



## City of Sunrise Planning & Zoning Board Virtual Meeting Minutes

Date: Thursday, April 1, 2021  
Time: 6:00 p.m.

Due to the COVID-19 emergency, the meeting will be conducted virtually by communications media technology using GoToMeeting. The public may attend and participate in the meeting by computer, tablet or smartphone by using the following GoToMeeting link: <https://global.gotomeeting.com/join/140121261>. Those new to GoToMeeting may install the app before the meeting starts by using the following link <https://global.gotomeeting.com/install>.

Interested persons may also dial in by phone using the call-in details below:

- Toll Free Number: [1 866 899 4679](tel:18668994679)
- Access Code: 140-121-261

For technical difficulties please call (954) 746-3291.

**Public Access Point:** Interested persons requiring telephone or computer access to attend and participate in the meeting can go to the Community Development Department, Osprey Conference Room, 1601 NW 136 Avenue, Building A, Sunrise, Florida 33323, which is open to the public.

For additional information or to submit written comments or evidence, or other physical evidence which you intend to offer into evidence during the meeting, please contact the Board Liaison: Nathalie Augustin via mail to 1601 NW 136 Avenue, Building A, Sunrise, Florida 33323, or [naugustin@sunrisefl.gov](mailto:naugustin@sunrisefl.gov), or call (954) 746-3281.

### A. Call to Order

Ms. Storms called the meeting to order at 6:10 p.m.

### B. Pledge of Allegiance and Moment of Silence

### C. Roll Call

Board Members Present: Jane Storms, James TabEEK, David Iannacone, Athea Antoine, Fitzwilliam Thompson and Vivi Assidon.

City Staff Present: Jim Koeth, Matthue Goldstein, Sylvia Miller, and Nathalie Augustin.

**D. Adoption of Communication Media Technology (CMT) Rules**

Mr. Tabeek motioned to approve the Adoption of Communication Media Technology (CMT) Rules. Seconded by Mr. Assidon. There was no further discussion. All were in favor.

**E. Open Discussion – Public Participation**

There were no members of the public present at this meeting via telephone or in-person.

**F. Election of Chair and Vice-Chairperson of the 2021 Planning and Zoning Board**

*1. Election of Chairperson of the 2021 Planning and Zoning Board*

Mr. Tabeek motioned to elect Ms. Storms as Chairperson. Seconded by Mr. Iannacone. Nominations were closed.

Roll Call:

Jane Storms	Yea
James Tabeek	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Vivi Assidon	Yea

*2. Election of Vice - Chairperson of the 2021 Planning and Zoning Board*

Mr. Assidon motioned to elect Mr. Tabeek as Vice-Chairperson. Seconded by Mr. Iannacone. Nominations were closed.

Roll Call:

Jane Storms	Yea
James Tabeek	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Vivi Assidon	Yea

**G. Approval of Minutes – December 3, 2020 Meeting**

Mr. Assidon motioned to approve the minutes. Seconded by Mr. Tabeek. There was no further discussion.

Roll Call:

Jane Storms	Yea
James Tabeek	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Vivi Assidon	Yea

**H. Old Business**

There was no old business brought before the Board at this time.

**I. New Business**

- 1. Application: Springtree Center – Wild Fork Foods (Sign Waiver)**
- |                     |  |
|---------------------|--|
| Application Number: | SW-000317-2020 (103)                                     |
| Applicant:          | Food Ventures North America, Inc.                        |
| Property Owner:     | Waterstone Capital Springtree, LLC                       |
| Use:                | Commercial   |
| Location:           | 8053 West Oakland Park Boulevard – Suite No. 100 and 200 |
| Folios:             | 4941.2103.0141   |
| Current Zoning:     | B-2 (Community Business District)                        |
| Planner:            | Sylvia Miller, AICP                                      |

Ms. Sylvia Miller, summarized the Staff Report with the entire report entered into the record. Ms. Miller advised the proposal is to allow one (1) additional wall sign for a total of two (2) wall signs.

Mr. John Voigt, of Doumar, Allsworth, Laystrom, Voigt, Wachs, Adair and Dishowitz, LLP, was present and provided further information about the application.

The Board agreed unanimously with the application.

Mr. Assidon motioned to approve the application with Staff recommendation. Seconded by Mr. Tabeek. There was no further discussion.

Roll Call:

Jane Storms	Yea
David Iannacone	Yea
James Tabeek	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Vivi Assidon	Yea

<b>2. Application:</b>	<b>Frusciante – Land Use Plan Amendment (LUPA)</b>
Application Number:	LUPA-000294-2020 (201, 02:10001, 18:28)
Applicant:	The Morgan Group of Texas, Inc.
Property Owner:	3363 Pine Island, LLC and Humboldt 18, LLC
Use:	Residential
Location:	3100 NW 90 Terrace, 3301 NW 90 Terrace, 3333 NW 90 Terrace and 3363 N. Pine Island Road
Folios:	4941.2013.0010, 4941.2060.0010, 4941.2060.0011, 4941.2060.0012, 4941.2060.0013, 4941.2000.0020
Current Zoning:	B-3 (General Business District)
City Commission Meeting:	April 27, 2021
C Number:	C21062
Planner:	Sylvia Miller, AICP

Ms. Sylvia Miller, summarized the Staff Report with the entire report entered into the record. Ms. Miller advised the proposal is to amend the land use designation for the above referenced locations (approximately 22.5 gross acres) from Commercial (C) to Irregular (20.1 du/ac) Residential.

Mr. Dennis Mele and Mr. Shane Zalonis, of Greenspoon Marder LLP, were present and provided further information about the application.

Mr. Iannacone expressed his concern regarding an entrance and exit onto NW 91 Avenue. He added that he is relieved there will be no connection to the adjacent community.

Mr. Assidon expressed his concerns for the project having sufficient number of handicap parking spaces. Mr. Mele replied the project will comply with ADA requirements.

Mr. TabEEK asked if the adjacent property owners had any concerns regarding this development. Mr. Mele replied the adjacent property owners had concerns regarding traffic, building heights and dumpsters. Mr. Mele added these concerns were clarified and resolved with the adjacent property owners.

Mr. TabEEK asked if the adjacent property owners have a Home Owners' Association (HOA). Mr. Mele replied the adjacent properties to the west are not part of an HOA or official organization.

Mr. Assidon motioned to approve the application with Staff recommendation. Seconded by Mr. TabEEK. There was no further discussion.

Roll Call:

Jane Storms	Yea
James TabEEK	Yea
David Iannacone	Yea
Athea Antoine	Yea
Fitzwilliam Thompson	Yea
Vivi Assidon	Yea



**J. Land Development Code Amendments**

Mr. Koeth briefed the Board on amendments made to Section 16-80 of the Land Development Code adopted by Ordinance No. 402-20-B.

Ms. Storms asked what the reason for the amendment was. Mr. Koeth replied this was to define "Sports Shooting Range" in the Land Development Code as a definition did not exist. Mr. Koeth added it was also to clarify what district this type of use could be located in.

**K. Development Project Update**

Mr. Koeth provided the Board with an update on an application for the Westgate Bravo Supermarket that was recommended for approval by the Board at its meeting on December 3, 2020 and which had been brought before City Commission for action.

**L. Board Forum**

Mr. Assidon asked Staff for updates regarding the Amazon proposal. Mr. Koeth replied that it is currently under the DRC (Development Review Committee) process.

Ms. Antoine expressed her pleasure of the development of the gas station located at 10001 Sunset Strip. She added it appears that development and its completion is moving forward.

**M. Adjournment**

Mr. Tabeek motioned to adjourn the meeting. Seconded by Mr. Iannacone. All were in favor.

The meeting adjourned at 7:05 p.m.

Transcribed by:

\_\_\_\_\_  
Nathalie Augustin  
Board Secretary

\_\_\_\_\_  
Date

**NOTE TO READER:**

- If these minutes do not bear the date of approval, this indicates that they are not the final approved minutes and will become the official minutes when approved by the Board.
- Approved at the Planning and Zoning Board Meeting of: \_\_\_\_\_
- If a person decides to appeal any decision made by the board, agency or commission with respect to any matter considered at such meeting or hearing, he will need a record of the proceedings, and that, for such purpose,

he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. F.S.S. 286.0105.

- Policy of non-discrimination on the basis of handicapped status; equal opportunity employer.
- Any person who believes he or she has a disability requiring the use of auxiliary aids and services at this meeting may call the Board Secretary, at (954) 746-3281 at least two (2) business days prior to the meeting to advise of his/her special requirements.



## **STAFF REPORT**

OAK NOB CORNER – WENDY'S (EXTERIOR ELEVATION CHANGE)

### **Summary**

This is an application for an exterior elevation change to a fast-food drive-through restaurant known as Wendy's, located at 9960 W. Oakland Park Boulevard in the Oak Nob Corner shopping center as shown on the location map. The property is zoned B-2 (Community Business District) and the underlying land use is Commercial on the City's Future Land Use Map. The exterior elevation change requires City Commission approval as per Section 16-32 of the Land Development Code (LDC).

### **General Information**

On August 27, 1996, the City Commission approved a Master Plan for four separate parcels, known as Oak Nob Corner, which provided for internal circulation, entrance features, perimeter landscaping and similar architectural features, via Resolution No. 96-169. On September 24, 1996, the City Commission approved a Special Exception Use Permit, via Resolution No. 96-195, for the Wendy's fast-food restaurant with drive-through food service and an associated Site Plan via Resolution No. 96-196.

To the north and west of the property is a fitness center and retail establishments zoned B-2 (Community Business District). To the south of the subject property is Welleby Elementary School zoned CF (Community Facilities) and to the east is a single-family residential development zoned RS-5 (Low Density Single-Family Residential District)

### **Project Description**

The proposed exterior elevation change consists of renovations to the exterior facade of an existing fast-food restaurant building. New corrugated metal panels with a dark bronze finish will be added above existing windows on the front (north) and side (east and west) elevations, with silver accent band containing accent lighting above the panels to provide a soft glow on the facade. A new feature blade wall, clad with wood-look powder coated aluminum panels, is proposed for the northwest corner of the building, on the right side of the front facade. This same wood-look material is also proposed for feature columns on the other corners of the building which balances the design and provides additional architectural interest to the walls. The elevations will be painted a neutral beige color, with a shade of brown at the base, and a dark brown color on the existing light fixtures similar

to the metal panels above the windows. The existing grey tile roof will remain. The proposed design will remain compatible with the overall architecture of the other buildings that comprise Oak Nob Corner, including the Chevron gas station, KFC, and Dollar General. The buildings within the Oak Nob Corner Master Plan include dark and light neutral accent colors, with darker colors along the base and lighter colors above, in addition to vertical accents at the buildings' corners and columns.


No changes are proposed to the building size, site circulation, or landscaping.

**Staff Evaluation**

Staff has reviewed the Exterior Elevation change application and find it consistent with the Land Development Code.

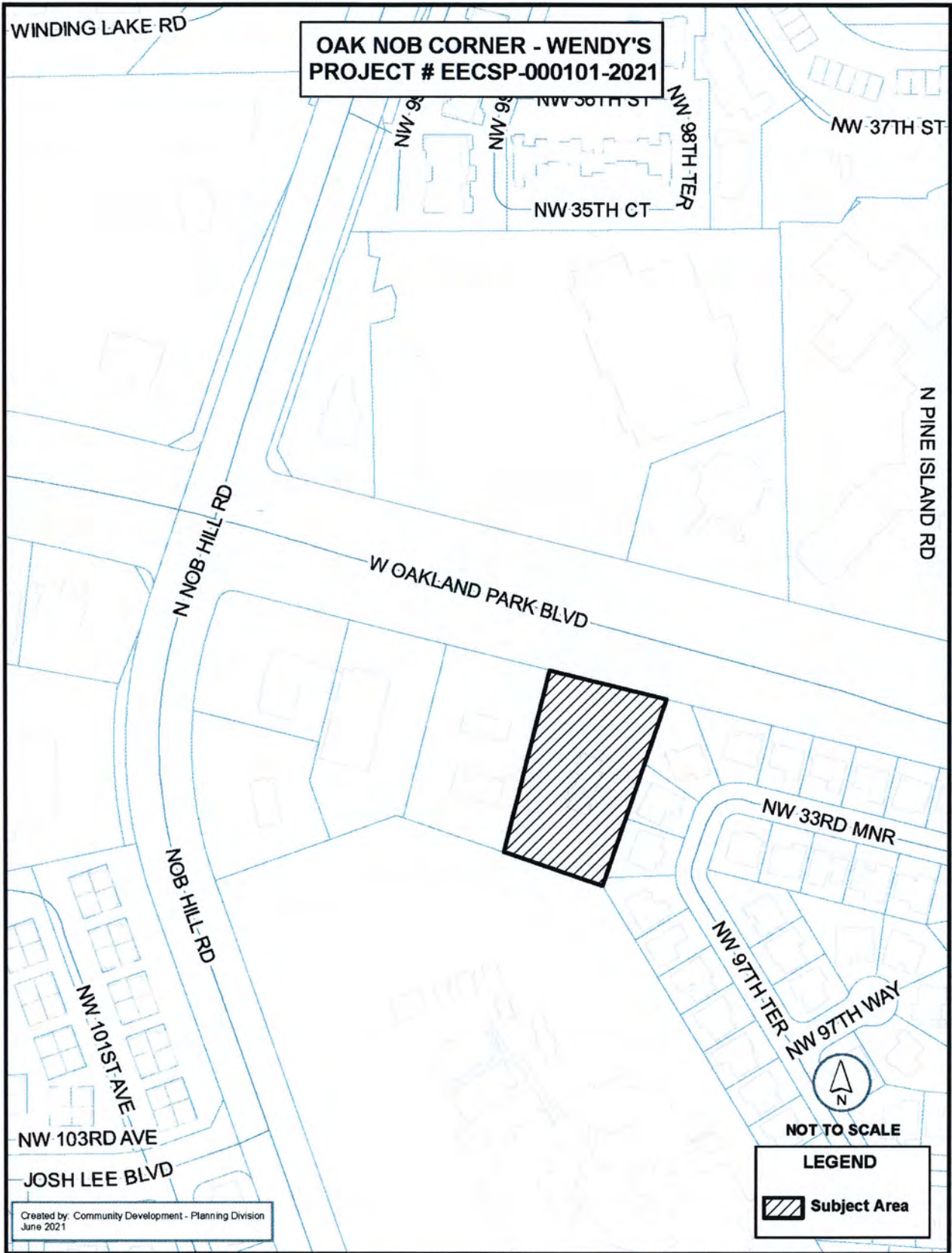
**Staff Recommendation to the Planning and Zoning Board, October 7, 2021**

This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval.

Planner: Marianne Edge, AICP   
File No. EECSP-000101-2021 (88:30024)



**Location Map**



# Philip W Kemery, Architect

April 27, 2021

City of Sunrise  
Community Development Department  
1601 NW 136<sup>th</sup> Ave, Bldg A, Ste 100  
Sunrise, FL 33323

**Re: Wendy's #07391 – 9960 W Oakland Park Blvd.**

As the applicant, I am proposing changes to the exterior of the existing single-story Wendy's restaurant, located at 9960 W Oakland Park Blvd, as a part of Oak Nob Corner, to provide an update compatible with the new brand image. I am proposing to add new corrugated metal panels in a dark bronze finish to the front and side elevations. The corrugated metal panels will have a silver pre-finished aluminum light box above and a silver pre-finished accent band below. The LED rope lights are concealed in the silver accent band above and provide a soft glow at the new metal panels and at the soffit. The front elevation will have a new feature blade wall at the northwest corner of the building clad with durable prefinished aluminum panels in a wood-grain powder coat finish. The feature blade wall will give good exposure to the new sign while displaying the brand's new image. I am proposing to clad the column at the northeast corner of the building with the same wood-look panels that are being proposed on the blade feature wall. This accent color and material will provide a balance at the front elevation while breaking up the proposed beige base color. The base building color will be painted beige with a darker brown tone at the lower half of the building and at the vertical piers and drive-thru elements to break up the long blank walls and will also compliment the adjacent buildings in the center. I am also proposing two column features at the rear of the building, one on each side to match the existing column features in size and proportion. They will be clad in the same wood-look panels for material consistency while breaking up the plain rear elevation. The existing light fixtures will be painted dark bronze and the existing safety rail will be painted black. I will also be proposing a new sign under a separate permit.

The proposed changes to the elevations will not change the existing site layout, landscape, or building footprint. The architecture remains consistent with the other freestanding buildings of Dollar General, Bank of America, Chevron and KFC that comprise the rest of Oak Nob Corner in which they use different parapet heights and tower elements on their building with Dollar General using a wall feature with

higher parapets to display their sign similar to the new blade feature wall Wendy's is proposing. The existing roof design and materials of the Wendy's will remain the same to keep the architectural consistency throughout the shopping center. The exterior changes we are proposing has a mix of dark and light neutral colors with vertical accents colors at the corners and column features with a darker bottom color and a lighter base building color above. The new blade wall gives the building a new sign band to be more visible similar to the Dollar General and Chevron. The existing base color we are proposing for the Wendy's is slightly darker than the existing off-white of some of the buildings, but similar to the color of the bank on the corner which provides a nice contrast of neutral tones.

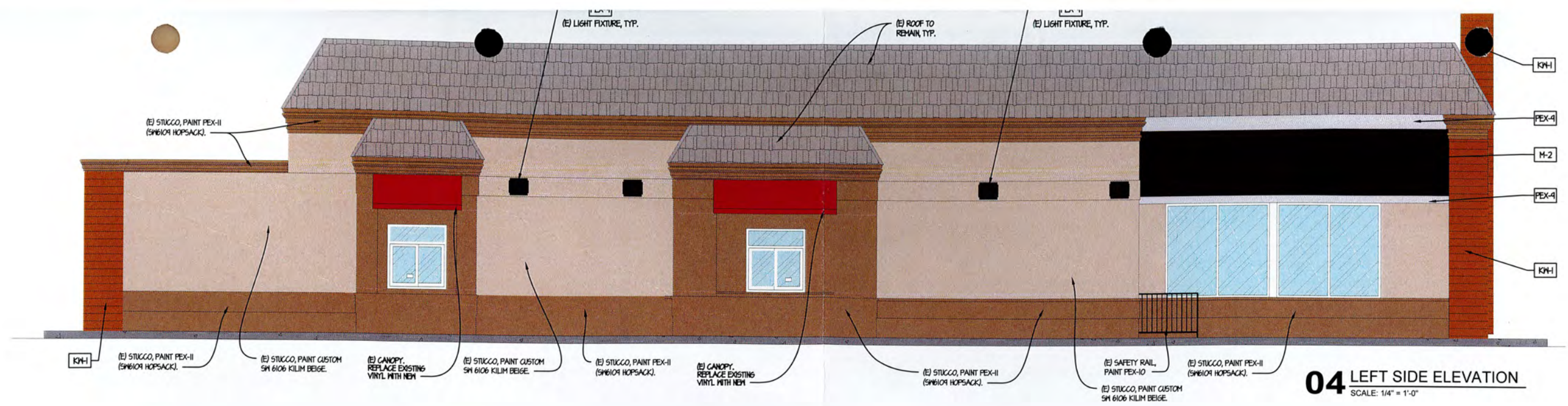
The existing mechanical equipment will not be changing in size or location and will remain hidden with the existing roof system.

Thank you,

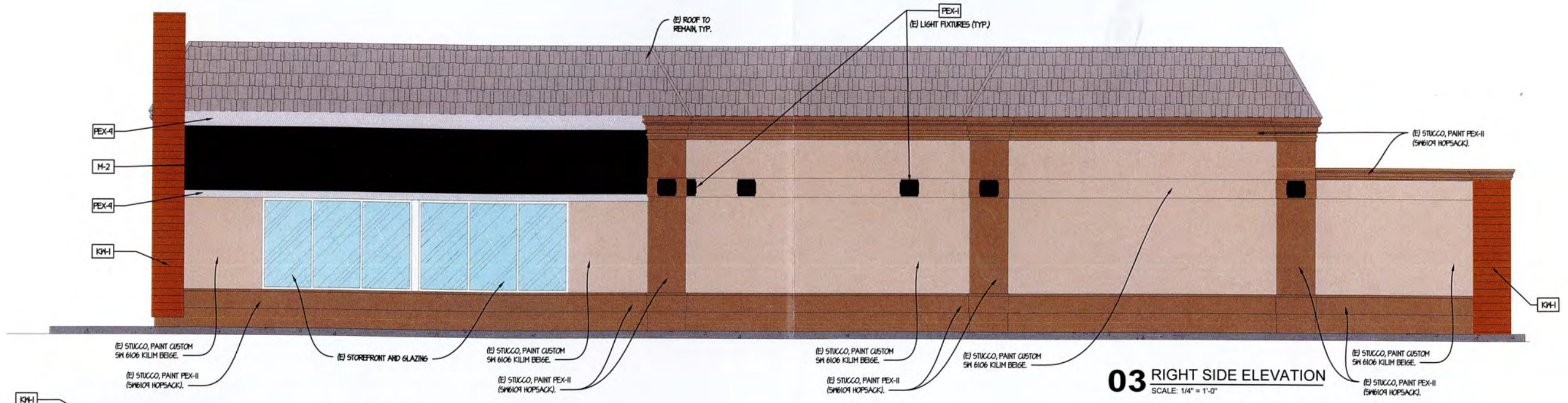


Mark Griffin  
Linear Architecture

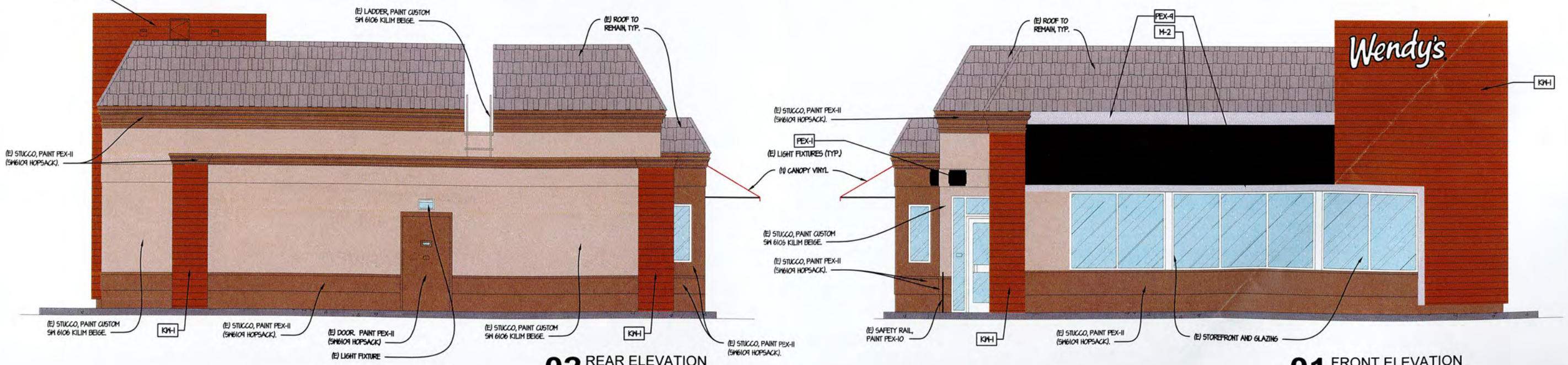




**04 LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**03 RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



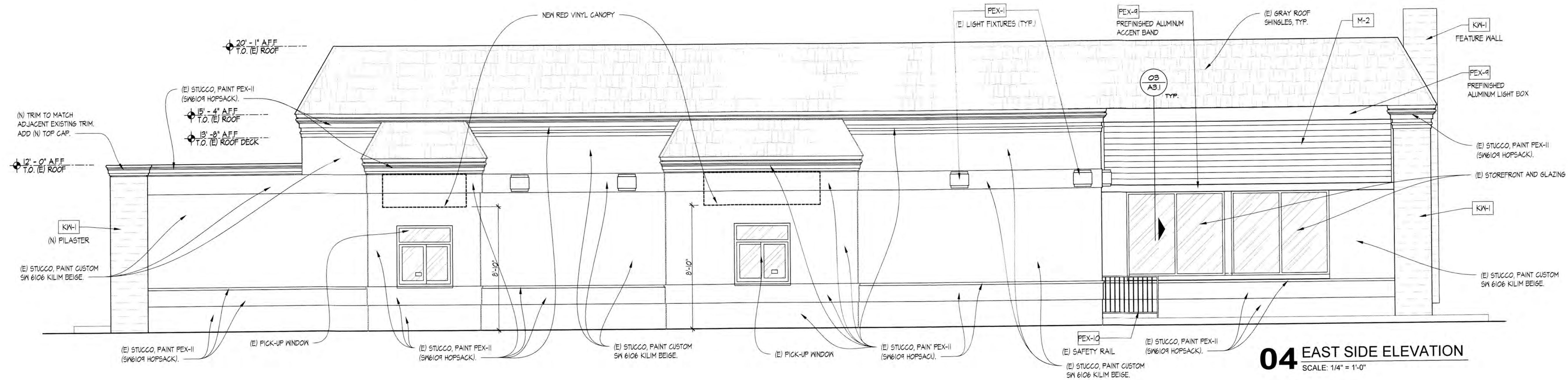
**02 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

