE CONTROL VALVE FLOW CONTROL HANDLES, DRIP CAPS, VALVE BOX LIDS, SPRINKLER HEAD CAPS ETC. SHALL BE NON-POTABLE (NP) TYPE, PURPLE IN COLOR.
- ALL BURIED RECYCLED STORMWATER LINES (PRESSURE/NON-PRESSURE) SHALL BE PURPLE COLORED PIPE WITH CONTINUOUS WORDING "CAUTION RECYCLED WATER" PRINTED ON OPPOSITE SIDES OF THE PIPE. THE USE OF CONTINUOUS LETTERING ON 3" MINIMUM WIDTH PURPLE TYPE WITH ONE INCH BLACK OR WHITE CONTRASTING LETTERING BEARING THE CONTINUOUS WORDING "CAUTION RECYCLED WATER" PERMANENTLY AFFIXED AT TEN FOOT INTERVALS ATOP ALL HORIZONTAL PIPING, LATERALS AND MAINS IS AN ACCEPTABLE ALTERNATIVE TO THE USE OF PURPLE PIPE. IDENTIFICATION TAPE SHALL EXTEND TO ALL VALVE BOXES AND/OR VAULTS, EXPOSED PIPING ETC.

SPRAY HEAD							
SYM.	MFGR.	MODEL	NOZZLE	P.S.I.	G.P.M.	RADIUS	ARC
☉	RAINBIRD	1806-SAM-MPR	5Q	30	0.10	5'	90
☉	RAINBIRD	1806-SAM-MPR	5T	30	0.13	5'	135
☉	RAINBIRD	1806-SAM-MPR	5H	30	0.20	5'	180
☉	RAINBIRD	1806-SAM-MPR	8Q	30	0.26	8'	90
☉	RAINBIRD	1806-SAM-MPR	8H	30	0.52	8'	180
☉	RAINBIRD	1806-SAM-MPR	10Q	30	0.39	10'	90
☉	RAINBIRD	1806-SAM-MPR	10H	30	0.79	10'	180
☉	RAINBIRD	1806-SAM-MPR	10F	30	1.58	10'	360
☉	RAINBIRD	1806-SAM-MPR	12Q	30	0.65	12'	90
☉	RAINBIRD	1806-SAM-MPR	12H	30	1.30	12'	180
☉	RAINBIRD	1806-SAM-MPR	15Q	30	0.92	15'	90
☉	RAINBIRD	1806-SAM-MPR	15H	30	1.85	15'	180
☉	RAINBIRD	1806-SAM-MPR	15SST	30	1.21	15'	180
☉	RAINBIRD	1806-SAM-MPR	9SST	30	1.73	15'	180
☉	RAINBIRD	1806-SAM-MPR	5CST	30	0.5	5'	180
●	RAINBIRD	3500-S-FC-SAM	R18F	30	0.77	18'	360