**01 FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



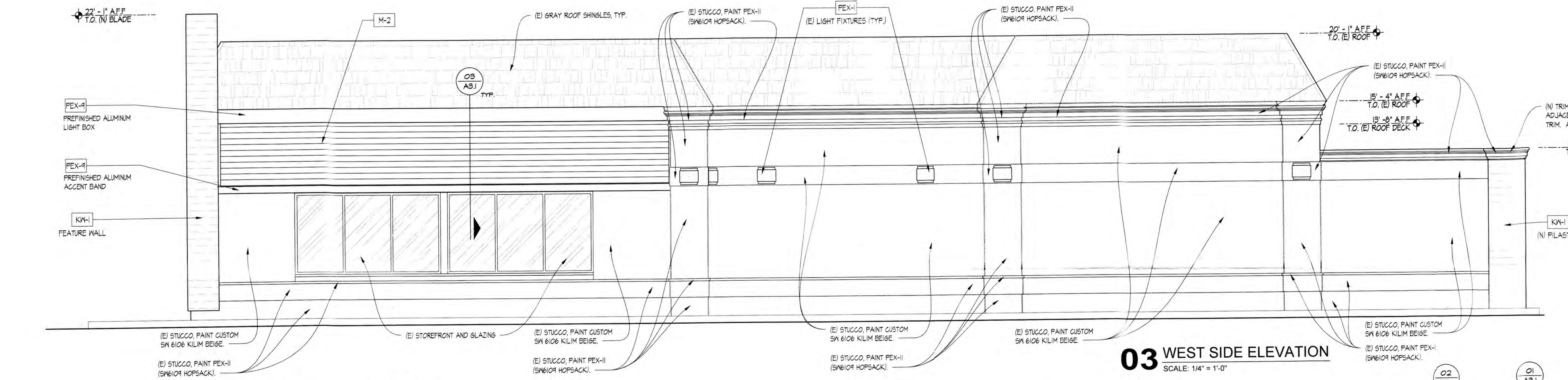
**EXTERIOR FINISHES LEGEND**

KV-1	KNOTWOOD - PREFINISHED ALUMINUM CLADDING - LIGHT OAK SIMULATED WOOD
M-2	CORRUGATED METAL PANEL (DARK BRONZE) FB40NECB, BK2N104B
PEX-1	PAINT (WENDY'S DARK BRONZE) SW MISSISSIPPI BRONZE
PEX-9	PREFINISHED ALUMINUM
PEX-10	PAINT (WENDY'S BLACK) SW625B
PEX-11	PAINT (WENDY'S ACCENT - HOPSACK) SW6104
CUSTOM	PAINT (WENDY'S BASE - KILIM BEIGE) SW6106

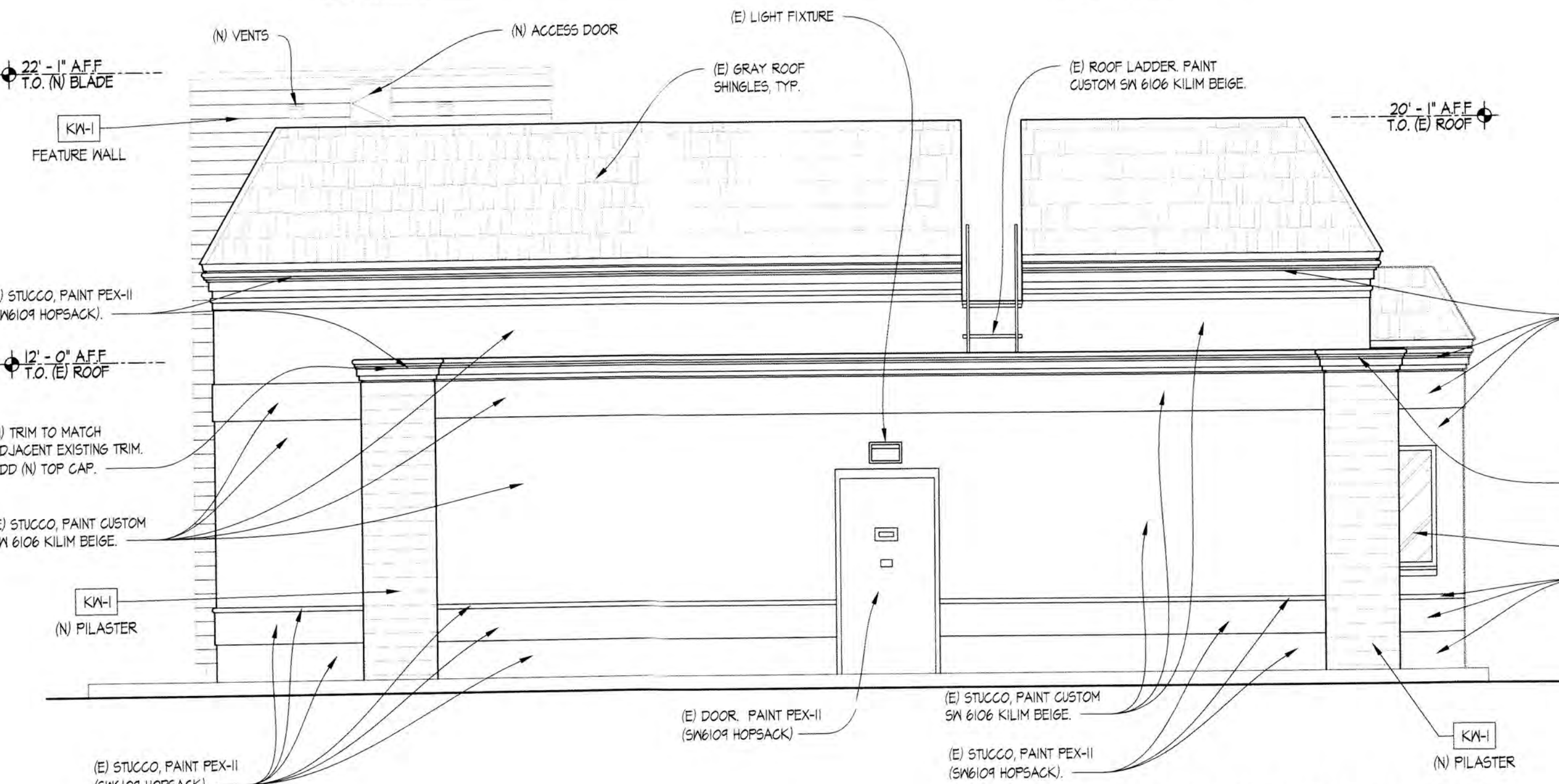


**04 EAST SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

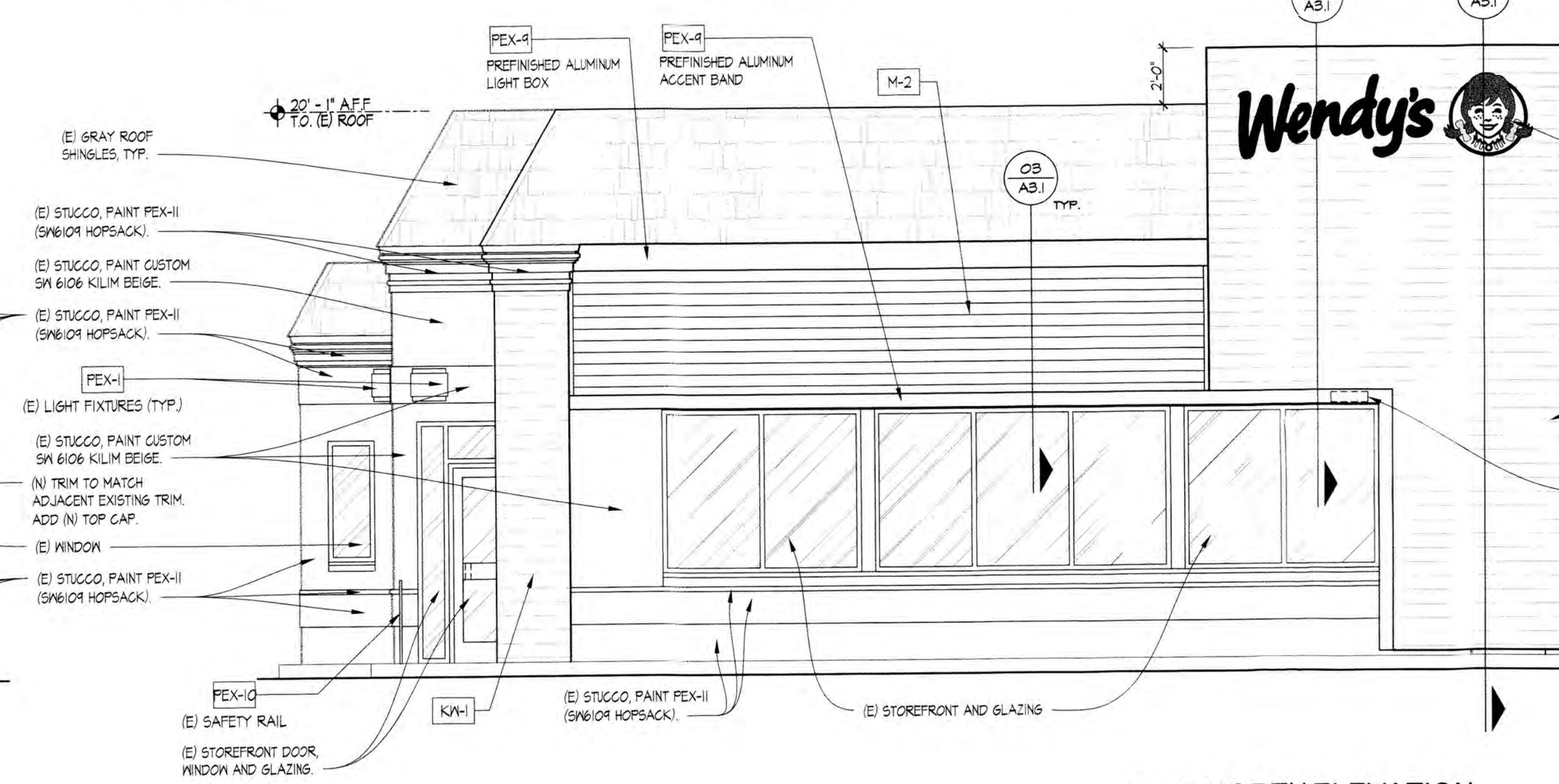
- GENERAL NOTES**
- ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.
  - SIGNAGE IS SUBJECT TO REVIEW BY SEPARATE PERMIT APPLICATION.
  - WHERE ACCENT LIGHTING IS USED, THE MAXIMUM ILLUMINATION ON ANY VERTICAL SURFACE OR ANGULAR ROOF SURFACE SHALL NOT EXCEED 5.0 AVERAGE MAINTAINED FOOTCANDLES. BUILDING FAÇADE AND ACCENT LIGHTING WILL BE COMPATIBLE IN DESIGN, AND LOCATED, AIMED, AND SHIELDED SO THAT LIGHT IS DIRECTED ONLY ONTO THE BUILDING FAÇADE AND SPILLOVER LIGHT IS MINIMIZED.
  - BUILDING ADDRESS NUMBERS TO BE PROVIDED AT A MINIMUM 10" HIGH PER LDC SUBSECTION 16-249(a)(3)b.



**03 WEST SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**02 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**01 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

Wendy's  
WENDY'S SIGNAGE (WHITE LETTERING) TO BE FURNISHED SIGN SUPPLIER, INSTALLED BY GC

LOCATION OF ADDRESS NUMBERS

LEAVE BLANK - FOR CITY USE ONLY



EXHIBIT  
Existing  
Location  
Photographs















































Wendy's 

QUALITY IS OUR RECIPE

4676



NOW SERVING  
**BREAKFAST**  
EVERY DAY UNTIL 10:30AM









REAL FOOD.  
**REAL PEOPLE.**

APPLY ONLINE AT:  
wendys-careers.com



ADD OUR APP FOR A  
**FREE**  
BREAKFAST SANDWICH



QR CODE

**\$3**  
BREAKFAST CLASSIC DEAL



GET IT WITH SANGRIA OR BACON

**\$5**  
BIGGER BAG



BIGGER BREAD









## **STAFF REPORT**

TACO BELL (EXTERIOR ELEVATION CHANGE)

### **Summary**

This is an application for an exterior elevation change to a fast-food drive-through restaurant known as Taco Bell, located at 12575 W. Sunrise Boulevard as shown on the location map. The property is zoned B-3 (General Business District) within the Western Sunrise Entertainment District of the Western Sunrise Area and the underlying land use is Commercial on the City's Future Land Use Map. The exterior elevation change requires City Commission approval as per Section 16-32 of the Land Development Code (LDC).

### **General Information**

On August 28, 1990, the City Commission approved a Special Exception Use Permit, via Resolution No. 90-248, for a fast-food restaurant with drive-thru food service and an associated Site Plan via Resolution No. 90-250 with a variance for parking and vehicle stacking via Resolution No. 90-249.

The subject property is bounded on the north, east, south and west by properties zoned B-3 (General Business District) within the Western Sunrise Entertainment District of the Western Sunrise Area which consist of the Sawgrass Mills Mall and other various retails establishments. In addition, the property is located within the Sawgrass Mills Development of Regional Impact (DRI). The City of Sunrise City Commission approved the DRI Development Order on November 12, 2002, via Ordinance No. 893-X.

### **Project Description**

The proposed exterior elevation change consists of renovations to the entire exterior facade of an existing fast-food restaurant building. All four elevations of the existing building will include a stone veneer finish along the base with the remaining wall portions painted in light neutral shades of beige. The stone veneer will also be used on a tower element on the front (east) elevation. The rounded arches and towers at the entrances will be squared-off in a modern style. The existing tile roof will be redesigned and reconstructed to include parapet walls topped with decorative trim in Taco Bell's signature purple color. Metal slats will also provide an architectural element above the windows on the front (east) and side (north and south) elevations. New gray metal canopies are proposed above the entrance and drive through windows.

No changes are proposed to the building size, site circulation, or landscaping.

**Staff Evaluation**

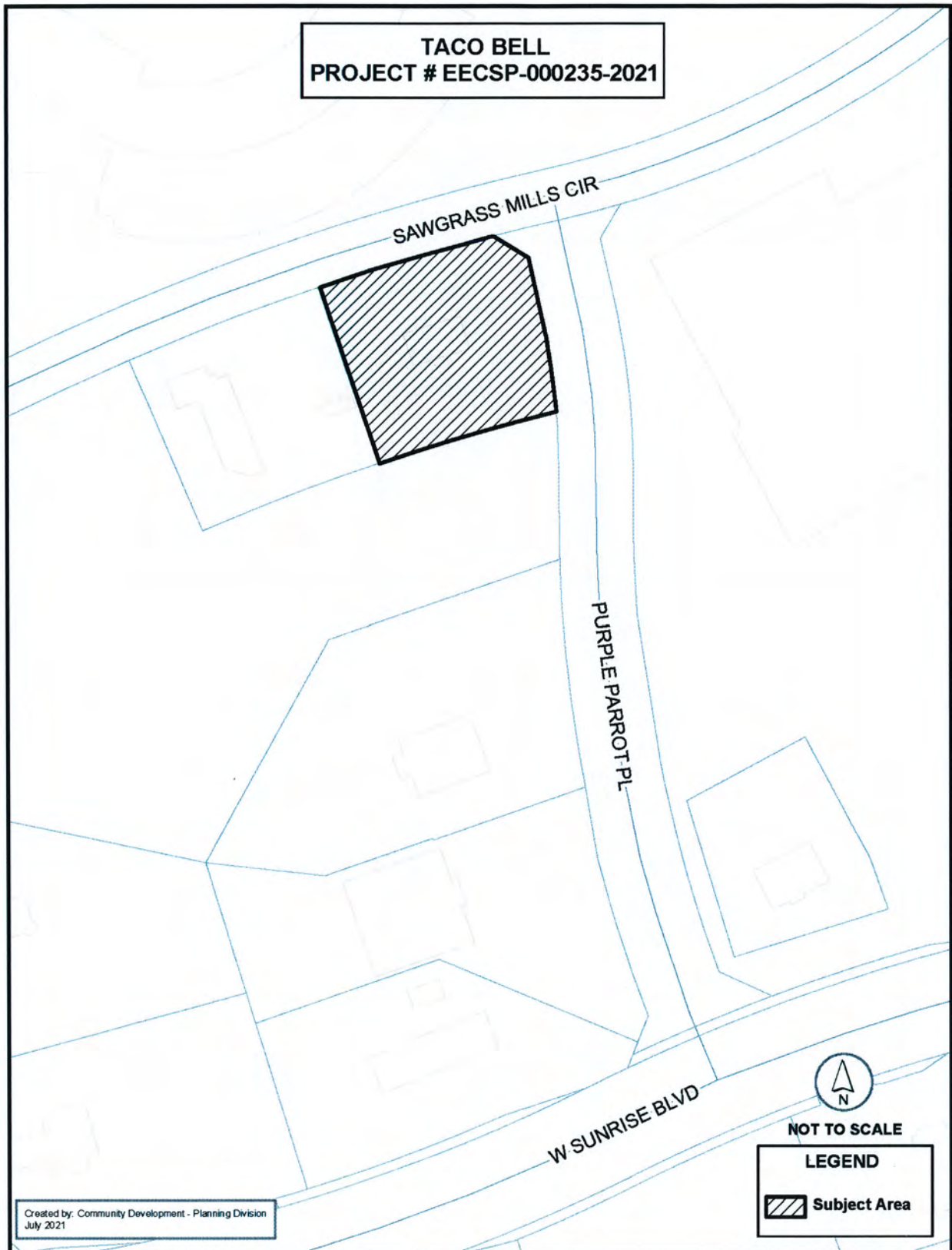
Staff has reviewed the Exterior Elevation Change application and find it consistent with the Land Development Code.

**Staff Recommendation to the Planning and Zoning Board, October 7, 2021**

This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval.

Planner: Marianne Edge, AICP  
File No. EECSP-000235-2021 (90:07002)

**Location Map**





**FLORIDA BELLS QSR, LLC**

*A Franchisee of Taco Bell*

City of Sunrise, Florida

Community Development Department

Planning Division (DRC)

1601 NW 136 Avenue Building A

Sunrise, FL 33323

City of Sunrise  
Community Development Department  
SEP 30 2021  
RECEIVED

Applicant Name: Taco Bell (Exterior Elevation Changes)

Applicant No: EECSP-235-2021

To whom it may concern:

This application letter is written on behalf of Florida Bells LLC, the Taco Bell Franchisee for the restaurant located at 12575 West Sunrise Blvd, Sunrise, FL 33323.

The proposed elevation changes for the above referenced Taco Bell restaurant will have the red brick roof tiles removed and replaced with a parapet that will be flush with the exterior walls. The existing mechanical rooftop equipment will remain and be fully screened and noise buffered.

The proposed exterior elevation change consists of renovations to the entire exterior facade of an existing fast food restaurant building. All four elevations of the existing building will include a stone veneer finish along the base with the remaining wall portions painted in light neutral shades of beige, "Shoji White", "Functional Gray", "Wordly Grey". The stone veneer will also be used on a tower element on the front (east) elevation. The rounded arches and towers at the entrances will be squared-off in a modern style. The existing tile roof will be redesigned and reconstructed to include parapet walls topped with decorative trim in Taco Bell's signature purple color. Metal slats painted "Iron Ore" will also provide an architectural element above the windows on the front (east) and side (north and south) elevations. New metal canopies, also in "Iron Ore" color, are proposed above the entrance and drive through windows.

This design will give the existing building a fresh modern "square image" look that reflects the new look of Taco Bell. The roof design (with parapets and accented cornices) provides a design that is comparable to the quality and materials required by code, and improves upon the existing roof design. The new look



of the roof will reflect the new parapet and provide consistency and harmony with other buildings in the area. Submitted sheets B and C reflects our philosophy.

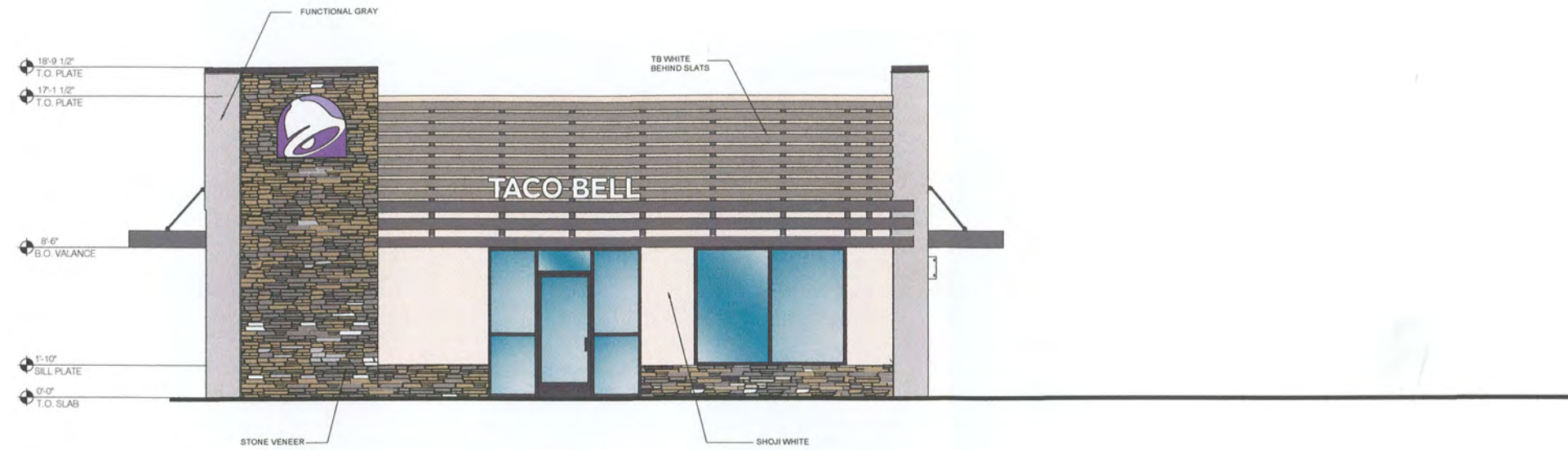
The site will remain as is and so will the building footprint, landscaping, and site lighting. All of which meets current code requirements. Please do not hesitate to call me if you have any further questions.

Respectfully,

*Greg Webb*

Greg Webb

Development Director South Florida

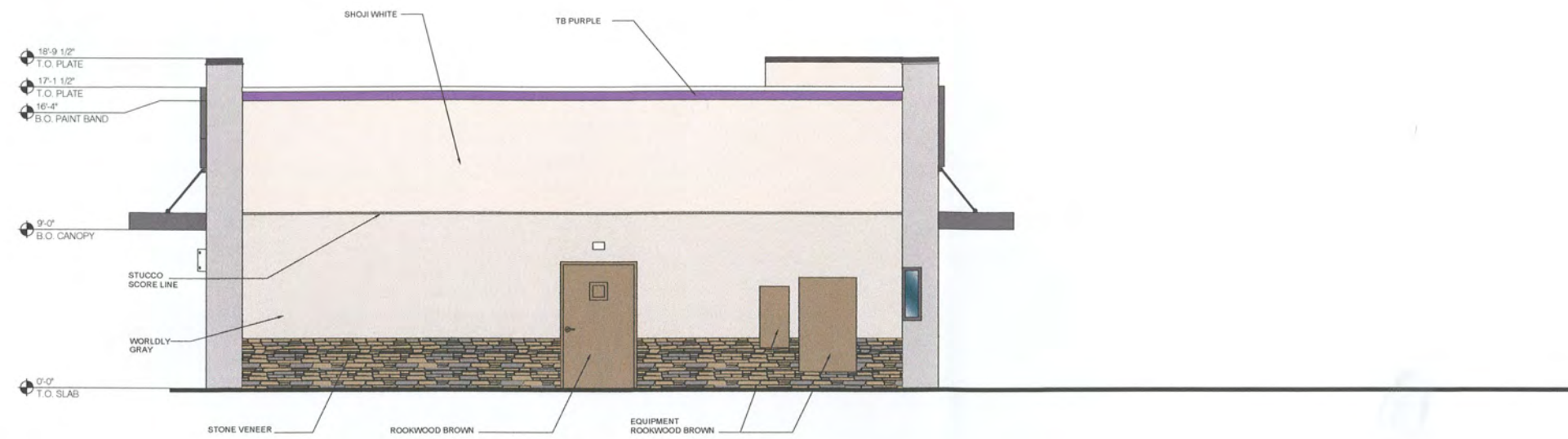


**B - EXTERIOR FRONT ENTRANCE ELEVATION**

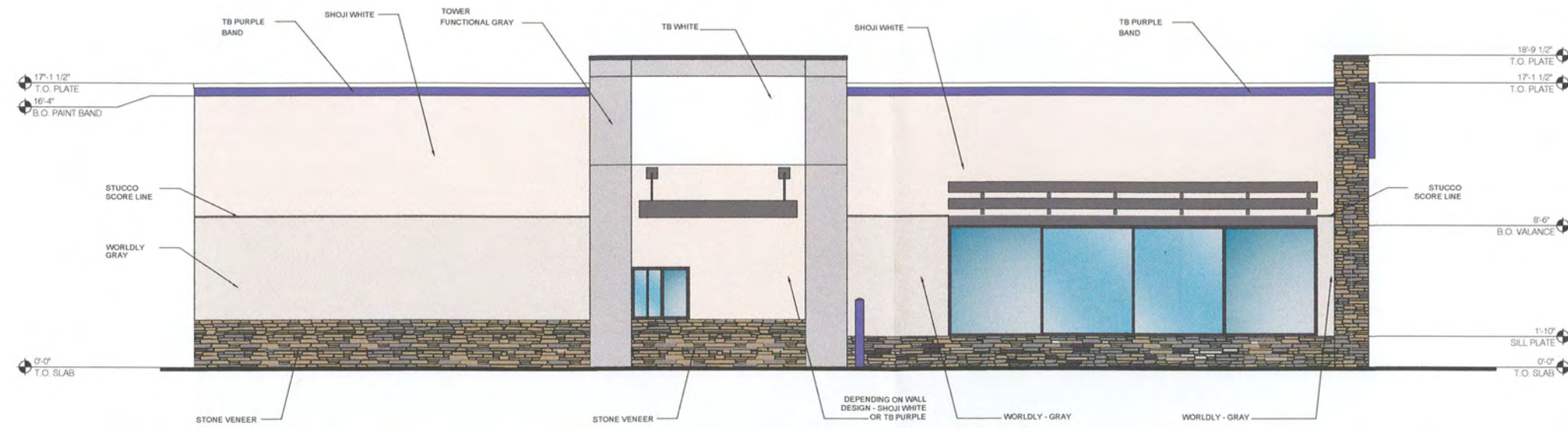


**A - EXTERIOR SIDE ENTRANCE ELEVATION**

**COLOR EXTERIOR ELEVATIONS**



**D - EXTERIOR REAR ELEVATION**



**C - EXTERIOR DRIVE-THRU ELEVATION**

**COLOR EXTERIOR ELEVATIONS**



# Taco Bell – 12575 W. Sunrise Blvd.

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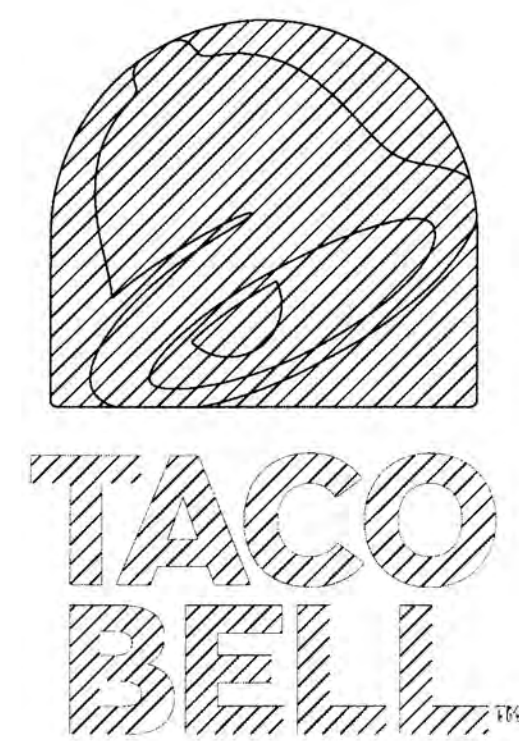




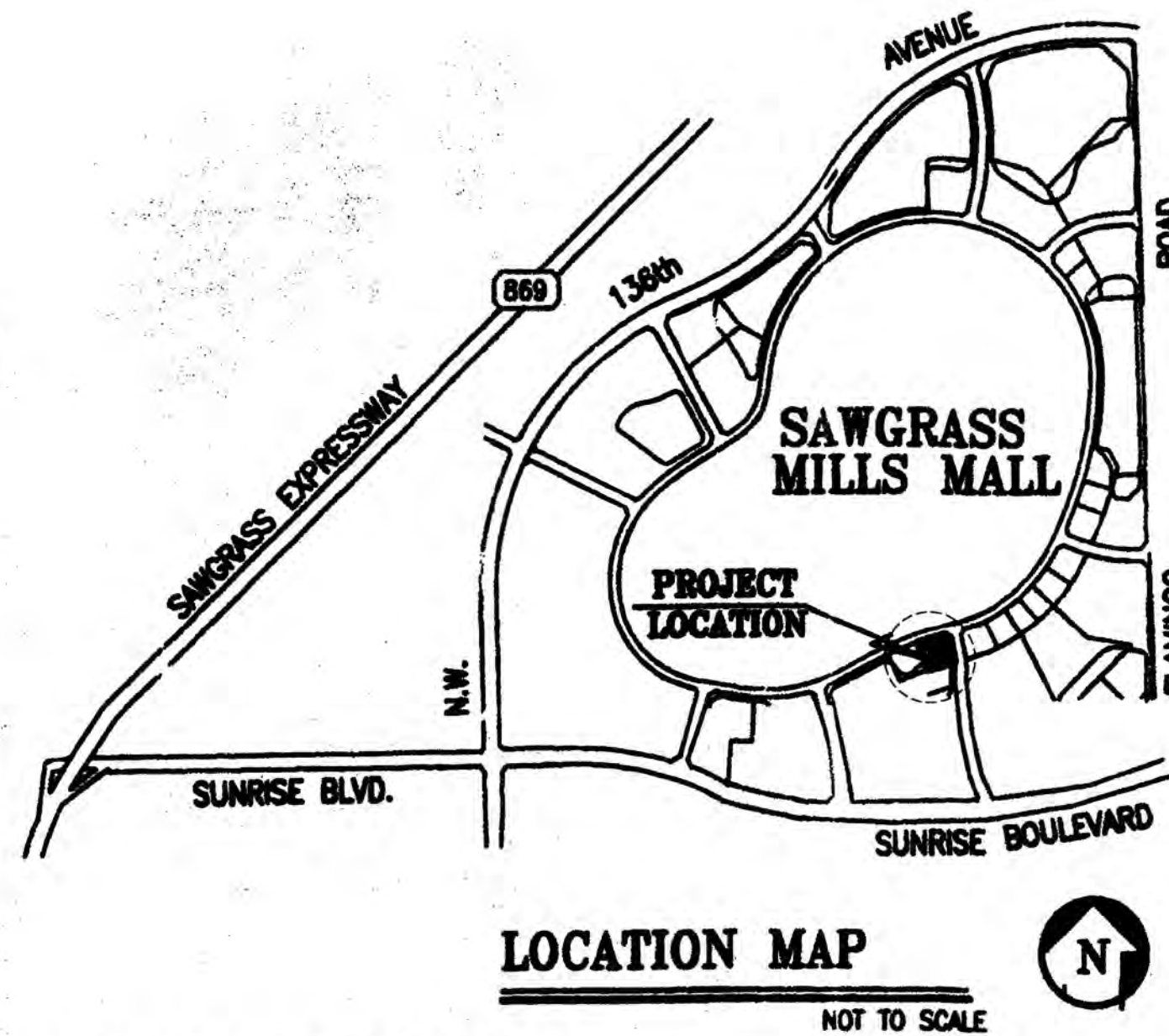


# Taco Bell

## EXTERIOR BUILDING ELEVATIONS



**12575 WEST SUNRISE BLVD.  
SUNRISE, FLORIDA 33323**

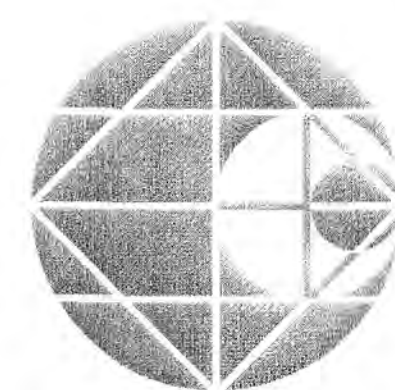


SECTION 26, TOWNSHIP 40 S, RANGE 40 E  
**LEGAL DESCRIPTION:**  
 PARCEL R-7 OF SAWGRASS MILLS ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 137,  
 PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LOCATION SKETCH:



AERIAL SITE LOCATION:



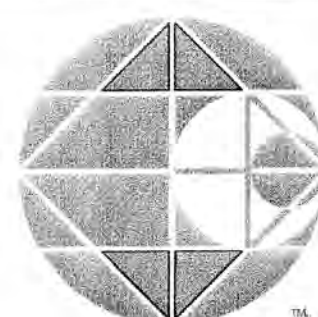
**GARCIA • GHEZZI**  
 ARCHITECTS INC.  
 MIAMI FLORIDA  
 13014 S.W. 120th STREET  
 TEL: 786-573-4466  
 AA 26001271

### INDEX OF DRAWINGS:

- 1 COVER SHEET
- SURVEY
- A FLOOR PLAN .....(FORMALLY A-3)
- B EXTERIOR ELEVATIONS.....(FORMALLY A-7)
- C EXTERIOR ELEVATIONS.....(FORMALLY A-7)

THIS PLAN SET IS APPROVED PURSUANT TO THE CITY OF SUNRISE LAND DEVELOPMENT CODE (CITY CODE) AND HAS NOT BEEN REVIEWED FOR COMPLIANCE WITH THE FLORIDA BUILDING CODE. ANY CHANGES TO DETAILS SHOWN, TO SATISFY THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, SHALL REQUIRE REVIEW FOR CONSISTENCY AND COMPLIANCE WITH THE LAND DEVELOPMENT CODE.

LEAVE BLANK - FOR CITY USE ONLY



**GARCIA • GHEZZI**  
 ARCHITECTS INC.  
 MIAMI FLORIDA  
 13014 S.W. 120th STREET  
 TEL: 786-573-4466  
 AA 26001271

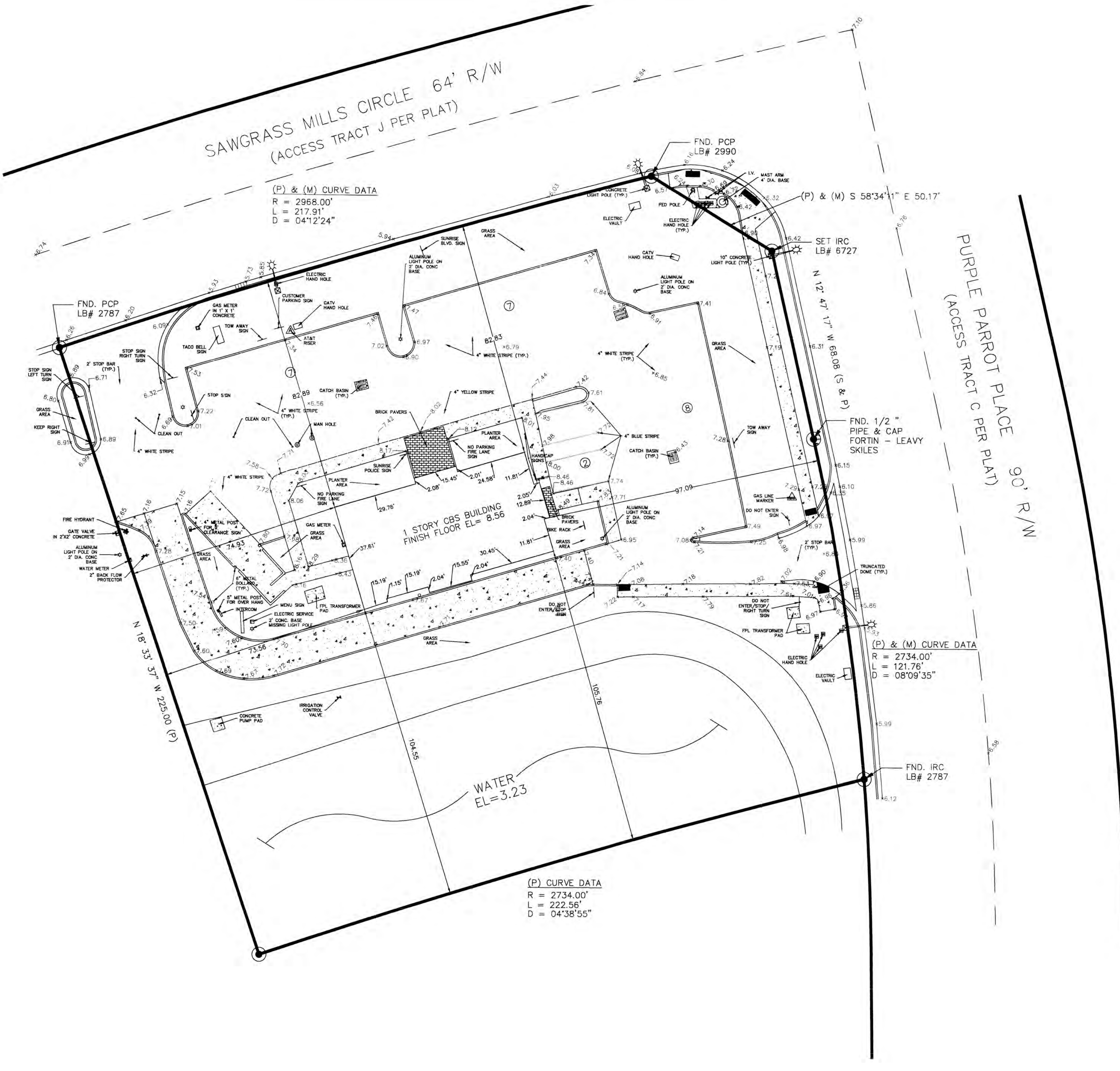


**TACO BELL REMODEL**  
 12575 WEST SUNRISE BOULEVARD  
 SUNRISE, FLORIDA 33323

COVER SHEET

SEAL	DATE:
	06/07/2021
	08/12/2021
	09/13/2021
DRAWING NO.	
	1



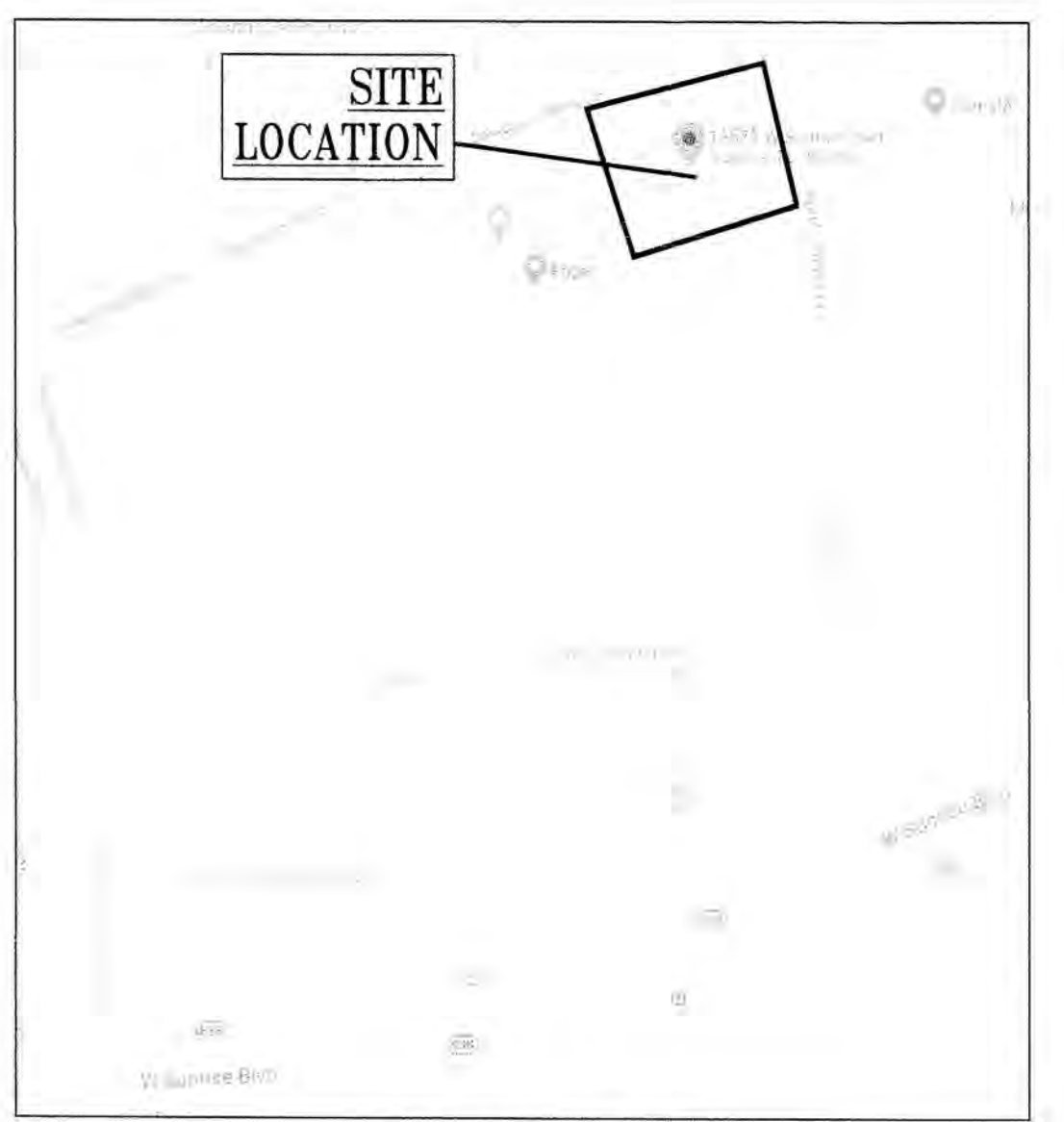


(P) & (M) CURVE DATA  
 R = 2968.00'  
 L = 217.91'  
 D = 04°12'24"

(P) & (M) S 58°34'11" E 50.17'

(P) & (M) CURVE DATA  
 R = 2734.00'  
 L = 121.76'  
 D = 08°09'35"

(P) CURVE DATA  
 R = 2734.00'  
 L = 222.56'  
 D = 04°38'55"



LOCATION MAP:  
 SCALE: NOT TO SCALE

**LEGEND:**

- ① DRAINAGE MANHOLE
- ② SANITARY MANHOLE
- ③ UNKNOWN MAN HOLE
- ④ SANITARY CLEANOUT
- ⊕ FIRE HYDRANT
- ⊕ FIRE DEPARTMENT CONNECTION
- BOLLARD
- METAL BOLLARD
- SIGN
- ⊕ WATER METER
- ⊕ GAS METER
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC SERVICE
- ⊕ AT&T RISER
- ⊕ GAS LINE MARKER
- ⊕ IRRIGATION VALVE
- ⊕ GATE VALVE
- PROPERTY CORNER
- ⊕ ALUMINUM LIGHT POLE ON 2" DIA. CONCRETE BASE
- ⊕ 10" CONCRETE LIGHT POLE
- ⊕ BACK FLOW PROTECTOR
- ⊕ PED POLE
- ⊕ ELECTRIC HAND HOLE
- ⊕ METAL POST
- ⊕ CATCH BASIN

**LEGAL DESCRIPTION:**

PARCEL R-7, OF SAWGRASS MILLS ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 137, PAGE 13, PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA

**SURVEY NOTES AND QUALIFICATIONS:**

1. THIS SURVEY MAP AND REPORT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF FLORIDA LICENSED SURVEYOR AND MAPPER WHICH CAN BE FOUND AT THE END OF THIS SURVEY.
2. EXPECTED USE OF PROPERTY IS COMMERCIAL. THE MINIMUM RELATIVE DISTANCE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY IS 1 FT. IN 10,000 FT. THE ACCURACY OBTAINED BY MEASUREMENT & CALCULATIONS WAS FOUND TO EXCEED THIS REQUIREMENT.
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR RIGHTS-OF-WAY OF RECORD.
4. PROPERTY ADDRESS: 12575 W SUNRISE BLVD, SUNRISE, FLORIDA 33323
5. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
6. BENCHMARK REFERENCE: BROWARD COUNTY BENCHMARK #3254, ELEVATION 8.736' (NAVD88)
7. BEARINGS SHOWN HEREON ARE BASED ON THE WESTERLY RIGHT OF WAY LINE OF PURPLE PARROT PLACE BEING SOUTH 12°47'17" EAST, AS PER PLAT BOOK 137, PAGE 13, BROWARD COUNTY, FLORIDA.
8. FLOOD ZONE "X" BASE ELEVATION NONE, CITY OF SUNRISE 10328, MAP #1201103340H INDEX DATE 8/18/2014.