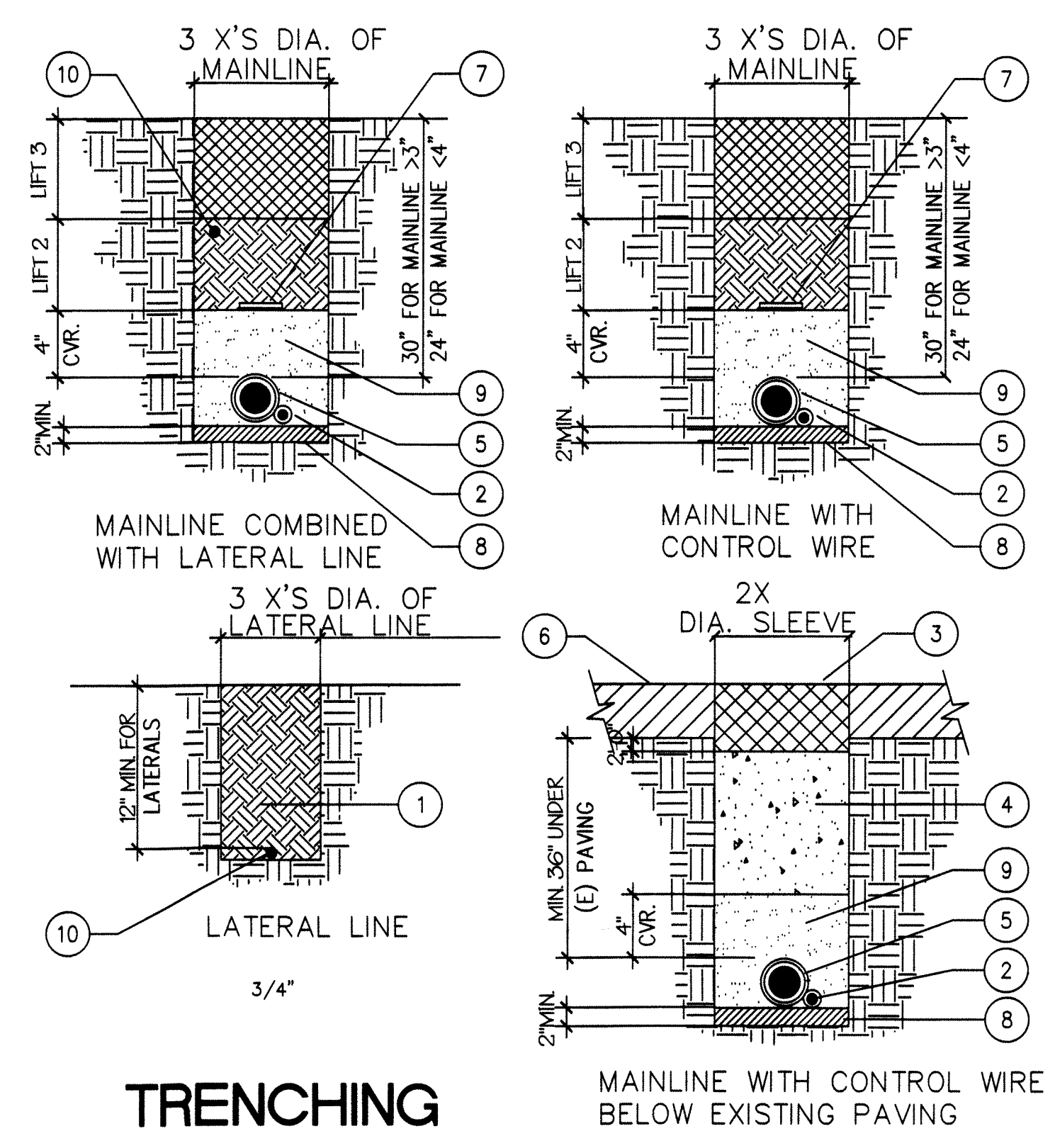
NOTES:

- PLACE ALL HEADS 1/4" ABOVE FINISH GRADE AT INITIAL INSTALLATION. SET HEADS 3" AWAY FROM WALKS, CURBS, OR MOW STRIPS.
- ALL PIPE THREADS ON SWING JOINT SHALL BE COATED WITH RECTORSAL T PLUS 2 TEFLON PIPE COMPOUND OR APPROVED EQUAL BEFORE ASSEMBLY. DO NOT USE PIPE COMPOUND AND TAPE ON SWING JOINT THREADS. TIGHTEN THREADS UNTIL MODERATELY SNUG, DO NOT OVERTIGHTEN THREADS.

POP-UP SPRAYER

NOTE:

- ALL POP UP HEADS MUST BE AT LEAST 6" TALL.



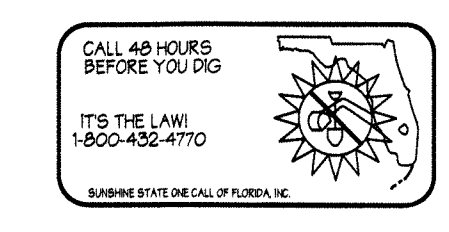
- LEGEND:**
- WATER JET BEDDING AND BACKFILL FOR PIPELINE INSTALLATION. TYPICAL FOR ALL NATURAL EARTH BACKFILL.
 - POSITION CONTROL WIRES IN LOWER LEFT OR RIGHT HAND QUADRANT OF MAINLINE. TAPE WIRE AT 10' INTERVALS; DO NOT SECURE TO MAINLINE.
 - MATCH TYPE AND GRADE OF EXISTING PAVING
 - 2 SACK SLURRY BACKFILL
 - MAINLINE AND CONTROL WIRES, EACH IN SCH. 40 P.V.C. SLEEVE
 - EXISTING PAVING
 - TRACER TAPE
 - SAND BED
 - SAND COVER
 - LATERAL LINE

NOTES:

- PIPE BEDDING AND BACKFILL SHALL BE WATER JETTED TO ACHIEVE PROPER DENSIFICATION.
- PIPE AND CONTROL WIRE CROSSING VEHICULAR ROADWAY SHALL BE SLEEVED AS INDICATED ABOVE
- ELECTRICAL SLEEVE: 3" MIN; LARGER IF REQUIRED BY INSPECTOR.
- IRRIGATION SLEEVE: TWO PIPE SIZES LARGER THAN WATER PIPE SIZE.