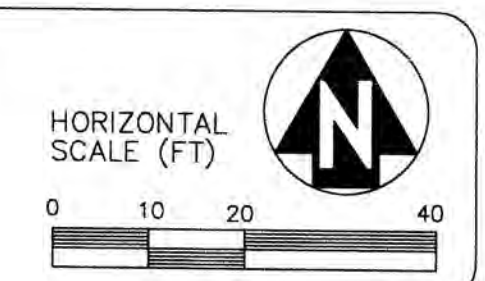
PREPARED BY:  
**DOUGLASS, LEAVY & ASSOCIATES INC.**  
 PROFESSIONAL SURVEYORS & MAPPERS  
 7914 WILES ROAD  
 CORAL SPRINGS, FLORIDA 33067  
 OFFICE: (954) 344-7994 FAX: (954) 344-2636  
 LICENSED BUSINESS No. 6727

PREPARED FOR:  
**FLORIDA BELLS LLC**  
 1340 HAMLET DRIVE  
 CLEARWATER, FLORIDA 33634

PROJECT:  
**TACO BELL**  
 12575 SUNRISE BLVD.  
 SUNRISE, FLORIDA  
**BOUNDARY SURVEY**

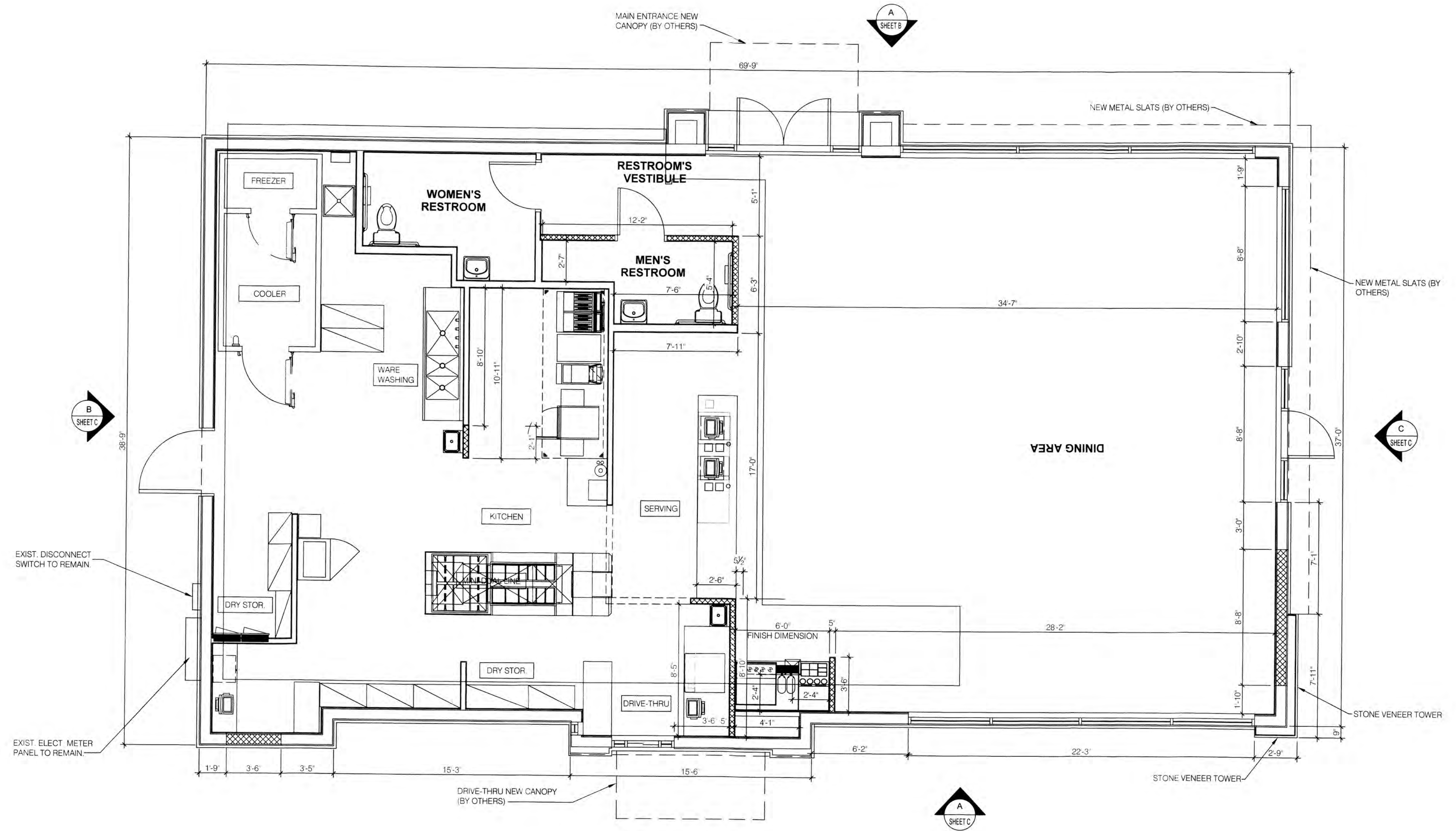
REVISIONS:	Date	Description	By
	9/18/21	ADD CL GRADES	SJD

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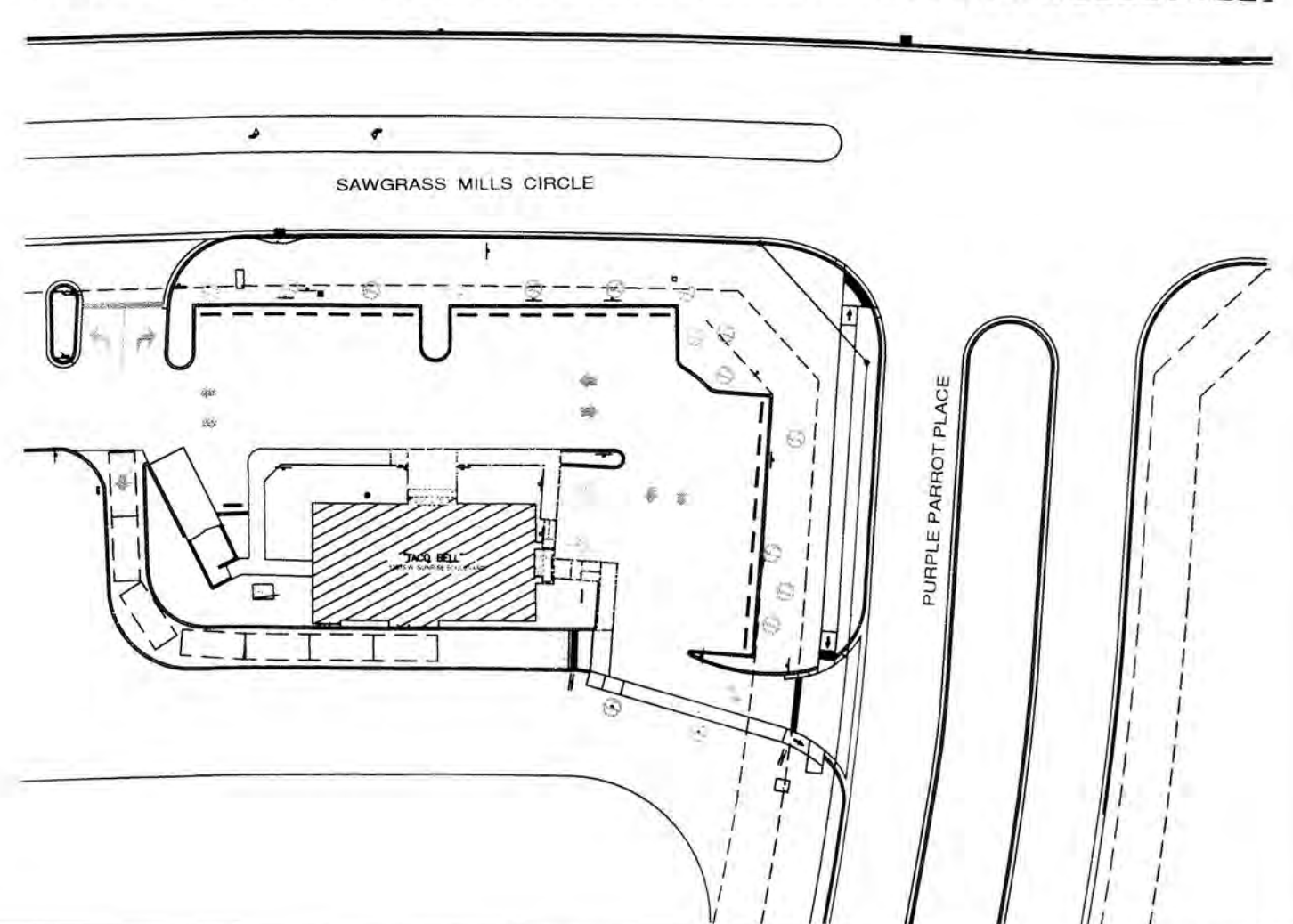


SEAL:  
 For the Firm  
 Scott J. Douglass  
 Professional Surveyor & Mapper  
 Florida Registration No. 4532





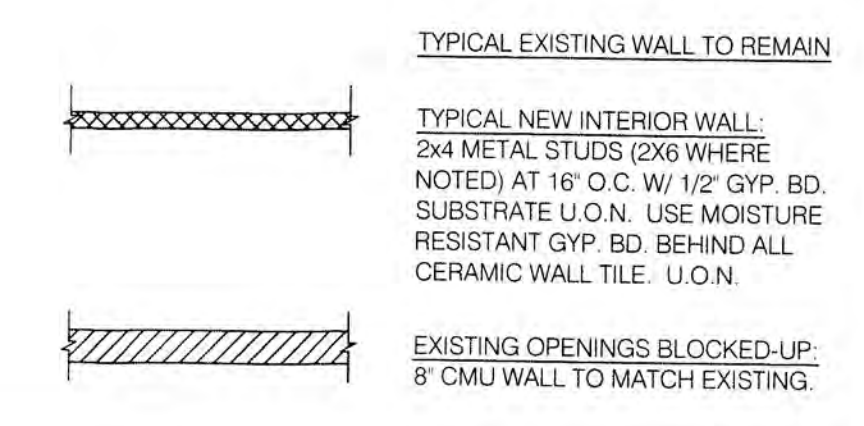
**FLOOR PLAN** 1/4" = 1'-0" **A**



**LOCATION KEY PLAN** **D**

TYPE	AREA
CUSTOMER SERVICE AREA	1,233 S.F.
SERV./KITCHEN AREA	780 S.F.
RESTROOMS	128 S.F.
RESTROOMS VESTIBULE	54 S.F.
STORAGE	112 S.F.
WALK-IN COOLER/FREEZER	86 S.F.
<b>BUILDING GROSS FOOTPRINT AREA:</b>	<b>2630 S.F.</b>
<b>SEATING:</b>	<b>74</b>

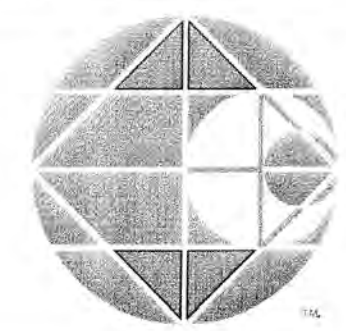
**NET AREAS CALCULATIONS** **C**



**WALL LEGEND** **B**

LEAVE BLANK - FOR CITY USE ONLY

**NOT USED** **E**



**GARCIA • GHEZZI**  
 ARCHITECTS INC.  
 MIAMI FLORIDA  
 13014 S.W. 120th STREET  
 TEL: 786-573-4466  
 AA 26001271



**TACO BELL REMODEL**  
 12575 WEST SUNRISE BOULEVARD  
 SUNRISE, FLORIDA 33323

**FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

SEAL

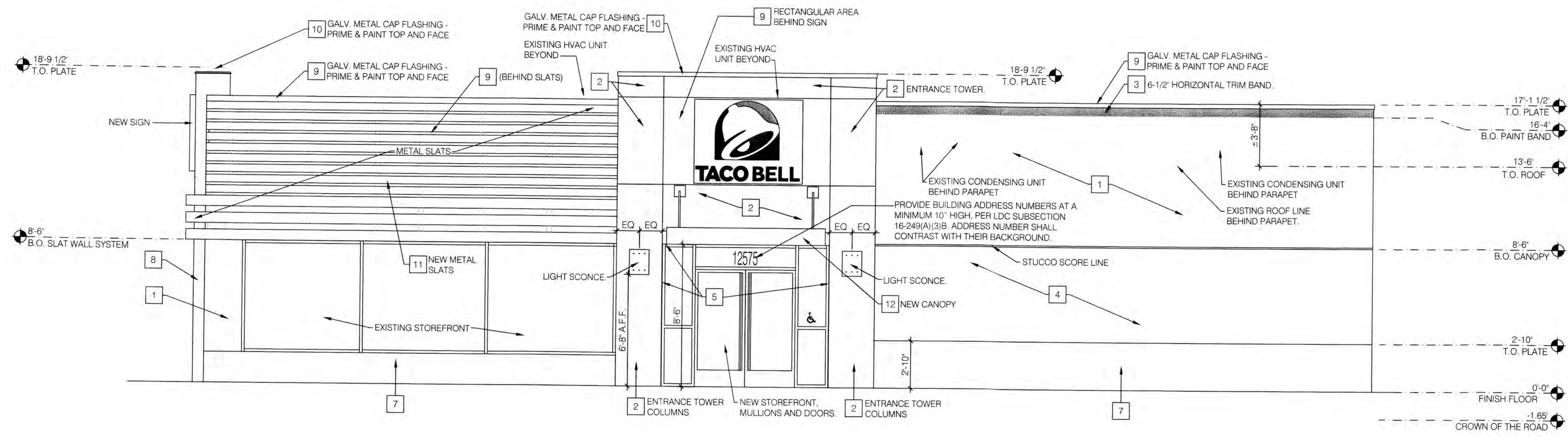
*Carmen T. Garcia*

DATE:  
 06/07/2021  
 08/12/2021  
 09/13/2021  
 09/28/2021

DRAWING NO.  
**A**

Carmen T. Garcia, R.A.  
 Fla. AR 0013042





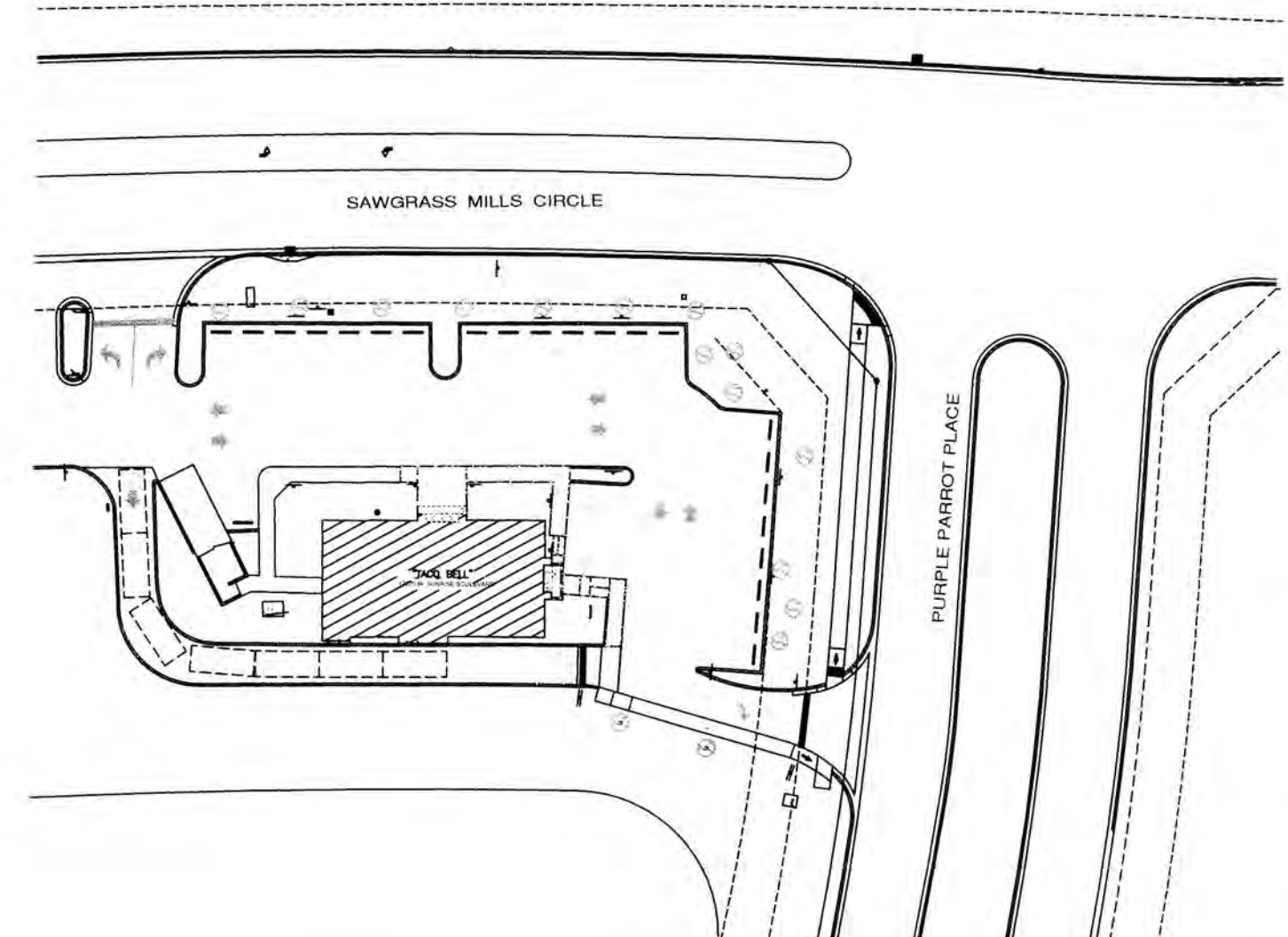
TOTAL NORTH ELEVATION SQ. FOOTAGE: 1219.10 SQ. FT.  
 PURPLE TRIM BAND TOTAL SQUARE FOOTAGE: 15.29 SQ. FT.  
 PERCENTAGE OF PURPLE COLOR: 1.25 %

**NORTH SIDE ELEVATION** 1/4"=1'-0" **A**

EXTERIOR FINISH SCHEDULE				
SYMBOL	AREA	MANUFACTURER	COLOR	REMARKS
1	E.I.F.S. STUCCO WALL	SHERWIN WILLIAMS	PAINT SW7042 SHOJI WHITE	
2	ACCENT E.I.F.S. STUCCO WALL	SHERWIN WILLIAMS	PAINT SW7024 FUNCTIONAL GRAY	
3	E.I.F.S. STUCCO TRIM BAND	SHERWIN WILLIAMS	PANTONE 2603C PURPLE	
4	E.I.F.S. STUCCO WALL	SHERWIN WILLIAMS	PAINT SW7043 WORDLY GREY	
5	INTERIOR SIDE OF E.I.F.S. ARCHWAY BAND AT TOWER	SHERWIN WILLIAMS	PAINT SW7024 FUNCTIONAL GRAY	
6	METAL SERVICE DOOR & ELECTRICAL SERVICE	SHERWIN WILLIAMS	PAINT SW 2806 ROOKWOOD BROWN	
7	STONE VENEER WAINSCOT	CULTURED STONE	SOUTHERN LEDGESTONE 'BUCKS COUNTRY'	
8	STONE VENEER CORNER TOWER	CULTURED STONE	SOUTHERN LEDGESTONE 'BUCKS COUNTRY'	
9	E.I.F.S. STUCCO WALL & PARAPET CAP FLASHING	SHERWIN WILLIAMS	TB - WHITE PAINT	
10	CONTINUOUS PARAPET CAP FLASHING	SHERWIN WILLIAMS	PAINTED SW7069 IRON ORE	
11	METAL SLATS	SHERWIN WILLIAMS	PAINTED SW7069 IRON ORE	
12	METAL CANOPY	SHERWIN WILLIAMS	PAINTED SW7076 CYBERSPACE	

APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
 PRIMER: 1 COAT SW A24W1100, LOXON CONDITIONER  
 PRIMER: 2 COATS SW A82-100 SERIES, A-100 EXTERIOR LATEX SATIN

**EXTERIOR FINISH SCHEDULE** **H**



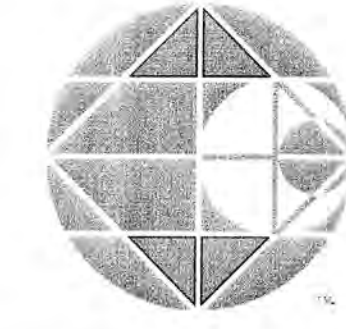
**LOCATION KEY PLAN** **F**

- NOTES:**
- ALL EXISTING MECHANICAL EQUIPMENT IS EXISTING TO REMAIN. EXISTING UNITS WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.
  - SIGNAGE IS SUBJECT TO REVIEW BY SEPARATE PERMIT APPLICATION.
  - WHERE ACCENT LIGHTING IS USED, THE MAXIMUM ILLUMINATION ON ANY VERTICAL SURFACE OR ANGULAR ROOF SURFACE SHALL NOT EXCEED 5.0 AVERAGE MAINTAINED FOOTCANDLES. BUILDING FACADE AND ACCENT LIGHTING WILL BE COMPATIBLE IN DESIGN AND LOCATED, AIMED, AND SHIELDED SO THAT LIGHT IS DIRECTED ONLY ONTO THE BUILDING FACADE AND SPILLOVER LIGHT MINIMIZED AS PER SUBSECTION 16-140(4) OF THE LDC.
  - PROVIDE BUILDING ADDRESS NUMBERS AT A MINIMUM 10" HIGH, PER LDC SUBSECTION 16-249(A)(3)B. ADDRESS NUMBER SHALL CONTRAST WITH THEIR BACKGROUND.

**ELEVATIONS' NOTES** **D**

LEAVE BLANK - FOR CITY USE ONLY

**NOT USED** **C**



**GARCIA · GHEZZI**  
 ARCHITECTS INC.  
 MIAMI FLORIDA  
 13014 S.W. 120th STREET  
 TEL: 786-573-4466  
 AA 26001271



**TACO BELL REMODEL**  
 12575 WEST SUNRISE BOULEVARD  
 SUNRISE, FLORIDA 33323

**EXTERIOR ELEVATIONS**

SCALE: 1/4"=1'-0"

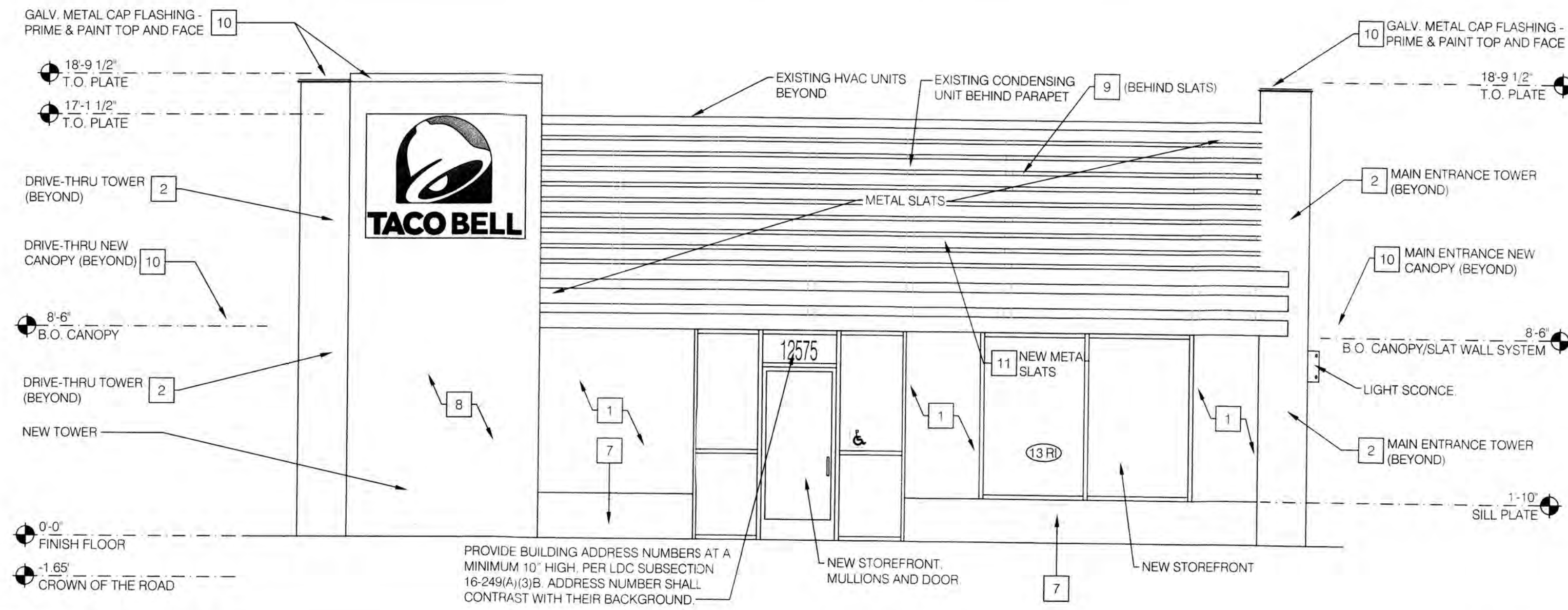
SEAL  
*Carmen T. Garcia*  
 R.A.