TRENCHING

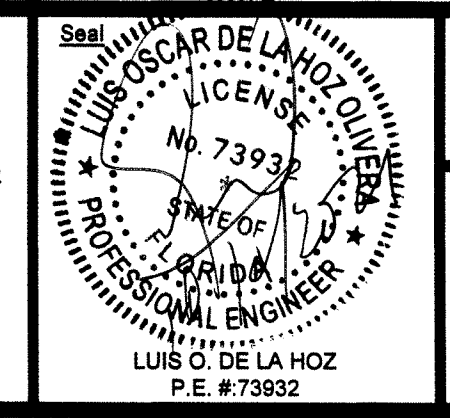
MAINLINE AND EQUIPMENT SCHEDULE					
SYM.	DESCRIPTION	MFGR.	MODEL	SIZE	REMARKS
☉	INDEXING VALVE	K-RAIN	4412 SERIES	PER PLAN	INSTALL PER DETAIL
C	CONTROLLER W/MS 100	INTERMATIC	R8816P101C	4 STA.	220 V. AND INSTALL PER DETAIL
⊗	RAIN SENSOR	IRRITROL	RS1000		INSTALL PER DETAIL
P	PUMP 220 v 2 hp				
⚡	BACKFLOW PREVENTER				
M	WATER METER				
ZONES	DENOTES ZONE, GPM., VALVE SIZE				
==	SLEEVE PIPING		SCHED BD PVC	PER PLAN	
---	PVC MAIN LINE (PURPLE PIPE)		SCHED 40 PVC	PER PLAN	MIN. 24" COVER
---	PVC LATERAL LINE (PURPLE PIPE)		CLASS 200 PVC	VARIES	MIN. 18" COVER
					SIZE PER ZONE VALVE AND STEP DOWN GRADUALLY TO COMPENSATE FOR FLOW REDUCTION DURING OPERATION



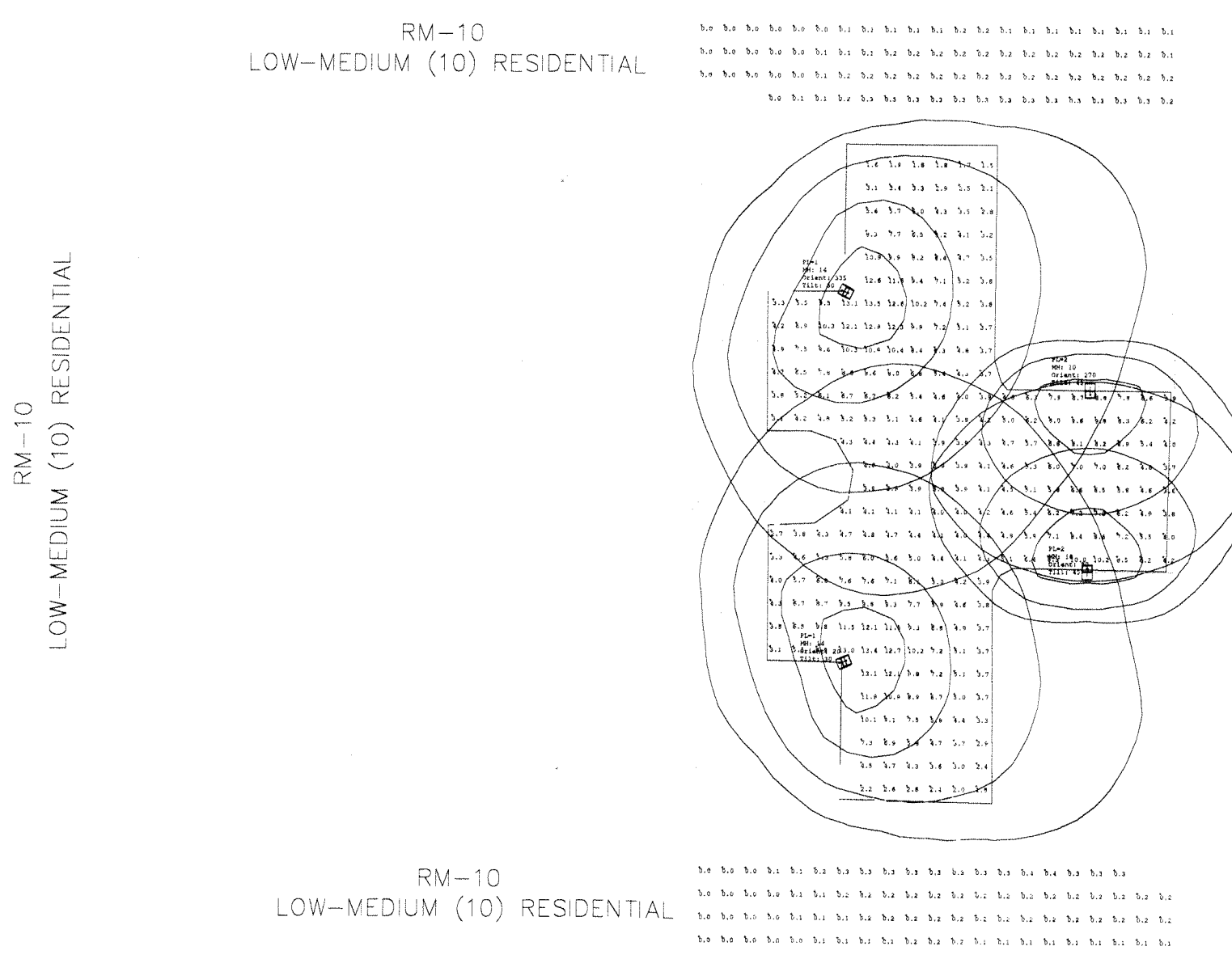
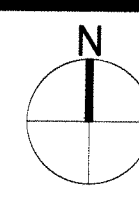
**HIDDEN CYPRESS VILLAS
NEW RESIDENTIAL DUPLEX
PARCEL ID No. 4941 20 04 0086**