DATE:  
 06/07/2021  
 08/12/2021  
 09/13/2021  
 09/28/2021

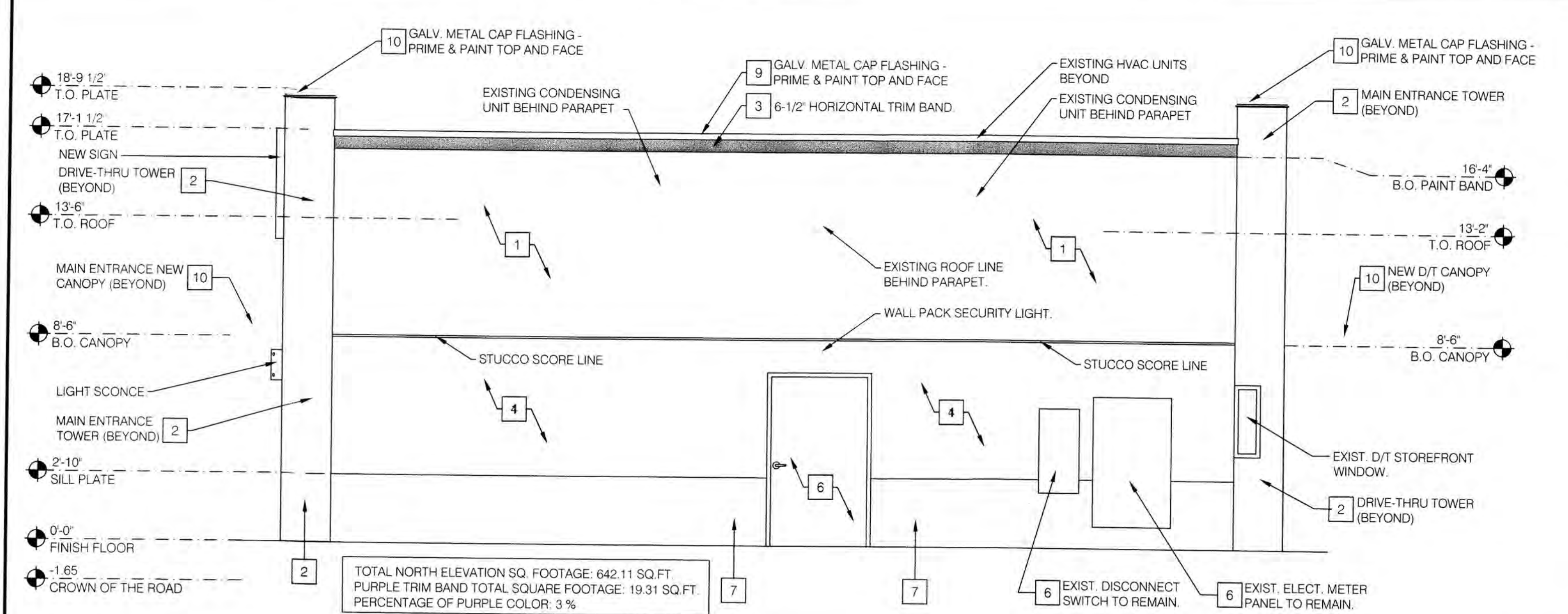
DRAWING NO.  
**B**

Carmen T. Garcia R.A.  
 Fla. AR 0013042

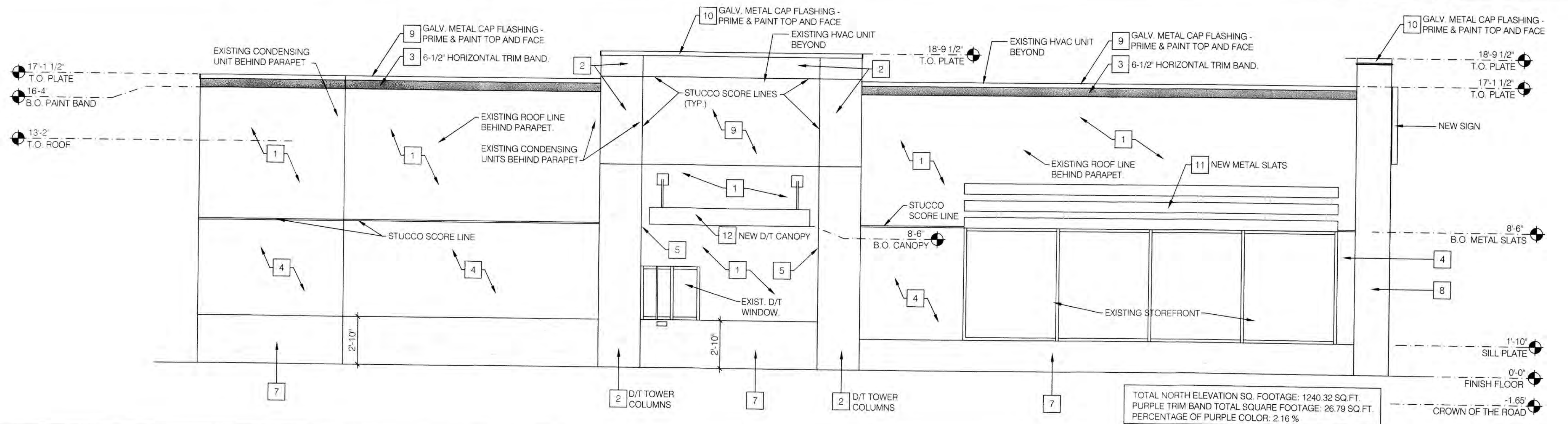




**EAST FRONT ELEVATION** 1/4" = 1'-0" **C**



**WEST REAR ELEVATION** 1/4" = 1'-0" **B**



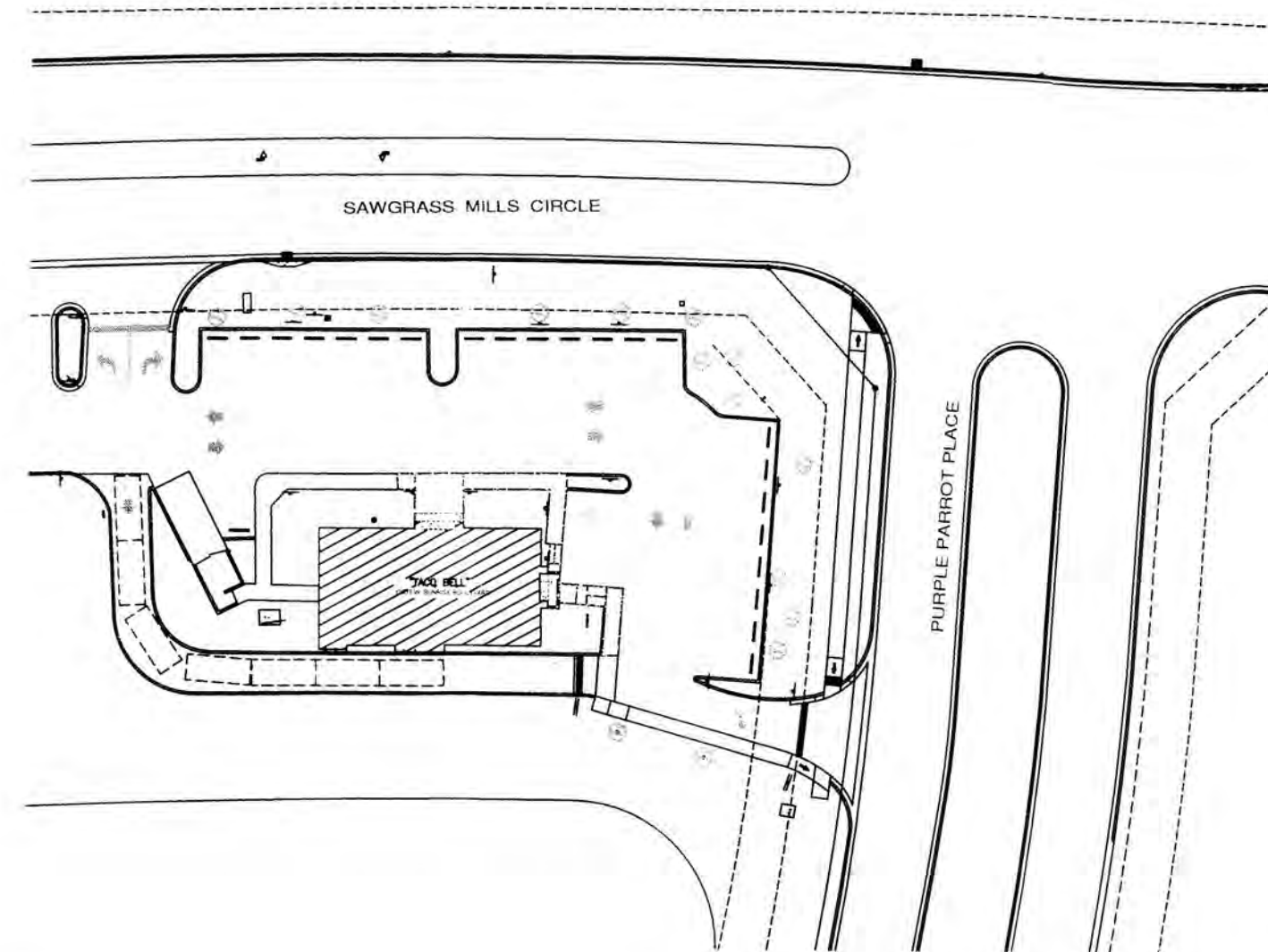
**SOUTH SIDE ELEVATION** 1/4" = 1'-0" **A**

**EXTERIOR FINISH SCHEDULE**

SYMBOL	AREA	MANUFACTURER	COLOR	REMARKS
1	E.I.F.S. STUCCO WALL	SHERWIN WILLIAMS	PAINT SW7042 SHOJI WHITE	
2	ACCENT E.I.F.S. STUCCO WALL	SHERWIN WILLIAMS	PAINT SW7024 FUNCTIONAL GRAY	
3	E.I.F.S. STUCCO TRIM BAND	SHERWIN WILLIAMS	PANTONE 2803C PURPLE	
4	E.I.F.S. STUCCO WALL	SHERWIN WILLIAMS	PAINT SW7043 WORDLY GREY	
5	INTERIOR SIDE OF E.I.F.S. ARCHWAY BAND AT TOWER	SHERWIN WILLIAMS	PAINT SW7024 FUNCTIONAL GRAY	
6	METAL SERVICE DOOR & ELECTRICAL SERVICE	SHERWIN WILLIAMS	PAINT SW 2806 ROOKWOOD BROWN	
7	STONE VENEER WAINSCOT	CULTURED STONE	SOUTHERN LEDGESTONE 'BUCKS COUNTRY'	
8	STONE VENEER CORNER TOWER	CULTURED STONE	SOUTHERN LEDGESTONE 'BUCKS COUNTRY'	
9	E.I.F.S. STUCCO WALL & PARAPET CAP FLASHING	SHERWIN WILLIAMS	TB - WHITE PAINT	
10	CONTINUOUS PARAPET CAP FLASHING	SHERWIN WILLIAMS	PAINTED SW7069 IRON ORE	
11	METAL SLATS	SHERWIN WILLIAMS	PAINTED SW7069 IRON ORE	
12	METAL CANOPY	SHERWIN WILLIAMS	PAINTED SW7076 CYBERSPACE	

APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.  
 PRIMER: 1 COAT SW A24W1100, LOXON CONDITIONER  
 PRIMER: 2 COATS SW A82-100 SERIES, A-100 EXTERIOR LATEX SATIN

**EXTERIOR FINISH SCHEDULE** **G**



**LOCATION KEY PLAN** **F**

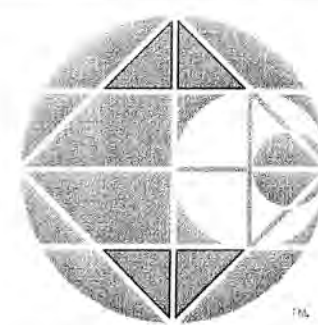
**NOTES:**

1. ALL MECHANICAL EQUIPMENT LOCATED ON THE ROOF OR GROUND WILL BE FULLY SCREENED BY PARAPETS OR EQUIPMENT SCREENS THAT ARE EQUAL IN HEIGHT OR TALLER THAN THE EQUIPMENT. THE EQUIPMENT WILL ALSO BE BUFFERED TO MITIGATE NOISE.
2. SIGNAGE IS SUBJECT TO REVIEW BY SEPARATE PERMIT APPLICATION.
3. WHERE ACCENT LIGHTING IS USED, THE MAXIMUM ILLUMINATION ON ANY VERTICAL SURFACE OR ANGULAR ROOF SURFACE SHALL NOT EXCEED 5.0 AVERAGE MAINTAINED FOOTCANDLES. BUILDING FACADE AND ACCENT LIGHTING WILL BE COMPATIBLE IN DESIGN AND LOCATED, AIMED, AND SHIELDED SO THAT LIGHT IS DIRECTED ONLY ONTO THE BUILDING FACADE AND SPILLOVER LIGHT MINIMIZED AS PER SUBSECTION 16-140(4) OF THE LDC.
4. PROVIDE BUILDING ADDRESS NUMBERS AT A MINIMUM 10" HIGH. PER LDC SUBSECTION 16-249(A)(3)B. ADDRESS NUMBER SHALL CONTRAST WITH THEIR BACKGROUND.

**ELEVATIONS' NOTES** **D**

**NOT USED** **E**

LEAVE BLANK - FOR CITY USE ONLY



**GARCIA • GHEZZI**  
 ARCHITECTS INC.  
 MIAMI FLORIDA  
 13014 S.W. 120th STREET  
 TEL: 786-573-4466  
 AA 26001271



**TACO BELL REMODEL**  
 12575 WEST SUNRISE BOULEVARD  
 SUNRISE, FLORIDA 33323

**EXTERIOR ELEVATIONS**  
 SCALE: 1/4" = 1'-0"

SEAL  
  
 DATE  
 06/07/2021  
 08/12/2021  
 09/13/2021  
 09/28/2021  
 DRAWING NO.  
**C**  
 Carmen T. Garcia, R.A.  
 Fla. AR 0013042





## **STAFF REPORT**

### **SAWGRASS TECHNOLOGY PARK BUILDING "G" MODIFICATIONS (REVISED SITE PLAN)**

#### **Summary**

This is an application for a Revised Site Plan approval for exterior modifications to an existing building. The subject property is located at 1637 NW 136 Avenue, within the Sawgrass Technology Park (the "Park"), at the southwest corner of NW 136 Avenue and W. Sunrise Boulevard, as shown on the location map. The applicant is proposing to add thirteen (13) new window openings and one (1) exterior door onto the existing north and east elevations of Building "G". In addition, the applicant is proposing to add a sidewalk and walkway from adjacent parking spaces to the proposed exterior door. The property is zoned I-1 (Light Industrial District) within the Western Sunrise Entertainment District of the Western Sunrise Area, and the underlying land use is LAC (Local Activity Center) on the City's Future Land Use Map. The Revised Site Plan requires City Commission approval per Section 16-32 of the Land Development Code (LDC).

#### **General Information**

On March 2, 1982, the City of Sunrise City Commission approved the Park's Site Plan via Resolution No. 82-30. Since 1982, the Park has had multiple Site Plan updates.

Properties along the north of the Park are zoned PDD (Planned Development District), R/OS (Recreation/Open Space District) and B-3 (General Business District), within the Western Sunrise Entertainment District of the Western Sunrise Area and consist of vacant property, lakes and retail establishments. To the east of the Park is a Sam's Club and American Express offices zoned B-3 and B-4 (Professional Office District) within the Western Sunrise Area. To the south of the Park are warehouses, offices and lakes zoned I-1 (Light Industrial District) and R/OS within the Western Sunrise Area. Properties west of the Park are zoned B-3, I-1, R/OS, and PDD (Planned Development District) within the Western Sunrise Entertainment District of the Western Sunrise Area and include various office uses, vacant property and lakes.

The subject property is also located within the Westerra Development of Regional Impact (DRI). The City Commission approved the DRI Development Order on March 2, 1982, via Ordinance No. 237.



**Project Description**

The applicant proposes exterior modifications to one (1) of the single-story buildings, identified as Building “G”, generally located within the center of the fifty-six (56)-acre Park property. Specifically, the modifications will be to the north and east elevations of Building “G” and will consist of adding three (3) windows to the north exterior wall and ten (10) windows and one (1) door to the east exterior wall. A sidewalk and walkway will be added from the parking spaces immediately in front of the proposed door for access. Currently the subject area has no openings on the walls and no access to and from the adjacent parking lot. Overall, the proposed modifications will continue to be consistent with the finishes of the existing building, including the exposed concrete and Chattahoochee features as well as the design of the new door and windows.

Staff notes the modifications will not change the overall building area. As such, the proposed Revised Site Plan does not include any changes to the existing parking areas and the Park will continue satisfying the total amount of parking spaces required by the LDC.

**Staff Evaluation**

Staff has reviewed the Revised Site Plan and find it consistent with the Land Development Code and underlying DRI.

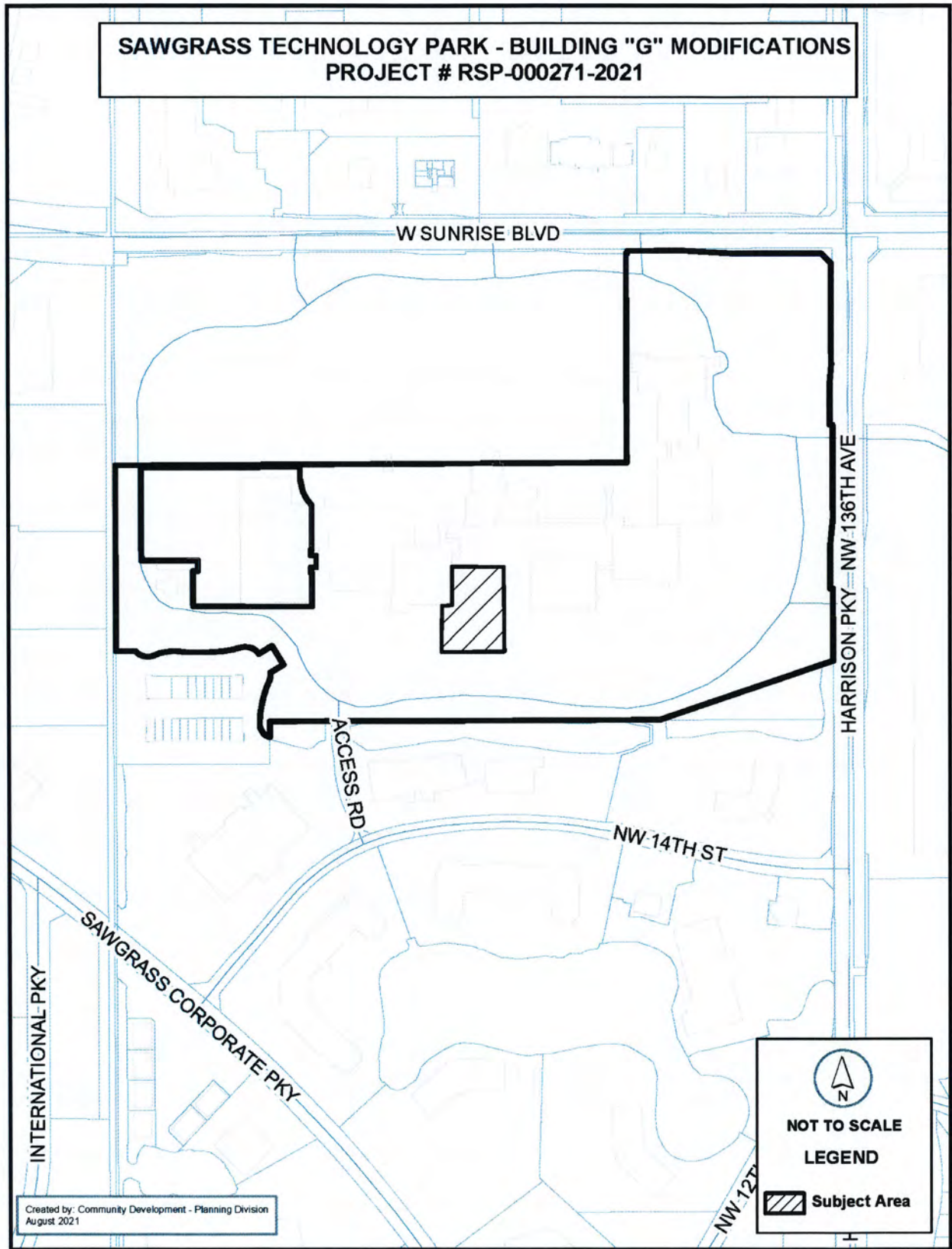
**Staff Recommendation to the Planning and Zoning Board, October 7, 2021**

This application meets all applicable Land Development Code requirements. Therefore, Staff recommends approval.

Planner: Sylvia Miller   
File No. RSP-000271-2021 (80:6011)



**Location Map**





BOCA RATON  
FT. LAUDERDALE  
JACKSONVILLE  
KEY LARGO  
MIAMI  
ORLANDO  
PALM BEACH



**GUNSTER**  
FLORIDA'S LAW FIRM FOR BUSINESS

STUART  
TALLAHASSEE  
TAMPA  
VERO BEACH  
WEST PALM BEACH  
WINTER PARK

July 16, 2021  
REVISED August 26, 2021

City of Sunrise  
Community Development Department

SEP 02 2021

RECEIVED

City of Sunrise  
Community Development Department  
Planning Division  
Attention: Sylvia S. Miller, AICP, Assistant City Planner  
1601 NW 136 Avenue, Building A  
Sunrise, FL 33323

**RE: Letter of Intent - Site Plan Modifications  
Sawgrass Technology Park Building G Windows Installation**

Dear Ms. Miller:

Pursuant to City Code Section 16-32 of the City's Land Development Code ("LDC") and on behalf of BOF FL Sawgrass Tech Park LLC ("Applicant"), we hereby submit this Application for for Site Plan Modification ("Application"). The Applicant is the fee title owner of 56 acres of real property generally located at 1601-1699 NW 136 Avenue (Folio # 4940 34 02 0012) ("Subject Property") in the City of Sunrise ("City"). The Subject Property is designated with the Local Activity Center ("LAC") future land use designation on the City's Future Land Use Map ("FLUM") and located within the Light Industrial ("I-1") zoning district on the City's official Zoning Map. The Subject Property is currently improved with numerous interconnected one-story and two-story structures that form the Sawgrass Technology Park (the "Park").