Sheet Title:
IRRIGATION PLAN

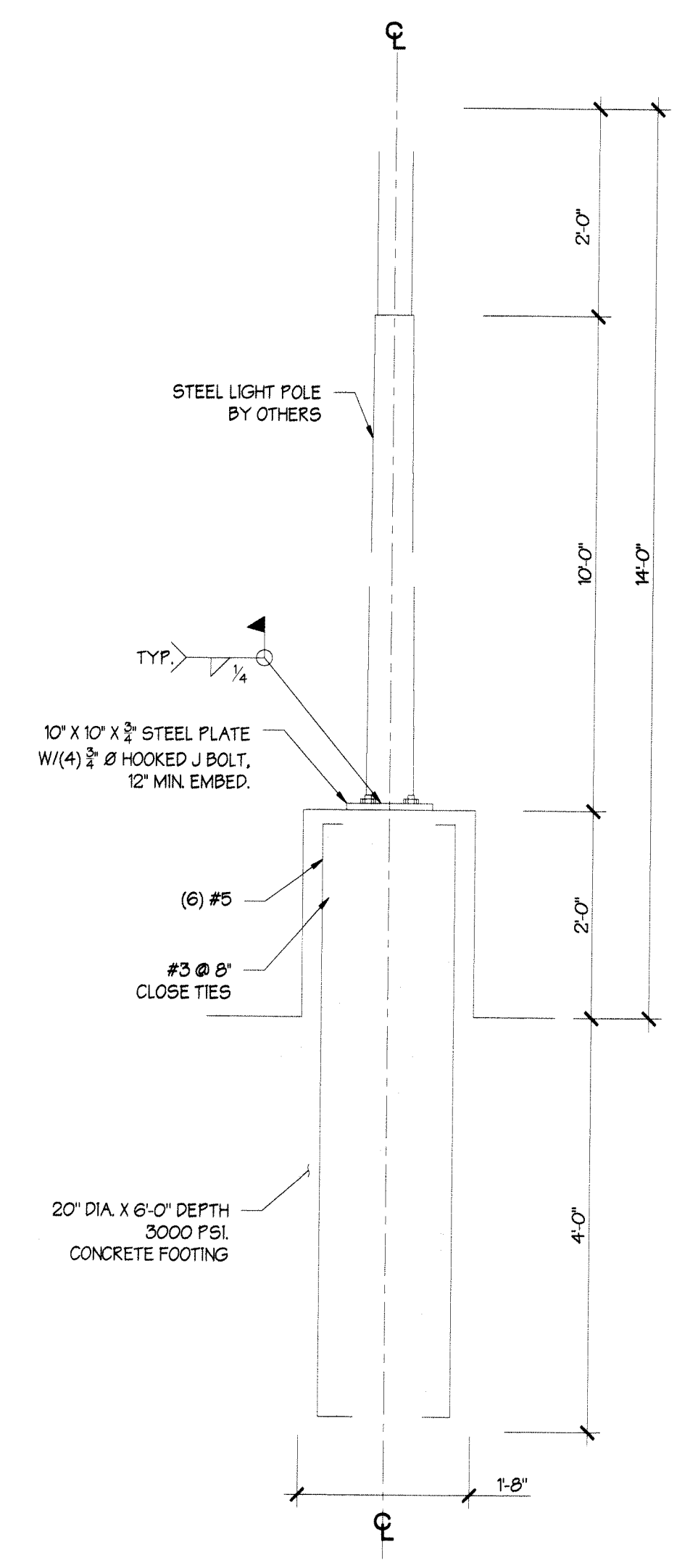
TADEOS ENGINEERING LLC.
C.A. # 31229
14030 NW 82nd Ave.
Miami Lakes, FL 33016
Phone: (305) 603-8818
email: luis@tadeosengineering.com