By way of background, the Park was constructed in 1984-85 following the adoption of City Resolution 82-30 approving a final site plan. The final site plan has been amended and revised several times since its initial approval. The current final site plan was approved by the City's Community Development Department on April 30, 2021. The instant application seeks to amend that approval.

Over the past 35 years, the Park has been home to many of the City's largest employers, including Ford, Fidelity Information Systems, AT&T, American Express, Harris Corporation, Xerox and TicketMaster. However, as with any facility of its age, the Park needs to be updated. Once the Subject Property was recently acquired, the Applicant immediately initiated a reinvestment program to enhance the Park in various ways and create a more modern facility with new tenant amenities, better aesthetic elements, and improved function. The various improvements are



Page 2

July 16, 2021

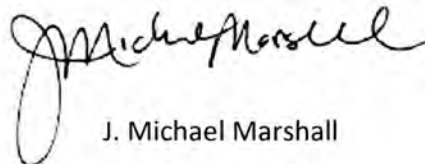
REVISED August 26, 2021

scattered throughout the Park and vary in scope. The site plan modification proposed in this Application concerns Building G. Photographs of the north and east facades of Building G is attached hereto as Exhibit A. The photographs illustrate the building's current condition – essentially, concrete tilt wall panels and exposed concrete beams with a small number of existing storefront windows.

As proposed, the north and east facades of Building G (1637) will continue to feature exposed concrete beams and concrete tilt wall panels, and the existing storefront windows will remain. However, and as depicted on the attached plan sheet A-3.2 (attached hereto as Exhibit B), the facades will be complemented by the addition of thirteen (13) new aluminum, impact resistant thermal storefront windows and one (1) new aluminum, impact resistant thermal storefront exterior door with a sidelight. Additionally, the new door will align with a new concrete sidewalk that extends to the adjacent parking area and run across the top of the nearest bank of parking spaces. Due to an existing light pole, the sidewalk will be widened at that point to maintain minimum walking clearance.

The proposed site plan modifications described herein and presented on the enclosed revised site plan sheets are in complete conformance with all provisions of the City's LDC that govern site plan modifications. Notably, the proposed site plan modifications were previously subjected to months of review and comment from the professional staff in the City's Building Department before it was withdrawn to allow for an interim administrative site plan modification. It is the Applicant's understanding that all review comments have been satisfactorily resolved. Therefore, the Applicant respectfully submits that the instant Application should be reviewed as expeditiously as possible and presented at the requisite public hearings so that permits may thereafter be issued.

Thank you,

A handwritten signature in black ink, appearing to read "J. Michael Marshall". The signature is fluid and cursive, with a large loop at the end of the last name.

J. Michael Marshall



FLORIDA CORPORATE LICENSE No. AAC091495  
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WRITTEN CONSENT OF KRAVIT ARCHITECTURAL ASSOCIATES, INC.

**PROJECT**

SAWGRASS TECHNOLOGY PARK  
WINDOW ADDITIONS  
BUILDING G

1655 NW 136TH AVENUE  
SUNRISE  
FLORIDA

**CD DEVELOPMENT REVISIONS**

No.	DATE	DESCRIPTION
△A		
△B		
△C		

**PERMIT REVISIONS**

No.	DATE	DESCRIPTION
△1		
△2		
△3		

**CONSTRUCTION PHASE REVISIONS**

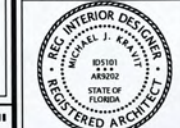
No.	DATE	DESCRIPTION
△A		
△B		
△C		

**PROJECT PHASE**

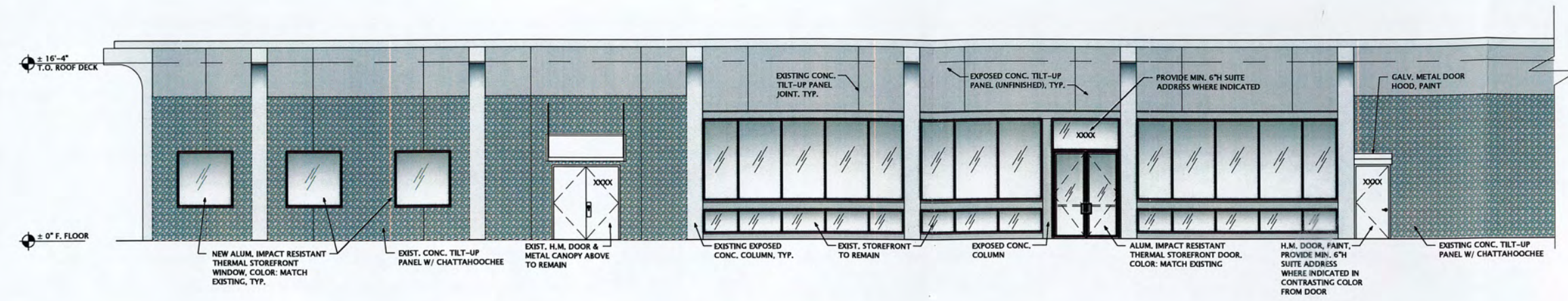
- SITE PLANNING
- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DOCUMENTS

**PROPOSED EXTERIOR ELEVATIONS**

PROJECT NUMBER: STC163705  
ISSUED: 03/30/20  
DRAWN BY: CFR/EMG  
CHECKED BY: MJK  
FILENAME: STC163705ARCH DRC.dwg



SHEET  
**A-3.2**



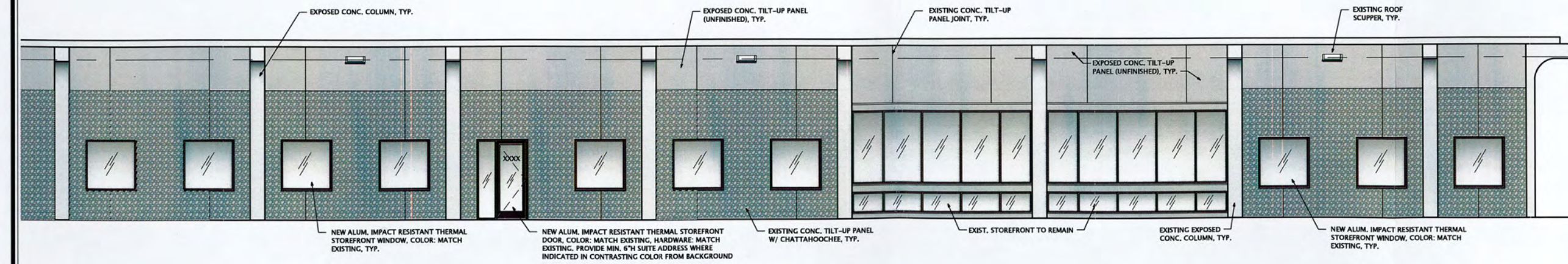
SW 7029 Agreeable Gray 243-C1	SW 6092 Lightweight Beige 200-C1
-------------------------------------	--

*Trim*

*Body*

01 PARTIAL PROPOSED COLORED NORTH ELEVATION

3/16" = 1'-0"



02 PARTIAL PROPOSED COLORED EAST ELEVATION

3/16" = 1'-0"



**Photos From Daily Log**

Description

Taken Date

**2020/02/08 07:41:28**

Upload Date

**2020/02/14 16:09:07**

Uploaded By

**Michael DiPrima Jr.**

File Name

**IMG\_1279.JPG**



**Unclassified**

Description

Taken Date

**2020/02/08 07:39:35**

Upload Date

**2020/02/14 16:09:07**

Uploaded By

**Michael DiPrima Jr.**

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**IMG\_1278.JPG**





**Unclassified**

Description

Taken Date  
**2020/02/08 07:38:55**

Upload Date  
**2020/02/14 16:09:08**

Uploaded By  
**Michael DiPrima Jr.**

File Name  
[IMG\\_1277.JPG](#)



**Unclassified**

Description

Taken Date  
**2020/02/08 07:38:37**

Upload Date  
**2020/02/14 16:09:08**

Uploaded By  
**Michael DiPrima Jr.**

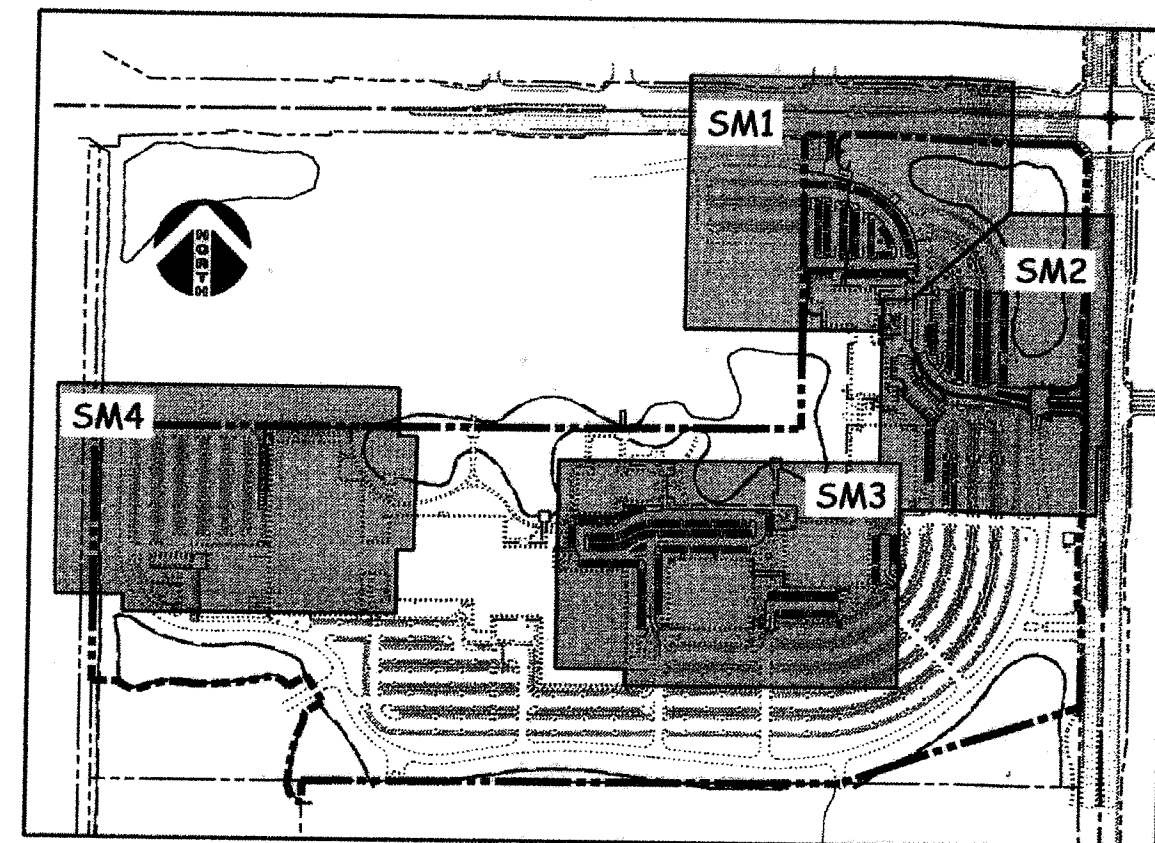
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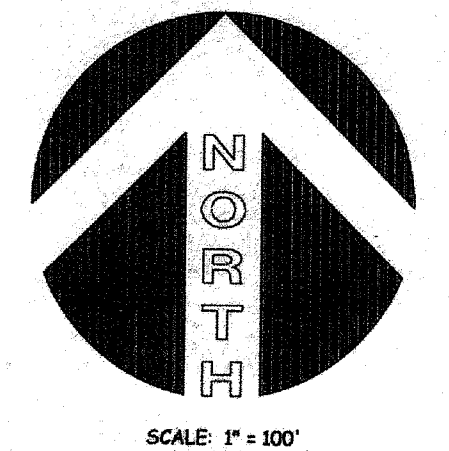
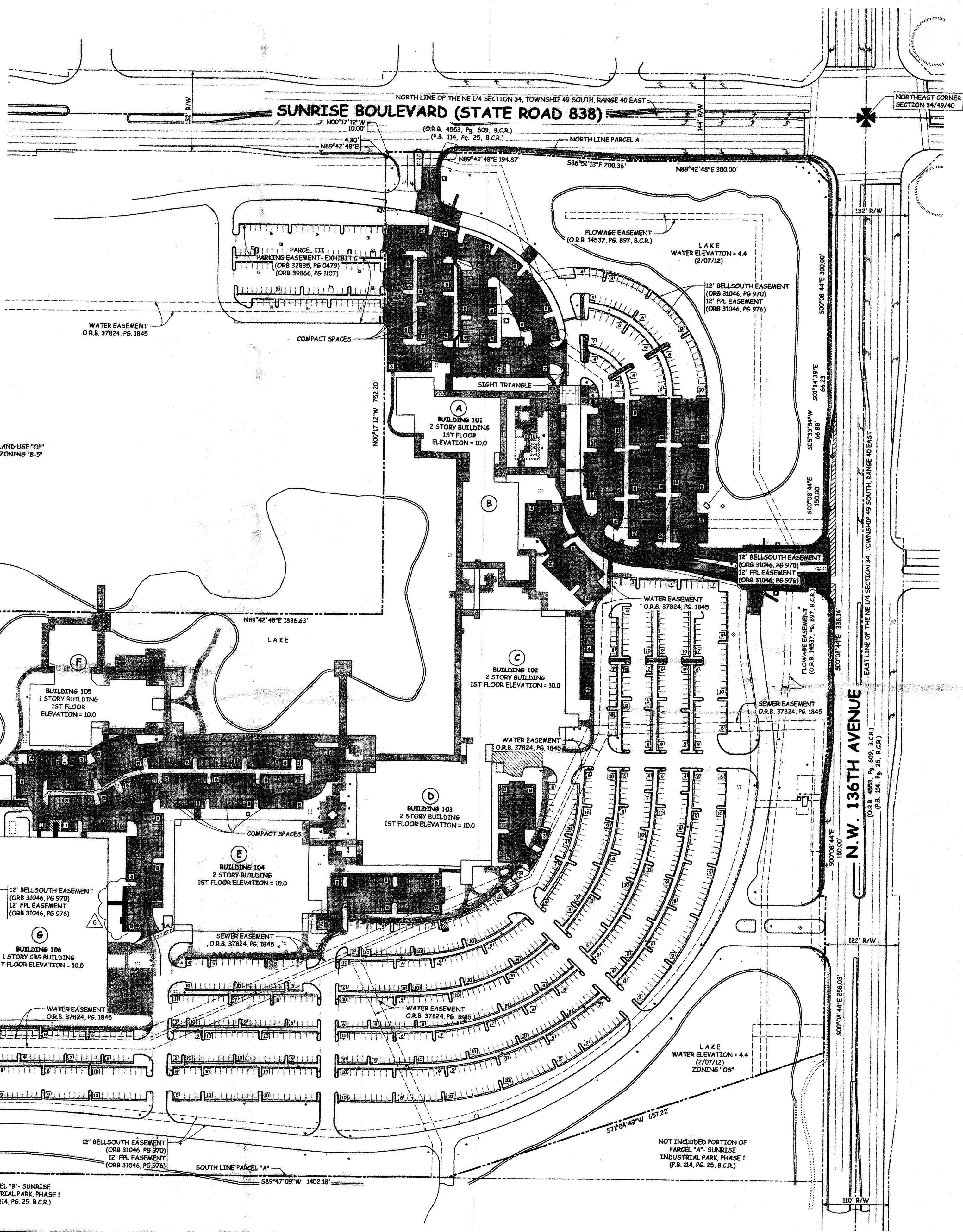




KEY MAP  
SCALE: 1" = 500'

LEGEND		ABBREVIATIONS	
[Symbol]	EXISTING/PROPOSED PAVEMENT	P.B.	PLAT BOOK
[Symbol]	EXISTING/PROPOSED CONCRETE	Pg.	PAGE
[Symbol]	TYPE 'D' CURB	R/W	RIGHT-OF-WAY
[Symbol]	TYPE 'F' CURB & GUTTER	F.F.	FINISHED FLOOR
[Symbol]	EXISTING CURBING	O.R.B.	OFFICIAL RECORD BOOK
[Symbol]	EXISTING EDGE OF WATER	B.C.R.	BROWARD COUNTY RECORDS
[Symbol]	PROPERTY LINE	FH	FIRE HYDRANT
[Symbol]	EXISTING TOP OF BANK	FDC	FIRE DEPARTMENT CONNECTION
[Symbol]	RIGHT-OF-WAY/ PARCEL LINE	F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
[Symbol]	EASEMENT LINE		
[Symbol]	CENTER LINE		
[Symbol]	EXISTING/PROPOSED PAVERS		

- NOTES:**
- REFER TO SUNRISE INDUSTRIAL PARK PHASE I (PLAT BOOK 114, PAGE 25) FOR ADDITIONAL DIMENSION, BEARINGS, PARCEL INFORMATION, ETC.
  - REFER TO SURVEY PREPARED BY CRAIG A. SMITH & ASSOCIATES FOR ADDITIONAL INFORMATION ON EXISTING IMPROVEMENTS AND UTILITIES.
  - REFER TO PAVEMENT MARKINGS & SIGNAGE PLANS FOR ADDITIONAL INFORMATION ON PAVEMENT MARKINGS & SIGNAGE.
  - ALL ELEVATION SHOWN REPRESENT NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. - 29).
  - "2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION" ADOPTED PURSUANT TO SECTION 503.503, FLORIDA STATUTES, BASED ON THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN WAS UTILIZED FOR SITE DESIGN. REVISED 9/28/20 PER FLORIDA BUILDING CODE 7TH ED. (2020) - ACCESSIBILITY.
  - MONUMENT SIGN APPROVED UNDER A SEPARATE PERMIT.



SCALE: 1" = 100'  
(FOR 14" X 20" DRAWING)

PERVIOUS/IMPERVIOUS SITE DATA			
AREA	SQ. FT.	ACRES	%
PAVEMENT	923,327	21.20	33.91
SIDEWALK/CONCRETE	90,213	2.07	3.31
LAKE	395,220	8.72	13.14
BUILDING	442,891	10.17	16.27
COVERED WALK	48,366	1.11	1.78
MISC. IMPERVIOUS	26,785	0.61	0.98
<b>TOTAL IMPERVIOUS</b>	<b>1,889,803</b>	<b>43.38</b>	<b>69.41</b>
<b>TOTAL PERVIOUS</b>	<b>832,721</b>	<b>19.12</b>	<b>30.59</b>
<b>TOTAL (NET AND GROSS)</b>	<b>2,722,524</b>	<b>62.50</b>	<b>100.00</b>

1ST FLOOR			
AREA	SQ. FT.	FAR	REQ'D
BUILDING 101 (OFFICE)	30,800	250	124
BUILDING 102 (OFFICE)	36,625	250	147
BUILDING 103 (OFFICE)	37,365	250	150
BUILDING 104 (OFFICE)	38,990	250	156
BUILDING 106 (OFFICE)	25,990	250	103
BUILDING 107 (OFFICE)	61,966	250	248
BUILDING 108 (OFFICE)	38,965	250	156
BUILDING 108 (INDUSTRIAL)	45,000	250	180
BUILDING 109 (INDUSTRIAL)	16,279	600	28
BUILDING 109 (INDUSTRIAL)	104,400	600	174
BUILDING 111 (REPAIR)	2,910	600	3
BUILDING 111A (STORAGE)	2,539	1200	3
TOWER C-1 (OFFICE)	908	250	4
TOWER D-1 (OFFICE)	908	250	4
TOWER E-1 (OFFICE)	908	250	4
TOWER F-1 (OFFICE)	676	250	3
TOWER H-1 (OFFICE)	762	250	4
<b>TOTAL 1ST FLOOR</b>	<b>445,847</b>	<b>N/A</b>	<b>1,493</b>

2ND FLOOR			
AREA	SQ. FT.	FAR	REQ'D
BUILDING 101 (OFFICE)	29,805	250	120
BUILDING 102 (OFFICE)	40,816	250	164
BUILDING 103 (OFFICE)	40,812	250	163
BUILDING 104 (OFFICE)	40,802	250	163
BUILDING 107 (OFFICE)	36,488	250	146
BUILDING 109 (INDUSTRIAL)	27,445	600	46
<b>TOTAL 2ND FLOOR</b>	<b>187,923</b>	<b>N/A</b>	<b>500</b>
<b>TOTAL SPACES REQUIRED</b>	<b>633,770</b>	<b>N/A</b>	<b>2,293</b>

AREA		No.
TOTAL STANDARD PARKING SPACES		2,422
TOTAL PARALLEL SPACES		0
TOTAL COMPACT SPACES		80
TOTAL DISABLED SPACES		49
TOTAL PARKING PROVIDED (EXCLUDES PARALLEL & COMPACT)		2,471
TOTAL PARKING SPACES OFF-SITE (PARCEL III PARKING EASEMENT)		128
TOTAL PARKING PROVIDED (ALL SPACES)		2,679
TOTAL PARKING LOST PER SITE PLAN MODIFICATION		2

ZONING: I-1 (LIGHT INDUSTRIAL)  
FUTURE LAND USE: LOCAL ACTIVITY CENTER  
LEAVE BLANK - FOR CITY USE ONLY

SAWGRASS INTERNATIONAL (P.B. 117, PG. 25, B.C.R.)  
WEST LINE NE 1/4 SECTION 34/49/40  
N 0°07'35"W 467.33'  
CANAL WATER ELEVATION = 4.4 (2/07/12)  
58°52'07"W 61.54'

NOT INCLUDED  
PORTION AT SAWGRASS OWNERS ASSOCIATION, INC. FOLIO # 494034050230

NOT INCLUDED PORTION OF PARCEL "A", SUNRISE INDUSTRIAL PARK PHASE I (P.B. 114, PG. 25, B.C.R.)