Date:
10-04-2021
Drawing No.
IR.01



Photometric Plan
Scale: 1" = 20'-0"



Light Pole Detail
Scale: 3/4" = 1'-0"

- GENERAL NOTES**
- CONTRACTOR SHALL VERIFY ALL DIMENSION AND CONDITIONS IN THE FIELD PRIOR TO START OF WORK AND NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCY IN THE DRAWINGS AND OBTAIN HIS APPROVAL BEFORE PROCEEDING WITH WORK.
 - DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN.
 - DO NOT SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF CONSTRUCTION UNLESS SUCH SUBSTITUTIONS OR CHANGES HAVE BEEN APPROVED IN WRITING BY THE OWNER / ENGINEER.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AND FOR THE SEQUENCES AND PROCEDURES TO BE USED.
 - ALL ELEMENTS SHALL COMPLY WITH THE MANUFACTURER SPECIFICATIONS.

- CODES AND STANDARDS**
- FLORIDA BUILDING CODE 2017 WITH AMENDMENTS
 - ACI 318-11
 - ASCE 7-10
 - ADM 2010
- WIND ANALYSIS DESIGN PARAMETERS:**
- WIND DESIGN HAS BEEN DONE IN ACCORDANCE WITH ASCE 7-10.
 - STRUCTURAL CATEGORY I
 - EXPOSURE CATEGORY 'D'
 - INTERNAL PRESSURE COEFFICIENT, $GCF = 0.18$
 - WIND VELOCITY, $V = 110$ MPH
 - LIGHT POLE ALLOWABLE WIND PRESSURE: 72.41 Psf.

- ALUMINUM NOTES**
- ALUMINUM SURFACES IN CONTACT WITH LIME-MORTAR, CONCRETE, OR OTHER MASONRY MATERIALS, SHALL BE PROTECTED WITH ALKALI-RESISTANT COATINGS, SUCH AS HEAVY-BODIED BITUMINOUS PAINT OR WATER-WHITE METHACRYLATE LACQUER.
 - ALUMINUM IN CONTACT WITH WOOD OR OTHER ABSORBING MATERIALS WHICH MAY BECOME REPEATEDLY WET SHALL BE PAINTED WITH TWO COATS OF ALUMINUM METAL-AND-MASONRY PAINT OR COAT OF HEAVY-BODIED BITUMINOUS PAINT, OR THE WOOD OR OTHER ABSORBING MATERIAL SHALL BE PAINTED WITH TWO COATS OF ALUMINUM HOUSE PAINT AND THE JOINTS SEALED WITH A GOOD QUALITY CAULKING COMPOUND.
 - WHERE ALUMINUM IS IN CONTACT WITH TREATED WOOD, WOOD SHALL BE TREATED WITH PENTACHLOROPHENOL, 5 PERCENT MINIMUM CONCENTRATION CREOSOTE, OR ZINC NAPHTHANATE, FOLLOWING THE PROTECTIVE MEASURES OUTLINED IN SECTION 2033.6.4.5.

NOTE
LIGHTING SHALL BE DESIGNED TO MEET SECTION 16-150 OF THE CITY OF SUNRISE LAND DEVELOPMENT CODE.

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Tag
☐	2	LEDMPAL80-3000K	SINGLE	N.A.	1.000	80 Watts LED Fixture	PL-1
☐	2	LEDMPAL30-3000K	SINGLE	N.A.	1.000	30 Watts LED Fixture	PL-2

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Light Spill North	Illuminance	Fc	0.15	0.3	0.0	N.A.	N.A.
Light Spill South	Illuminance	Fc	0.15	0.4	0.0	N.A.	N.A.
Parking Areas	Illuminance	Fc	5.98	13.5	1.4	4.27	9.64

**HIDDEN CYPRESS VILLAS
NEW TWO - FAMILY DWELLING
PARCEL ID No. 4941 20 04 0086**

Sheet Title:
PHOTOMETRIC PLAN

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