NO.	REVISIONS	DATE
1	REVISE PER CITY COMMENTS	08/25/21
2	ADD SIDEWALK, CURB & MULTIPLE WINDOWS AT NE AREA OF BUILDING C	08/30/21
3	REVISE PER CITY COMMENTS	09/01/21
4	ADMIN. REVIEW OF MINOR SITE PLAN MODIFICATIONS	09/28/20
5	REVISE NORTH PARKING LOT ENTRANCE	04/07/20
6	REVISE PER CITY COMMENTS	08/11/24



**WINNINGHAM & FRADLEY, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
111 N.E. 44th STREET, OAKLAND PARK, FL 33334 954-771-7440 FAX: 954-771-0258 www.winninghamfradley.com

**UNGER ENGINEERING SERVICES, INC.**  
CRAIG S. UNGER, P.E.  
2900 N.E. 14th STREET CAUSEWAY #903, POMPANO BEACH, FL 33062  
TEL: 954-769-0880 • CELL: 954-270-8000 • FAX: 954-946-7175 • unger@ungeres.com • CA, LIC. NO.: 4037

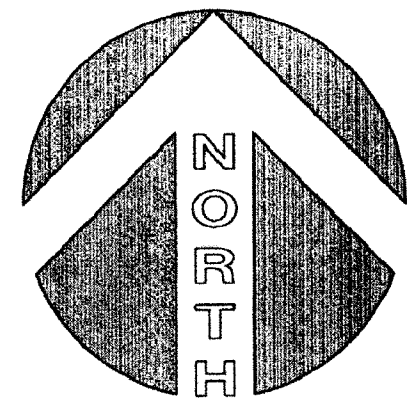
**SAWGRASS TECHNOLOGY PARK**  
1601-1699 N.W. 136th AVENUE  
SUNRISE, FLORIDA, 33323

**OVERALL SITE MODIFICATION- PLAN**

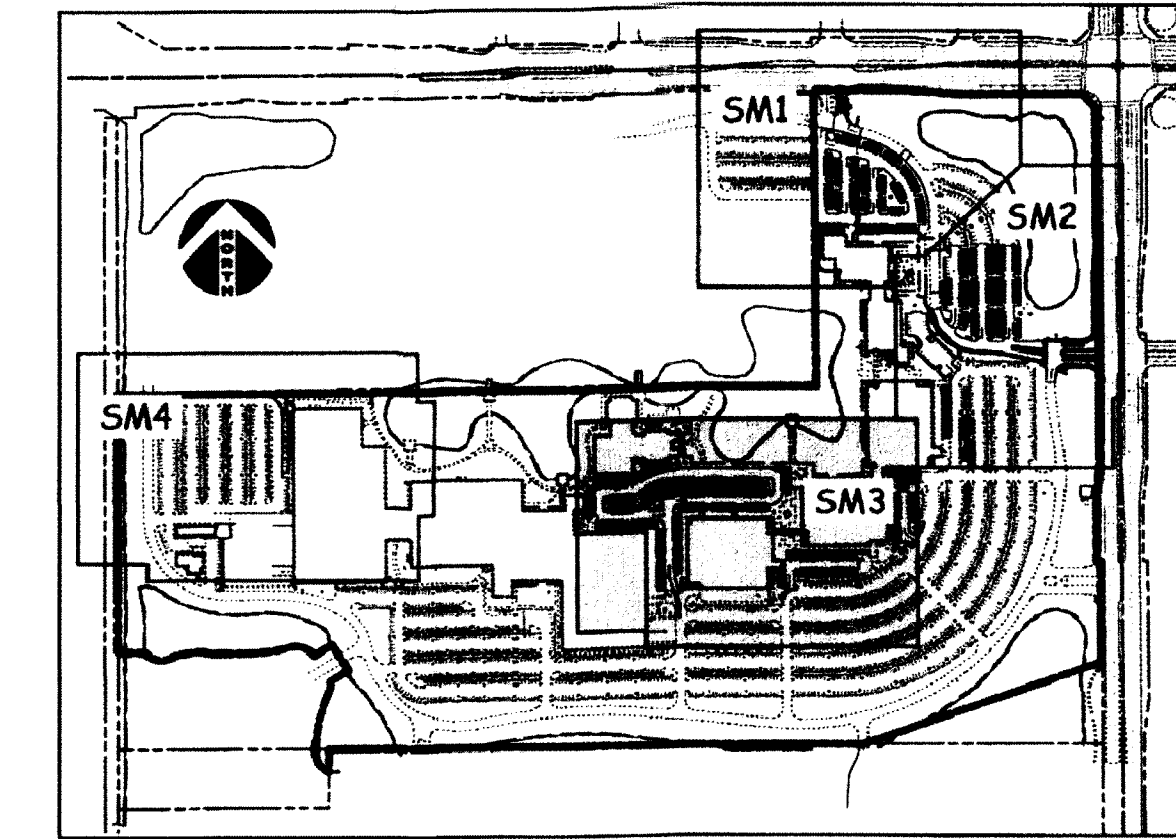
PROJECT No.  
STC1637.06

SEAL: [Professional Engineer Seal]  
DATE: 06/30/2021  
DRAWING NO.: OSM1 OF 1

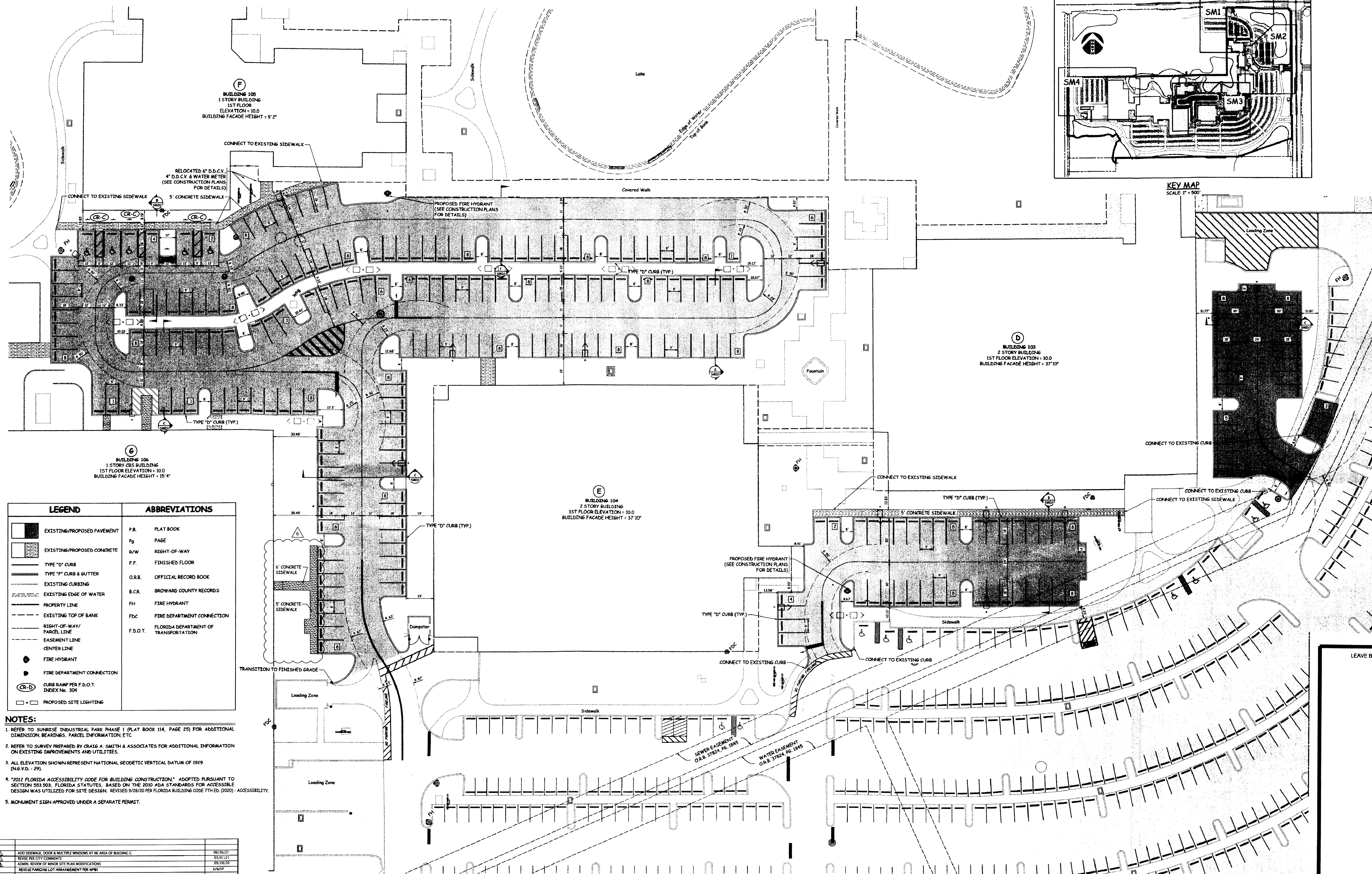




SCALE: 1" = 30'  
FOR 24" x 36" DRAWING



KEY MAP  
SCALE: 1" = 300'



SEE SHEET SM2 FOR CONTINUATION

LEGEND		ABBREVIATIONS	
	EXISTING/PROPOSED PAVEMENT	P.B.	PLAT BOOK
	EXISTING/PROPOSED CONCRETE	Pg.	PAGE
	TYPE "D" CURB	R/W	RIGHT-OF-WAY
	TYPE "F" CURB & GUTTER	F.F.	FINISHED FLOOR
	EXISTING CURBING	O.R.B.	OFFICIAL RECORD BOOK
	EXISTING EDGE OF WATER	B.C.R.	BROWARD COUNTY RECORDS
	PROPERTY LINE	FH	FIRE HYDRANT
	EXISTING TOP OF BANK	FDC	FIRE DEPARTMENT CONNECTION
	RIGHT-OF-WAY/ PARCEL LINE	F.D.O.T.	FLORIDA DEPARTMENT OF TRANSPORTATION
	EASEMENT LINE		
	CENTER LINE		
	FIRE HYDRANT		
	FIRE DEPARTMENT CONNECTION		
	CURB RAMP PER F.D.O.T. INDEX No. 304		
	PROPOSED SITE LIGHTING		

- NOTES:**
- REFER TO SUNRISE INDUSTRIAL PARK PHASE I (PLAT BOOK 114, PAGE 25) FOR ADDITIONAL DIMENSION, BEARINGS, PARCEL INFORMATION, ETC.
  - REFER TO SURVEY PREPARED BY CRAIG A. SMITH & ASSOCIATES FOR ADDITIONAL INFORMATION ON EXISTING IMPROVEMENTS AND UTILITIES.
  - ALL ELEVATION SHOWN REPRESENT NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D. - 29).
  - 2012 FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, ADOPTED PURSUANT TO SECTION 553.503, FLORIDA STATUTES, BASED ON THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN WAS UTILIZED FOR SITE DESIGN. REVISED 9/28/10 PER FLORIDA BUILDING CODE 7TH ED. (2020) - ACCESSIBILITY.
  - MONUMENT SIGN APPROVED UNDER A SEPARATE PERMIT.

NO.	REVISIONS	DATE
1	ADD SIDEWALK, DOOR & MULTIPLE WINDOWS AT NE AREA OF BUILDING G	06/30/21
2	REVISE PER CITY COMMENTS	07/01/21
3	ADJUST SEVER & WATER EASEMENT PLAN MODIFICATIONS	07/29/21
4	REVISE PARKING LOT ARRANGEMENT PER WP#1	2/2/17

LEAVE BLANK - FOR CITY USE ONLY

**KRAVIT**  
ARCHITECTURAL PLANNING - INTERIORS

PROJECT No.  
STC1637.06

**WINNINGHAM & FRADLEY, INC.**  
ENGINEERS • PLANNERS • SURVEYORS  
111 N.E. 4th STREET, GAITHERSBURG, FL 33534 864-777-7440 FAX 864-777-0338 www.wfinc.com

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2900 N.E. 14th STREET (AIRWAY) #100, BOWMAN BEACH, FL 32002  
TEL 954.769.0800 • CELL 954.270.8000 • FAX 954.466.1775 • cunger@unger.com • C.A. Lic. No. 14037

**SAWGRASS TECHNOLOGY PARK**  
1601-1699 N.W. 136th AVENUE  
SUNRISE, FLORIDA, 33323

**SITE MODIFICATION - PLAN**

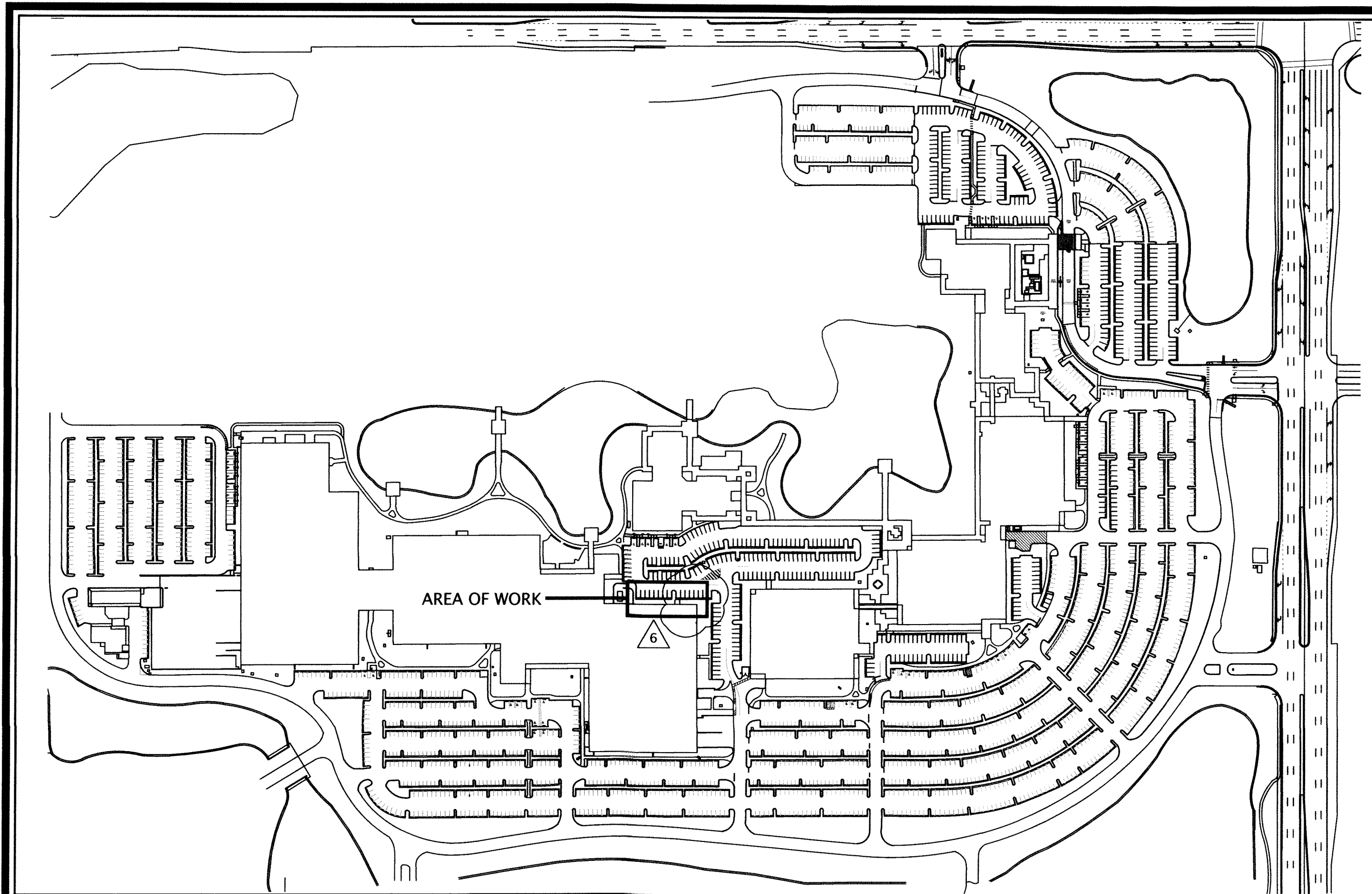
SEAL

DATE: 06/30/2021

DRAWING NO. SM3 OF 4

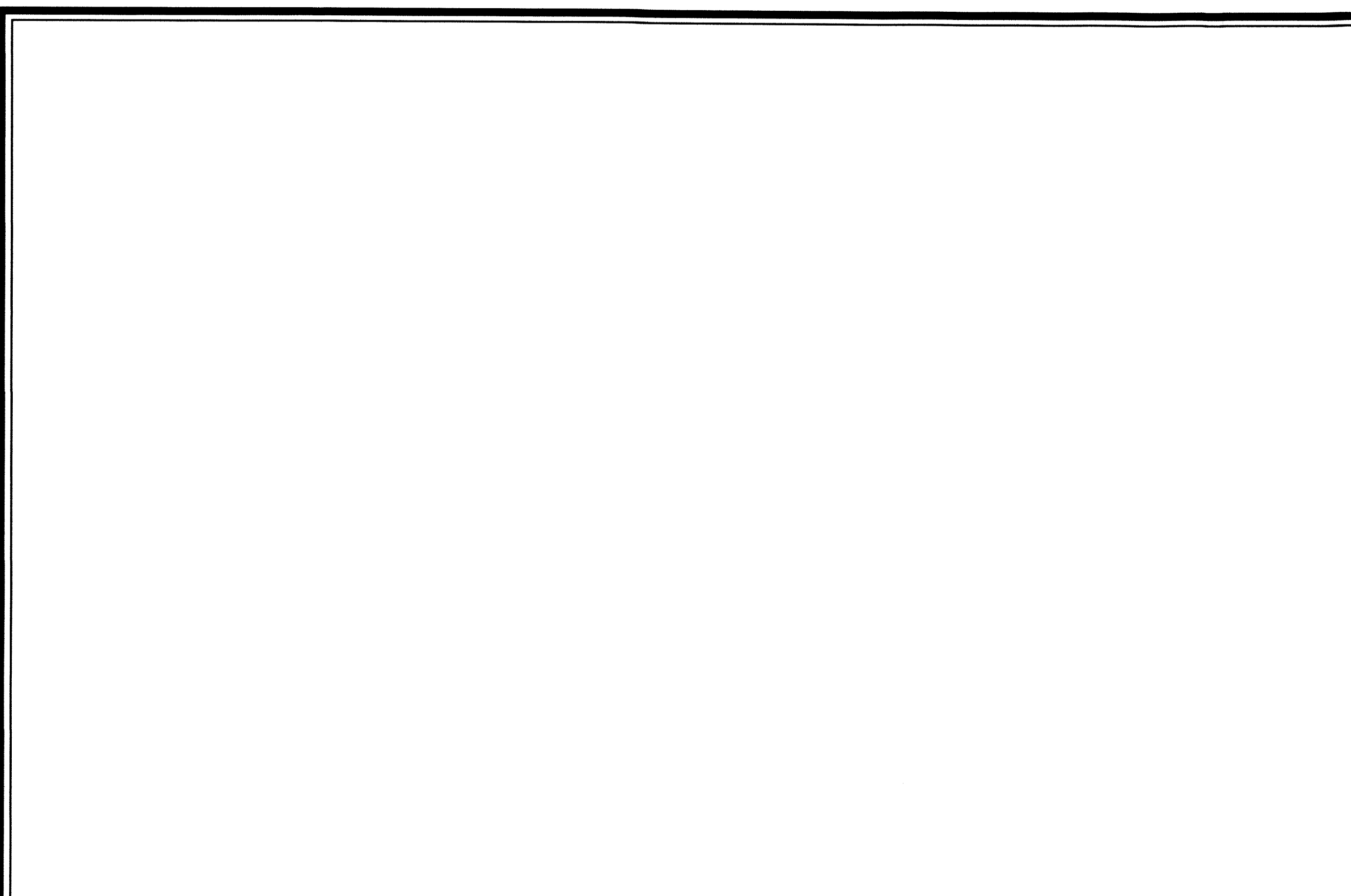
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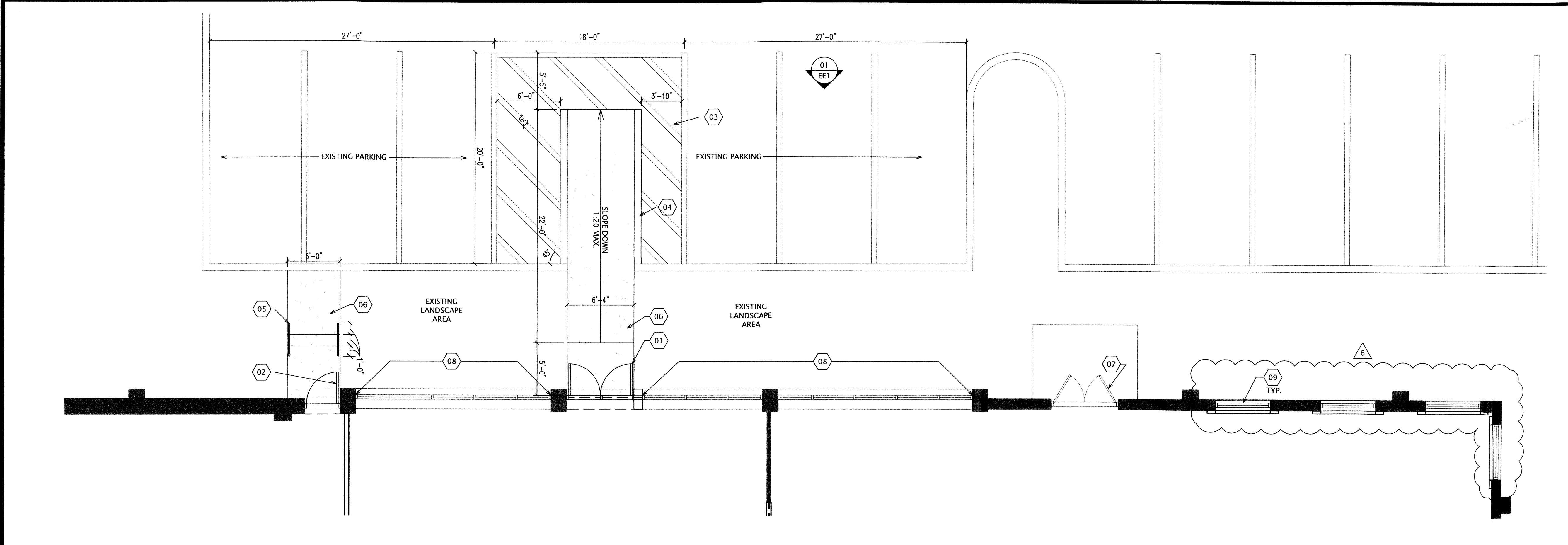
01 KEY PLAN

↑ N 1:200



KEYED NOTES

- 01 PAIR 3'-0" X 8'-0" ALUMINUM IMPACT RESISTANT THERMAL STOREFRONT DOORS W/ TRANSOM ABOVE. FINISH TO MATCH EXISTING STOREFRONT. PROVIDE PANIC HARDWARE & CLOSERS.
- 02 3'-0" X 8'-0" H.M. DOOR (INSULATED), PAINT. PROVIDE ENTRY LOCKET, CLOSER & FLOOR STOP.
- 03 STRIPED ACCESS AREA (WHITE).
- 04 NEW CONC. TYPE 'D' CURB, SEE DETAIL ON SHEET SMD1.
- 05 3/8" ALUM. HANDRAIL (1-1/2" Ø). SECURE TO CONC. PER MANUF. REQS.
- 06 4" CONC. SLAB ON GRADE OVER COMPACTED SUBSOIL. REMOVE EXISTING LANDSCAPING AS REQ'D. SEE DETAIL ON SHEET SMD1.
- 07 EXISTING H.M. DOORS TO REMAIN.
- 08 EXISTING WINDOWS TO REMAIN.
- 09 ALUMINUM IMPACT RESISTANT THERMAL STOREFRONT WINDOW. VERIFY FRAME & GLASS SPECIFICATIONS W/ OWNER / ARCHITECT. FINISH TO MATCH EXISTING WINDOWS.
- 10 ALUMINUM IMPACT RESISTANT THERMAL STOREFRONT DOOR WITH SIDELIGHT. VERIFY FRAME & GLASS SPECIFICATIONS W/ OWNER / ARCHITECT. FINISH TO MATCH EXISTING DOORS & WINDOWS.



02 PROPOSED FLOOR PLAN

↑ N 3/16" = 1'-0"

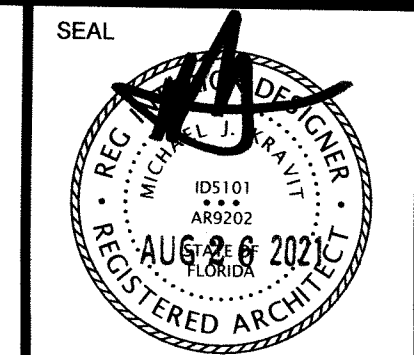
NO.	REVISIONS	DATE
7	REVISE PER CITY COMMENTS	08/25/21
6	ADD SIDEWALK, DOOR & MULTIPLE WINDOWS AT NE AREA OF BUILDING G	06/30/21
5	REVISE PER CITY COMMENTS	03/01/21

PROJECT #  
STC1637.06



SAWGRASS TECHNOLOGY PARK  
1601-1699 N.W. 136th AVENUE  
SUNRISE, FLORIDA 33323

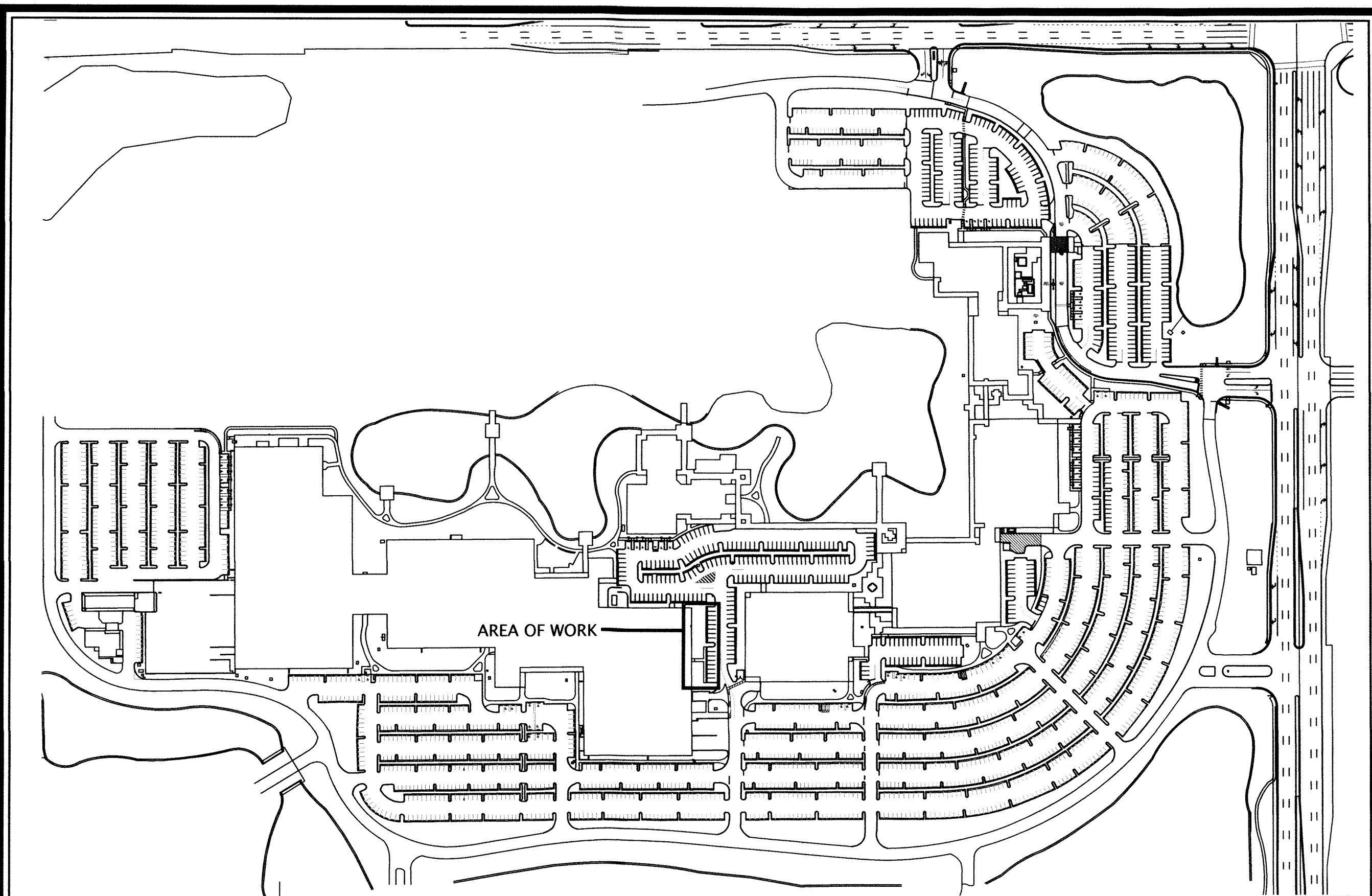
SITE PLAN MODIFICATION- PLAN  
(BUILDING G, NORTH SIDE) 7



DATE:  
06/30/2021  
DRAWING NO.  
SM3.1  
OF 4

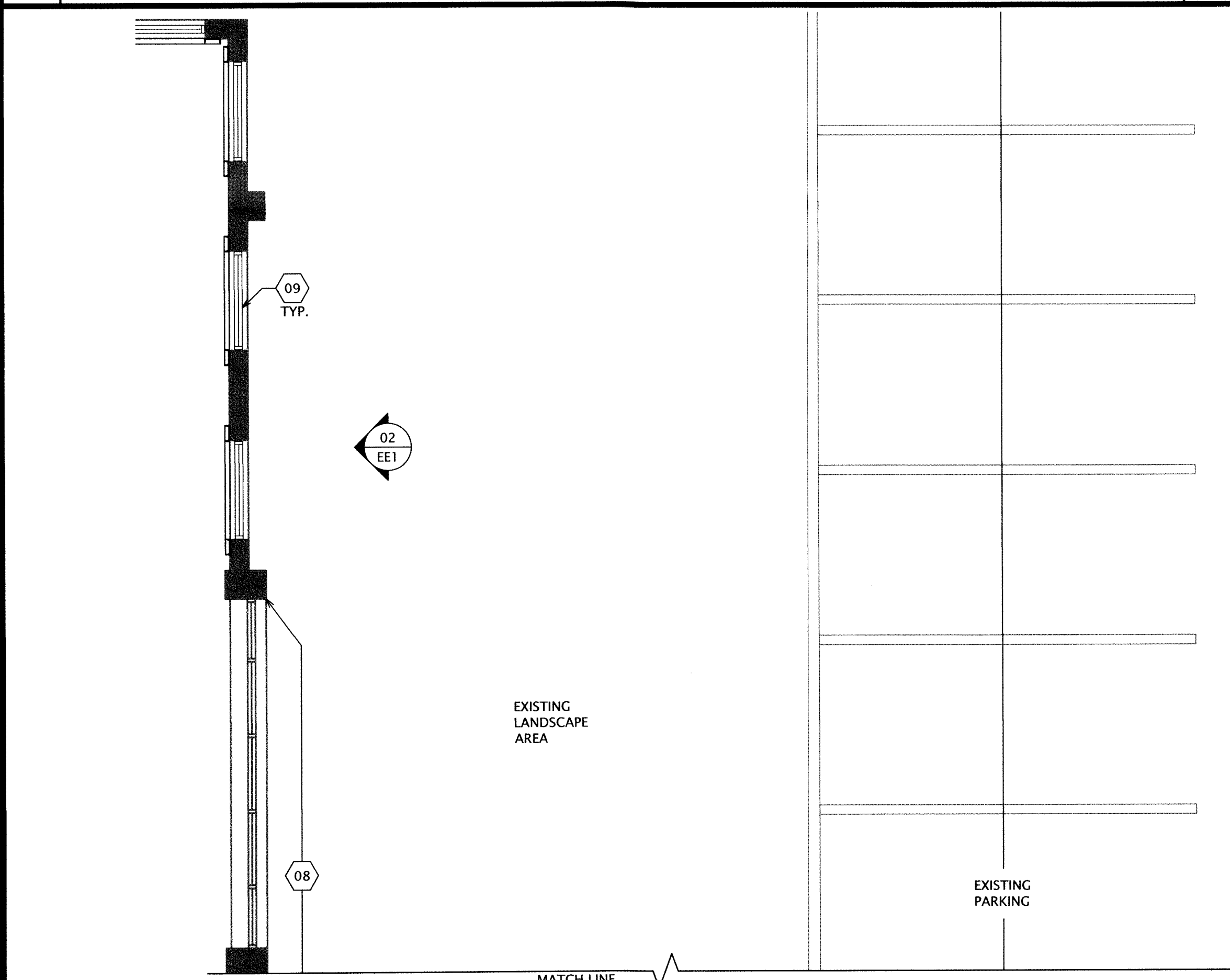
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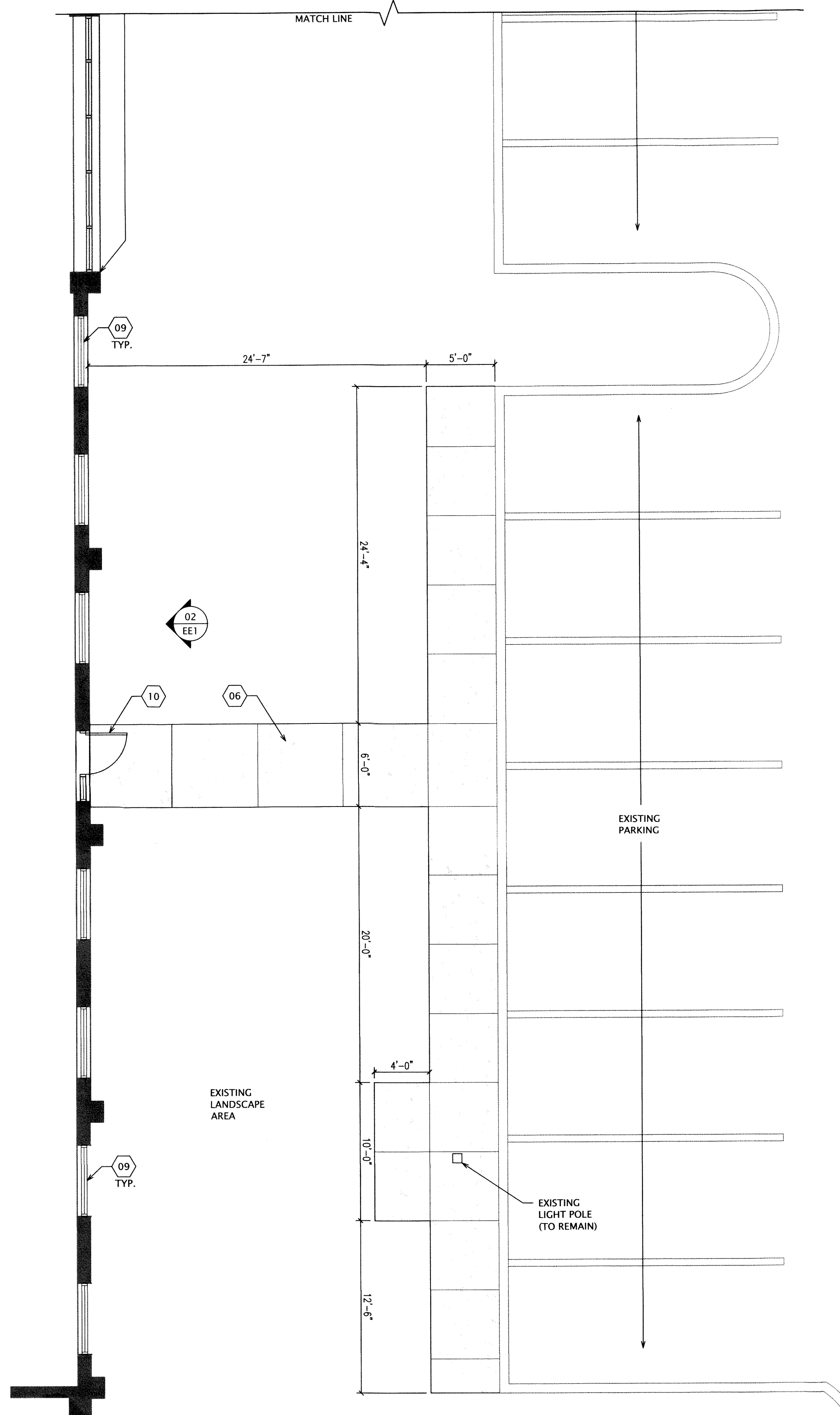
01 KEY PLAN

↑N 1:200



02 PROPOSED FLOOR PLAN

↑N 3/16" = 1'-0"



KEYED NOTES

- 01 PAIR 3'-0" X 8'-0" ALUMINUM IMPACT RESISTANT THERMAL STOREFRONT DOORS W/TRANSOM ABOVE. FINISH TO MATCH EXISTING STOREFRONT. PROVIDE PANIC HARDWARE & CLOSERS.
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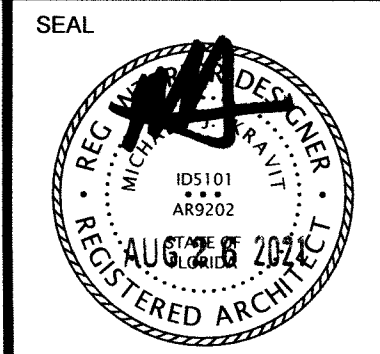
NO.	REVISIONS	DATE
7	REVISE PER CITY COMMENTS	08/25/21
6	ADD SIDEWALK, DOOR & MULTIPLE WINDOWS AT NE AREA OF BUILDING G	06/30/21

PROJECT #  
STC1637.06



SAWGRASS TECHNOLOGY PARK  
1601-1699 N.W. 136th AVENUE  
SUNRISE, FLORIDA 33323

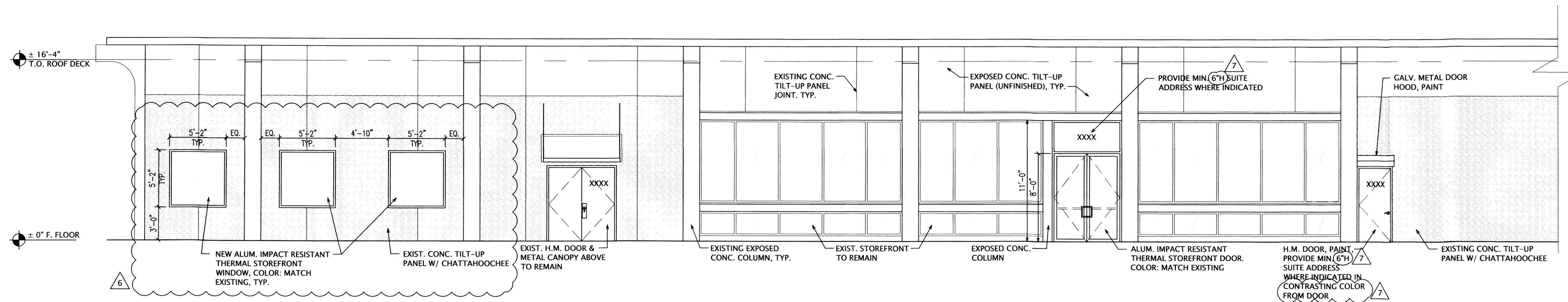
SITE PLAN MODIFICATION- PLAN  
(BUILDING G, EAST SIDE) ⚠



DATE:  
06/30/2021  
DRAWING NO.  
SM3.2  
OF 4

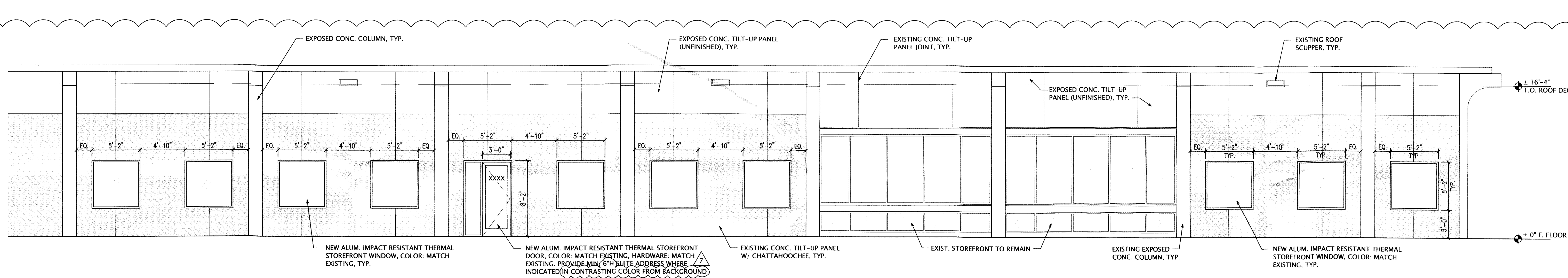
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01 PARTIAL NORTH ELEVATION - BUILDING G

3/16" = 1'-0"

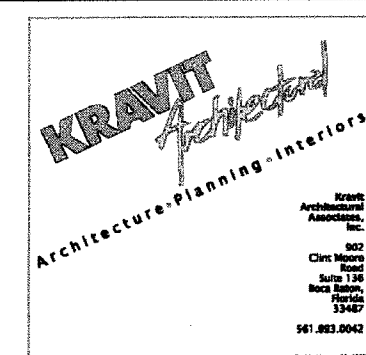


02 PARTIAL EAST ELEVATION - BUILDING G

3/16" = 1'-0"

LEAVE BLANK - FOR CITY USE ONLY

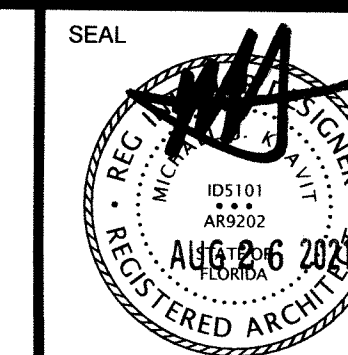
NO.	REVISIONS	DATE
7	REVISE PER CITY COMMENTS	08/25/21
6	ADD SIDEWALK, DOOR & MULTIPLE WINDOWS AT NE AREA OF BUILDING G	06/30/21
5	REVISE PER CITY COMMENTS	03/07/21



PROJECT #  
STC1637.06

SAWGRASS TECHNOLOGY PARK  
1601-1699 N.W. 136th AVENUE  
SUNRISE, FLORIDA 33323

EXTERIOR ELEVATIONS - BUILDING G



DATE:  
06/30/2021

DRAWING NO.  
EE1  
OF1



SEP 22 - 6 PM 1:55

SUNRISE, FLORIDA

ORDINANCE NO. 402-21-B

**AN ORDINANCE OF THE CITY OF SUNRISE, FLORIDA, PERTAINING TO THE LAND DEVELOPMENT CODE, AMENDING CHAPTER 16, "LAND DEVELOPMENT CODE," AMENDING ARTICLE V, "DISTRICT REGULATIONS," BY AMENDING SECTION 16-79, "MASTER BUSINESS LIST" TO PERMIT SMALL BOX DISCOUNT STORES UNDER CERTAIN CONDITIONS; AMENDING ARTICLE XVII, "DEFINITIONS," BY AMENDING SECTION 16-277, "TERMS DEFINED" TO CREATE THE DEFINITION OF SMALL BOX DISCOUNT STORE; PROVIDING FOR CONFLICT; PROVIDING FOR SEVERABILITY; PROVIDING FOR INCLUSION IN THE CITY CODE; AND PROVIDING FOR AN EFFECTIVE DATE.**

WHEREAS, the development of certain commercial land uses within certain areas of the City of Sunrise ("City") have a particularly significant economic and social impact upon the residents of the City; and

WHEREAS, the character and development pattern of the City could be significantly and adversely altered by the approval of small box discount stores, as defined below; and

WHEREAS, small box discount stores have been proliferating throughout the City, and may contribute to "food deserts" in some areas, which is defined by the United States Department of Agriculture as an area that lacks fresh fruit, vegetables, and other healthful whole foods, usually found in impoverished areas; and

WHEREAS, while the City recognizes that small box discount stores may be the only convenient source of some food items for people in areas underserved by traditional grocery stores, the City also recognizes that small box variety stores offer limited healthy fresh food options, especially when it comes to fresh fruits and vegetables and fresh or frozen meats; and

WHEREAS, the City is concerned that the development of more small box discount stores would adversely impact the sound economic growth of the City, and the land use trends that are necessary to support that sound economic growth; and



WHEREAS, while it is necessary to continue to allow the presence of small box discount stores, it is also necessary to regulate them and to encourage stores throughout the City to offer more healthy fresh food options; and

WHEREAS, such regulations will promote the efficient use of land resources in the City and are necessary to protect the health, safety, and welfare of the residents of the City; and

WHEREAS, the City's Local Planning Agency has reviewed this Ordinance and recommended its approval to the City Commission; and

WHEREAS, the City Commission held a public hearing at which all members of the public so desiring had an opportunity to be heard; and

WHEREAS, the City Commission finds that adopting this Ordinance as set forth herein is consistent with and furthers the City's Comprehensive Plan and other applicable law relating to land use planning and development and growth management, and is necessary for the preservation of the public health, safety and welfare of the City's residents.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COMMISSION OF THE CITY OF SUNRISE, FLORIDA:

Section 1. Incorporation of Recitals. The foregoing recitals are hereby ratified and incorporated as the legislative intent of this Ordinance.

Section 2. That section 16-79 of the Code of the City of Sunrise, Florida, is hereby amended to read as follows:

Section 16-79. – Master Business List.

\*\*\*

(d) *Supplemental regulations to Master Business List.* The numbers below correspond to the numbers on the Master Business List.

\*\*\*

(17) Small Box Discount Store.

a. Separation requirements.



1. No Small box discount store shall be located within one (1) mile of another small box discount store.
2. Distance shall be measured from property line to property line.

Business Listings

B-1   B-2   B-3   B-4

\*\*\*

Small box discount stores

\*17

\*\*\*

Section 3. That section 16-277 of the Code of the City of Sunrise, Florida, is hereby amended to read as follows:

Section 16-277. Terms defined.

For the purpose of this chapter, the following words and phrases shall have the meaning herein set forth:

\*\*\*

Small box discount store: A store with a minimum of 2,000 square feet and a maximum of 16,000 square feet which sells at retail an assortment of physical goods, products, or merchandise directly to the customer, including food or beverages for off-premises consumption, household products, personal grooming and health products, and other consumer goods and continuously offer a majority of the items in their inventory for sale at a price lower than traditional stores. Small box discount stores do not include retail stores that:

- (a) dedicate at least fifteen (15%) of shelf space to fresh or fresh frozen food, where fresh or fresh frozen food means food for human consumption that is unprocessed, or otherwise in its raw state; food that was quickly frozen while still fresh. This includes unprocessed meat, seafood, and cheese; or
- (b) dedicate less than two percent (2%) of shelf space to food of any kind; or
- (c) contain a prescription pharmacy; or
- (d) offer for sale gasoline or diesel fuel; or
- (e) are located inside a regional shopping center.

Section 4. Conflict. All ordinances or parts of ordinances, all City Code sections or parts of City Code sections, and all resolutions or parts of resolutions in conflict with this Ordinance are hereby repealed to the extent of such conflict.



Section 5. Severability. Should any provision of this Ordinance be declared by a court of competent jurisdiction to be invalid, the same shall not affect the validity of the Ordinance as a whole, or any part thereof, other than the part declared to be invalid.

Section 6. Effective Date. This Ordinance shall be effective immediately upon its passage.

PASSED AND ADOPTED upon this first reading this 8TH DAY OF JUNE, 2021.

PASSED AND ADOPTED upon this second reading this 22ND DAY OF JUNE, 2021.

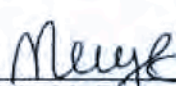


---

Mayor Michael J. Ryan



Authentication:

  
Felicia M. Bravo  
Asst. City Clerk



FIRST READING

MOTION: SCUOTTO  
SECOND: KERCH

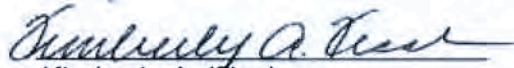
DOUGLAS: YEA  
GUZMAN: YEA  
KERCH: YEA  
SCUOTTO: YEA  
RYAN: YEA

Approved by the City Attorney  
as to Form and Legal Sufficiency

SECOND READING

MOTION: SCUOTTO  
SECOND: KERCH

DOUGLAS: YEA  
GUZMAN: YEA  
KERCH: YEA  
SCUOTTO: YEA  
RYAN: YEA

  
Kimberly A. Kisslan